

ABIDING PRESENCE LUTHERAN CHURCH

(PROPOSED ADDITION AND RENOVATION)

THE EAST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 9, TOWN 3
NORTH, RANGE 11 EAST
CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

CONTACT PERSONNEL

OWNER:

REV. S. MCKINNEY, PASTOR
ABIDING PRESENCE LUTHERAN CHURCH
1550 WALTON BLVD.
ROCHESTER HILLS, MICHIGAN
248-651-6550

ARCHITECT:

ARTHUR E. KALAJIAN & ASSOCIATES
1871 AUSTIN
TROY, MICHIGAN 48083
248-524-3616

CIVIL ENGINEER:

MICKALICH AND ASSOCIATES, INC.
2359 AVON INDUSTRIAL DR.
ROCHESTER HILLS, MICHIGAN 48309
PH: 248-852-1900
FAX: 248-8852-1070

LANDSCAPE ARCHITECT

CONROY & ASSOCIATES, INC.
2359 AVON INDUSTRIAL DR.
ROCHESTER HILLS, MICHIGAN 48309
PH: 248-844-1234
FAX: 248-844-1235

AMERICAN STRUCTURAL ENGINEERS, PLLC

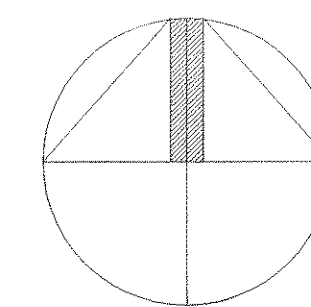
R. CHARLES IRELAND, PH. D., P.E.
1371 OXFORD RD.
GROSSE POINTE WOODS
MICHIGAN 48236
PH: 313-640-5734
FAX: 313-640-5735

MECH./ELEC. ENGINEER CONSULTANT:

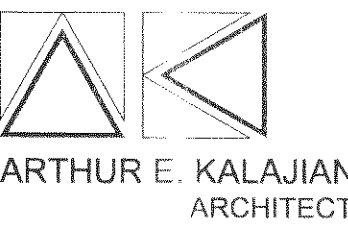
DANIEL S. DUNAJ, P.E.
319 W. IROQUOIS
PONTIAC MICHIGAN 48341
PH: 248-334-9348
PH: 248-333-0233
FAX: 248-334-9344



LOCATION MAP



SHEET INDEX	
SHEET NO.	DESCRIPTION
C-0.0	COVER SHEET
C-1.0	EXISTING SITE CONDITIONS
C-1.1	DEMOLITION PLAN
C-2.0	SITE PLAN
C-2.1	MISCELLANEOUS SITE DETAILS
L-1.0	EXISTING SITE CONDITIONS & LANDSCAPE PLAN
L-2.0	PROPOSED SITE LANDSCAPE PLAN
L-2.1	LANDSCAPE DETAILS & NOTES
A-1.1	GROUND FLOOR PLAN
A-2.0	EXTERIOR ELEVATIONS



ARTHUR E. KALAJIAN
ARCHITECT

1871 AUSTIN STREET
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48084

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CIVIL ENGINEERS ARCHITECTS PLANNERS
2359 AVON INDUSTRIAL DR. ROCHESTER HILLS MI 48309
PH: 248-852-1900 FAX: 248-8852-1070

PROPOSED
PHASE - I
ADDITION
AND
RENOVATION

THE ABIDING PRESENCE
LUTHERAN CHURCH ADDITION
1550 WALTON BLVD.
ROCHESTER HILLS, MICHIGAN

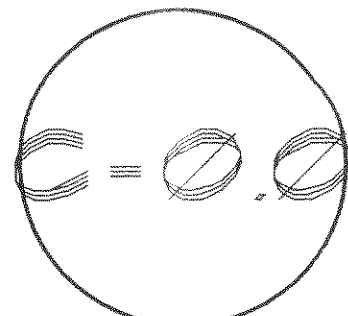
DESCRIPTION:
COVER SHEET

JOB NO.
A3-AFLC-2004

SEAL:

DATE	ISSUE	BY	DATE	ISSUE	BY
C-1.0	REV	AK			
L-2.0	SPL	AK			
L-2.1	REV	AK			

SHEET NO.

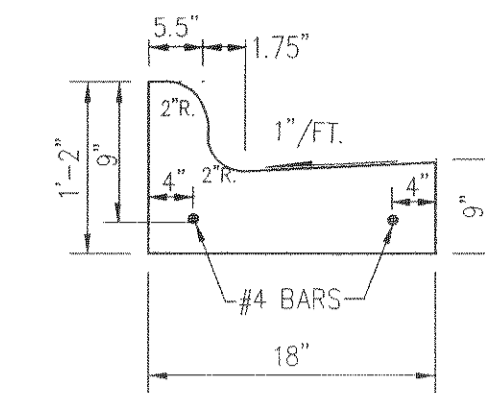


NOT FOR CONSTRUCTION

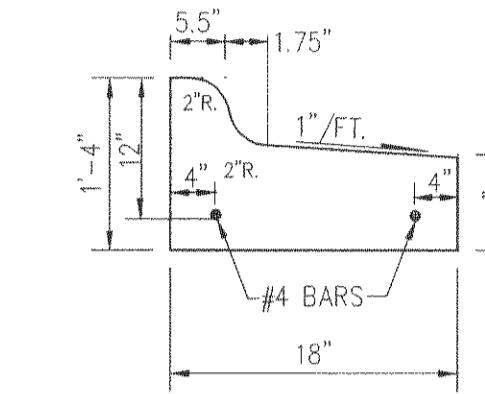
CITY FILE No. 87-829.2

Standard Notes

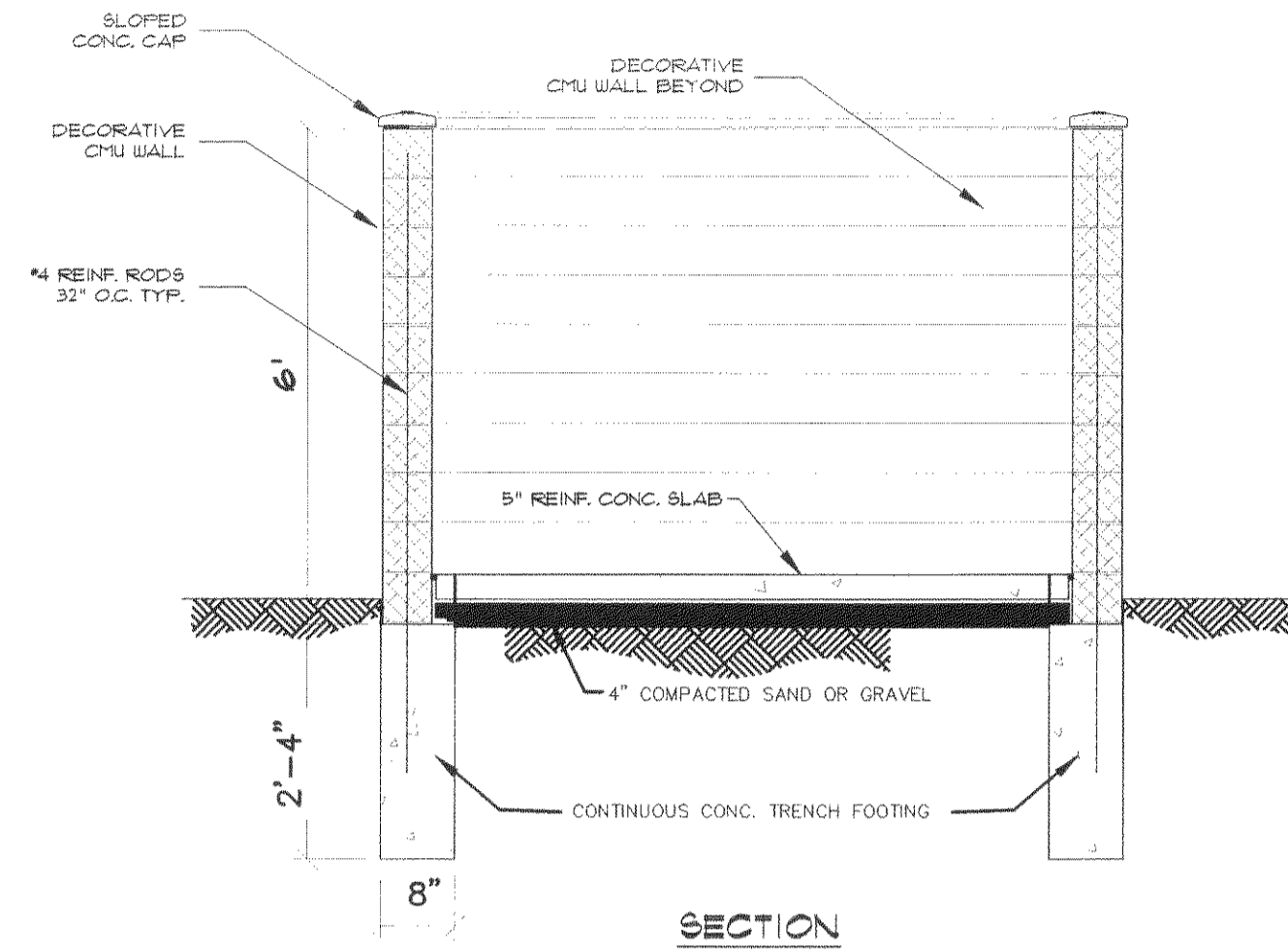
- 1) Building is to be staked using approved Architect's Foundation Plan only.
- 2) It is the contractors' responsibility to make certain that all necessary permits have been secured prior to construction.
- 3) All work within the Right-of-Way is to be reviewed and constructed in accordance with the governing agency.
- 4) It is the contractors' responsibility to make certain that all necessary inspections have taken place post staking and prior to construction or when necessary that the inspector is on site during construction to make certain items being constructed are in compliance of standards.
- 5) Mickalich & Associates, Inc. cannot be held responsible for layout errors in the field once construction stakes have been removed. It is the contractors' responsibility to verify/check all staking prior to placement of materials.
- 6) All detention facilities (ponds, parking lot detention, etc.) are to be built in accordance with the approved construction documents. Contractor is to review documents thoroughly for slopes and grades that must be adhered to obtain sufficient volumes during the As-Built phase of the project. Mickalich & Associates, Inc. cannot be held responsible for insufficient volumes that are the result of field changes or are due to incorrect grading.
- 7) Building lead locations and sizes are to be verified/coordinated with Mechanical, Architectural and Plumbing Plans.
- 8) All building addition locations are to be field checked by the contractor prior to the placement of foundations/footings. Any additional information obtained during the demolition phase of the existing building should be reported to the contractor responsible for layout immediately.



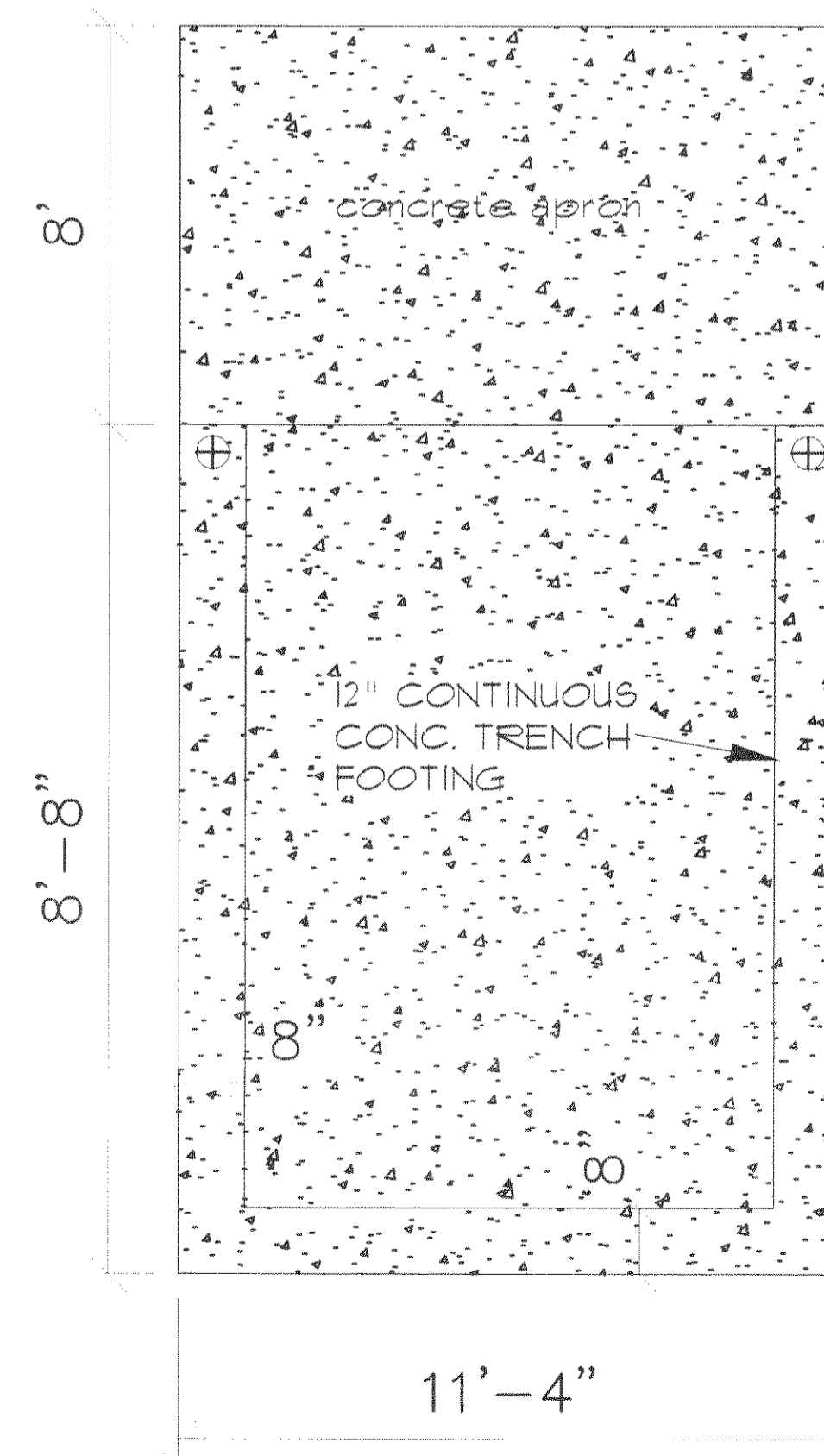
CONCRETE CURB AND GUTTER
(REGULAR GUTTER)



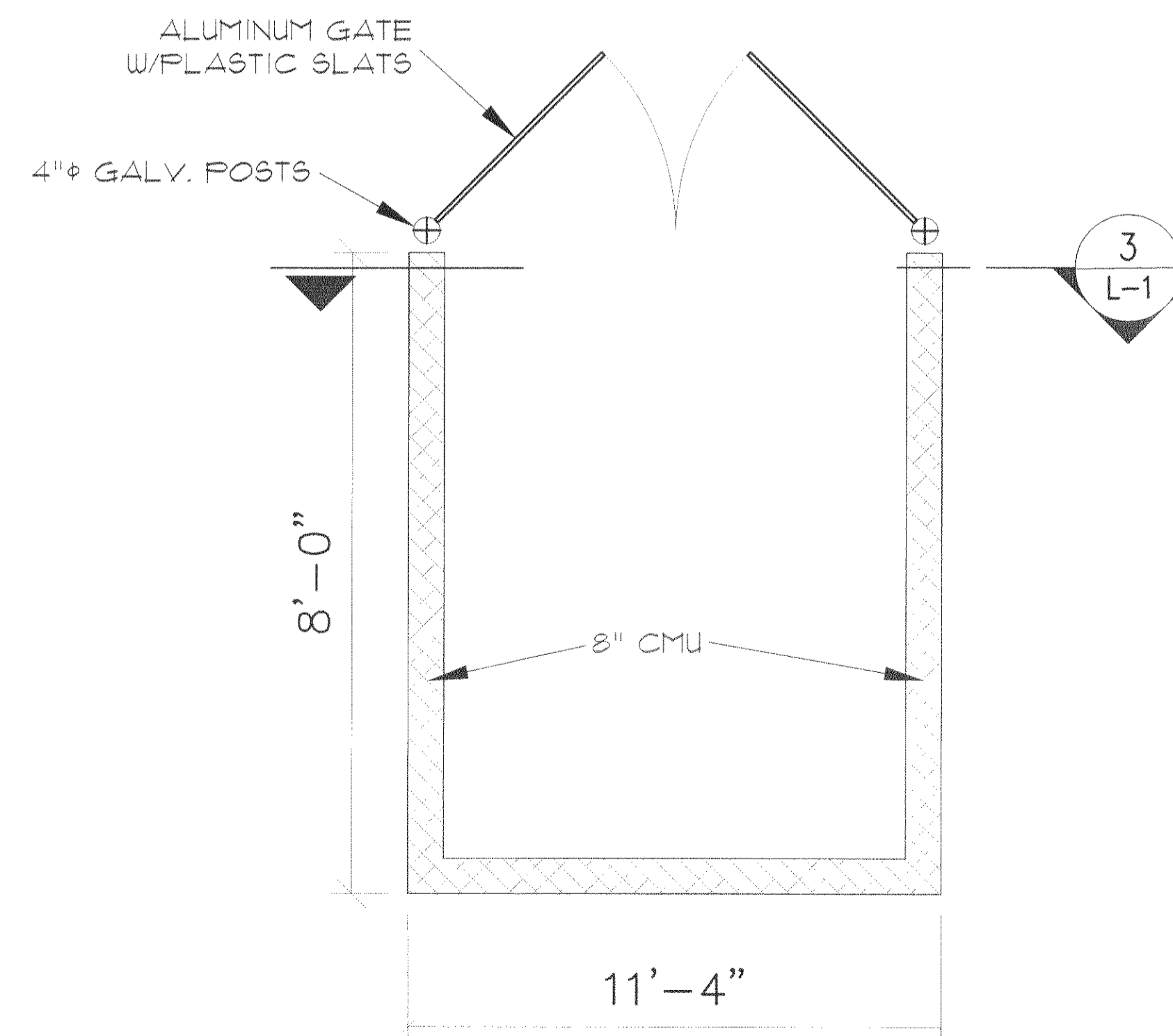
CONCRETE CURB AND GUTTER
(REVERSE GUTTER)



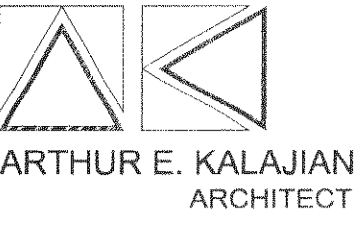
SECTION
(NOT TO SCALE)
(DETAIL PROVIDED BY ARCHITECT)



TRASH ENCLOSURE FOUNDATION PLAN
(NOT TO SCALE)
(DETAIL PROVIDED BY ARCHITECT)



TRASH ENCLOSURE PLAN
(NOT TO SCALE)
(DETAIL PROVIDED BY ARCHITECT)



ARTHUR E. KALAJIAN
ARCHITECT

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MICKALICH and ASSOCIATES, INC.
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228 AYER INDUSTRIAL DR. ROCHESTER HILLS, MI 48065
PHONE (248) 852-1600 FAX (248) 852-0700

PROPOSED
PHASE-1
ADDITION
&
RENOVATION

THE ABIDING PRESENCE
LUTHERAN CHURCH ADDITION
1550 WALTON BLVD.
ROCHESTER HILLS, MICHIGAN

DESCRIPTION:
MISCELLANEOUS
SITE DETAILS

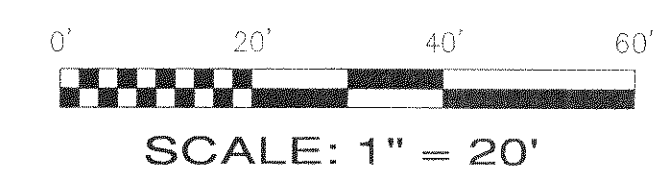
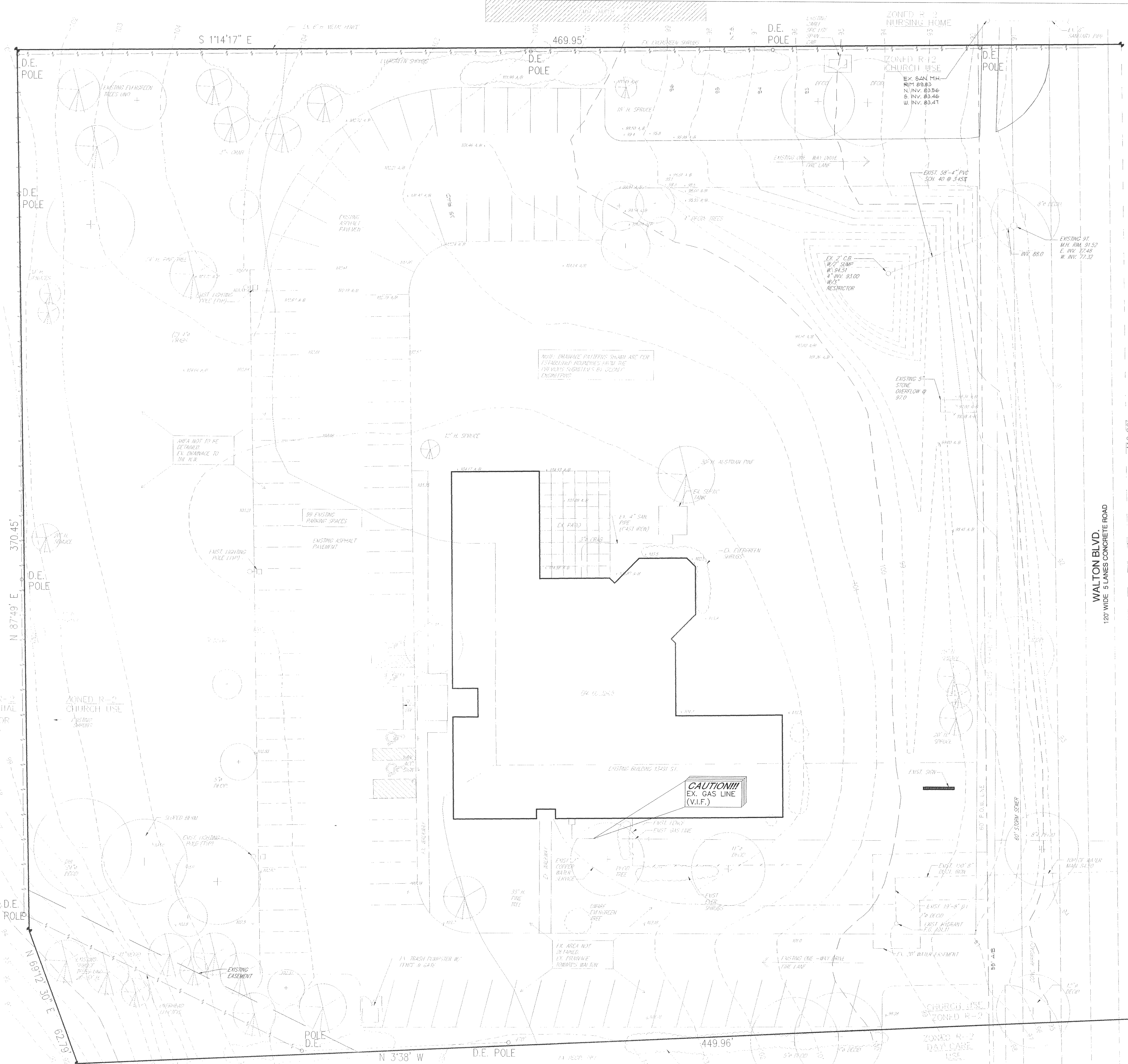
JOB NO.
A3-APLC-103

DATE

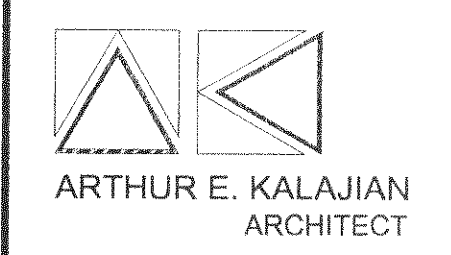
DATE	ISSUE	BY	CHKD	APP'D
12/21/03	8PA	JH		
2/19/04	R.V.	BH		

SHEET NO.

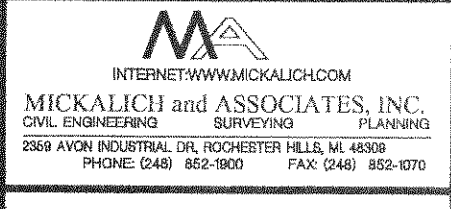
C-2.1



- LEGEND**
- EX. GRADE
 - EX. INDEX CONTOUR
 - EX. CONTOUR
 - EX. WATER MAIN
 - EX. STORM SEWER
 - EX. SANITARY SEWER
 - EX. OVERHEAD
 - EX. GAS
 - EX. UNDERGROUND
 - EX. FENCE
 - EX. RAILROAD
 - EX. WALL
 - EX. Q. OF DITCH
 - EX. WETLAND
 - HYDRANT
 - CATCH BASIN
 - MANHOLE
 - SIEM
 - GATE VALVE
 - LIGHT POLE
 - UTILITY LIGHT POLE
 - METAL LIGHT POLE
 - TOP OF BERM
 - TOE OF BERM
 - TREE TAG
 - TOP OF CURB
 - GUTTER
 - TOP OF ASPHALT
 - TOP OF WALK
 - TOP OF WALL
 - FOUND IRON ROD
 - SET IRON ROD
 - FOUND IRON PIPE
 - ASPHALT
 - CONCRETE



1871 AUSTIN STREET
TROY MICHIGAN
48084
1-248-524-3616



PROPOSED
PHASE-I
ADDITION
&
RENOVATION

**THE ABIDING PRESENCE
LUTHERAN CHURCH ADDITION**
1550 WALTON BLVD.
ROCHESTER HILLS MICHIGAN

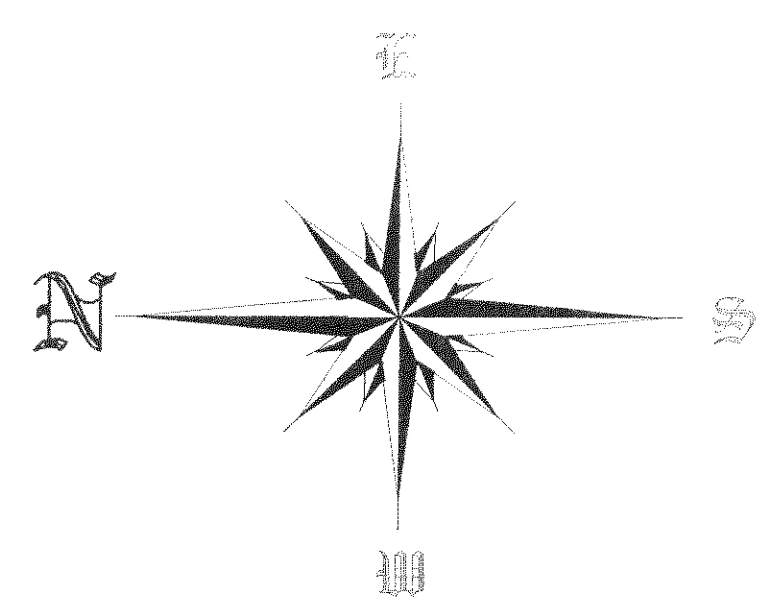
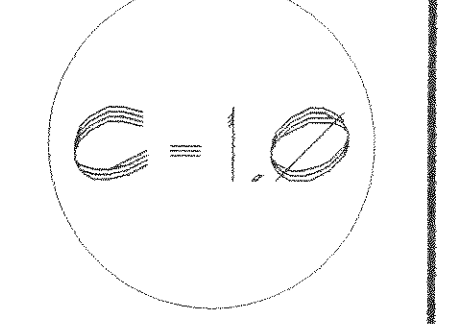
DESCRIPTION:
EXISTING SITE
CONDITIONS

JOB NO.
A3-AFLC-103

SCALE:

DATE	BY	DATE	BY
10/22/03	SPAL/JH		
5/18/04	RVUJ/BJ		
5/18/04	RVUJ/BJ		

SHEET NO.



LEGAL DESCRIPTION:
Parcel of land in the East 1/2 of the Southwest 1/4 of Section 9, Town 3 North, Range 11 East City of Rochester Hills, Oakland County, Michigan, described as:
Beginning at the South 1/4 corner of Said Section 9, thence S. 87°49'00" W., 410.80 feet, thence N. 03°38'00" W., 449.96 feet; thence N. 69°12'30" E., 62.79 feet; thence N. 87°49'00" E., 370.45 feet; thence S. 01°14'17" E., 469.95 feet to the point of beginning, except the Southerly 60 feet taken for Walton Boulevard.



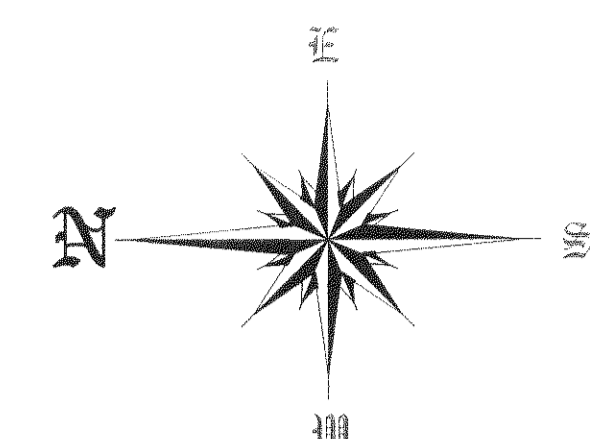
NOTE
TOPOGRAPHIC SURVEY FURNISHED BY ARCHITECT.
ORIGINAL SURVEY BY GLDNER & ASSOCIATES.

NOT FOR CONSTRUCTION

CITY FILE No. 87-829.2



SCALE: 1" = 30'



LEGEND

- EX. GRADE
- EX. CONTOUR
- EX. WATER MAIN
- EX. STORM SEWER
- EX. SANITARY SEWER
- EX. OVERHEAD
- EX. FENCE
- EX. GAS
- EX. UNDERGROUND UTILITY
- EX. HYDRANT
- EX. CATCH BASIN
- EX. MANHOLE
- EX. SIGN
- EX. GATE VALVE
- EX. LIGHT POLE
- EX. UTILITY POLE
- PR. GRADE
- PR. CONTOUR
- PR. WATER MAIN
- PR. STORM SWR.
- PR. SANITARY SWR.
- PR. COMPACTED SAND BACKFILL
- PR. HYDRANT
- PR. GATE VALVE
- PR. CATCH BASIN
- PR. MANHOLE
- PR. R.Y.C.B.
- PR. REVERSE CURB
- PR. ASPHALT
- PR. DEEP STRENGTH ASPHALT
- PR. CONCRETE
- DRAINAGE ARROW
- VERIFY IN FIELD

GENERAL BUILDING

NOTES

1. ALL WORK TO BE PER ICC MICHIGAN BUILDING CODE 2003.
2. THE PROPOSED BUILDING SHALL BE IN COMPLIANCE WITH ICC/ANSI INTL-1998 ACCESSIBILITY.

GENERAL BUILDING

(EXISTING AND PROPOSED) INFORMATION

- USE GROUP: A3 ASSEMBLY
- CONSTRUCTION TYPE: III B & IV
- EXISTING AREA: 13,491 G.S.F.
- PROPOSED AREA: 5,735 G.S.F.
- MOST RESTRICTIVE ALLOWABLE HEIGHT AND AREA PER TABLE 503: 9500 S.F.
- EXISTING BUILDING AREA: 13,491 G.S.F.
- PROPOSED ADDITION: 5,735 G.S.F.
- TOTAL EXISTING AND PROPOSED ADDITION: 19,226 G.S.F.

ALLOWABLE AREA INCREASE DUE FRONTAGE AND AUTOMATIC SPRINKLER SYSTEM

(EXIST'G BLDG. & PROPOSED ADDITION)

AREA: 19,226 SQ. FT.
 (1F) AREA INCREASE DUE TO FRONTAGE
 $(1F) = 100 \left[\frac{E - 0.25}{E} \right] \frac{W}{30}$
 $(1F) = 100 \left[\frac{101 - 0.25}{101} \right] \frac{30}{30} = 75.0$
 (1B) INCREASE DUE TO FIRE SPRINKLER = 200%
 (A3) TOTAL ALLOWABLE AREA = $A_1 \left[\frac{A_1 + 1F}{100} \right] + \frac{A_1 \cdot 1B}{100}$
 $9500 + \left[\frac{13491 + 75.0}{100} \right] + \left[\frac{13491 \cdot 200}{100} \right]$
 $9500 + 13566 + 26982 = 47448$ G.S.F.

BUILDING OCCUPANCY

- SANCTUARY OCCUPANCY PER MICH. BLDG. CODE: 303 PERSONS
- 46333 LF. = 15 LF./P. = 303 PERSONS
- OCCUPANCY PER CITY PARKING REQUIREMENTS: 46333 LF. = 2 LF. = 232 PERSONS
- MTG. RM. = G.S.F. RM. AREA = 162 PERSONS
- CL. RM. = G.S.F. x 80% = 20 S.F./P
- OFFICE AREA = G.S.F. 100 S.F./P = 11 PERSONS
- KITCHEN AREA = G.S.F. 200 S.F./P = 2 PERSONS
- MULTI-PURPOSE AREA: FELLOWSHIP USE (TABLE 4 CHAIRS) NET AREA (80%) S.F. = 15 S.F./P = 115 PERSONS

TOTAL BUILDING OCCUPANCY: 599 PERSONS

MAIN EXIT EGRESS REQUIREMENT

50% CAPACITY OF BUILDING
 MAIN EXIT: 300 PERSONS x 0.2' / PERSON = 60' x 36" / DOOR = 2 DOORS / 2 DOORS REQUIRED
 2 DOORS PROPOSED

MIN. CORRIDOR WIDTH

(0.15' / OCCUPANT) PER TABLE 1003.2.3 WITH SPRINKLER SYSTEM
 MAIN LOBBY WIDTH REQUIRED = 314 P x 0.15 = 47', PROVIDED 50'

SANITARY BASIS OF DESIGN

OF SEATS = 309
 UNIT FACTOR = 0.008/SEAT
 # PEOPLE = 309 SEATS x 0.008 UNITS x 3.2 PEOPLE = 7.9 PEOPLE/SEAT
 SEAT = 1 UNIT
 AVG. FLOW = 7.9 PEOPLE x 0.2 CFS = 1.58 x 10¹ CFS
 1,000 PEOPLE
 PEAK FLOW = 1844(0.0075) x 1.58 x 10¹ = 7.0 x 10¹ CFS
 44(0.0075)

STORM DETENTION VOLUME CALCULATIONS

ELEV. (FREEBOARD)	AREA (S.F.)	VOLUME (CU. FT.)
95	6,541	> 5,200
94	3,859	> 2,500
93	1,140	> 755
92	370	> 123
91	0	0
90		8,578 CU. FT.

STORM DETENTION CALCULATIONS

TOTAL DRAINAGE AREA TO PROPOSED DETENTION BASIN = 106,247 SF. (2.44 ACRES)
 C = 0.47
 $Q_p = \frac{Q_p}{0.47} = 0.426$
 $T = 25 \left[\frac{6562.5}{0.426} \right] = 99.1$ MIN
 $V_p = \frac{106247(0.91)}{99.1 + 45} - (40)(99.1)(0.426) = 6,696.1$
 $V_p = V_{eac} = (6696.1)(2.44)(0.47) = 7,679$ CU. FT. REQUIRED
 8,578 CU. FT. PROVIDED

FIRE DEPARTMENT NOTES
 (BASED ON UNIFORM FIRE CODE 1994)
 L- FIRE LINES SHALL BE DESIGNATED BY THE FIRE CODE OFFICIAL, AND SHALL BE CONSPICUOUSLY POSTED ON BOTH SIDES OF THE FIRE LANE, WITH FIRE LANE SIGNS SPACED NOT MORE THAN 100 FEET APART, AND STOPPING, STANDING, PARKING, FIRE LANE, AND IN CONFORMANCE WITH THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, FIRE PREVENTION ORDINANCE CHAPTER 58, SEC. 901.4.2

B- CONSTRUCTION SITES SHALL BE SAFEGUARDED IN ACCORDANCE WITH UNIFORM FIRE CODE ARTICLE 87. THIS INCLUDES MAINTAINING FIRE DEPARTMENT ACCESS ROADS AND FIRE HYDRANTS OPERATIONAL PRIOR TO BUILDING CONSTRUCTION. PROVIDE NOTE ON THE SITE PLAN THAT INDICATES FIRE HYDRANTS WILL BE OPERATIONAL PRIOR TO BUILDING CONSTRUCTION BASED ON UNIFORM FIRE CODE (UFC 1994).

2. FIRE HYDRANT REQUIREMENTS ARE BASED ON CONSTRUCTION TYPE AND SQUARE FOOTAGE OF THE BUILDING.

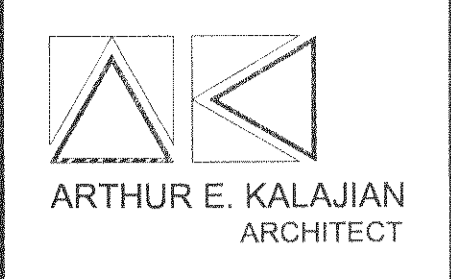
A- PER NAPA TABLE A-111-A-1 THE REQUIRED FIRE FLOW WITHOUT ANY REDUCTIONS IS 3000 GPM. EXISTING BUILDING TYPE IS I-1-N AND I-1-H1 CONSTRUCTION AND THE PROPOSED ADDITION TYPE IS I-1-N. TOTAL BUILDING AREAS EQUAL TO 19,226 S.F.

B- THE MAXIMUM DISTANCE FROM ANY POINT ON THE FIRE LANE TO A FIRE HYDRANT SHALL NOT EXCEED 225 FEET. (WAIVED PER MEETING BETWEEN ARCHITECT AND FIRE MARSHAL)

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Beginning at the South 1/4 corner of Said Section 9, thence S. 87°49'00" W., 410.80 feet; thence N. 03°38'00" W., 449.96 feet; thence N. 69°12'30" E., 62.79 feet; thence N. 87°49'00" E., 370.45 feet; thence S. 01°14'17" E., 469.95 feet to the point of beginning, except the Southerly 60 feet taken for Walton Boulevard.

NOTES
 - THE ABIDING PRESENCE EVANGELICAL LUTHERAN, A MICHIGAN ECCLESIASTICAL CORPORATION ORGANIZED AND EXISTING UNDER THE LAWS OF THE STATE OF MICHIGAN, CITY OF ROCHESTER HILLS - OAKLAND COUNTY
 - TOPOGRAPHIC SURVEY FURNISHED BY ARCHITECT. ORIGINAL SURVEY BY QUINER & ASSOCIATES.
 - FIRE LINES SHALL BE DESIGNATED BY THE FIRE CODE OFFICIAL, AND SHALL BE CONSPICUOUSLY POSTED ON BOTH SIDES OF THE FIRE LANE, WITH FIRE LANE SIGNS, SPACED NOT MORE THAN 100 FEET APART, AND STOPPING, STANDING, PARKING, FIRE LANE, AND IN CONFORMANCE WITH THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, FIRE PREVENTION ORDINANCE CHAPTER 58, SEC. 901.4.2
 - CONSTRUCTION SITES SHALL BE SAFEGUARDED IN ACCORDANCE WITH UFC ART 87, SEC. 8701.
 - OPEN BURNING IS NOT PERMITTED INCLUDING THE BURNING OF TRASH, DEBRIS, OF LAND CLEARING MATERIALS.
 - FIRE PREVENTION ORDINANCE CHAPTER 58, SEC. 1102.6.1



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 ARCHITECT
 1871 AUSTIN STREET
 TROY MICHIGAN
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 288 AVON ACRES DRIVE, ROCHESTER HILLS, MI 48068
 PHONE: (248) 862-9000 FAX: (248) 862-9070

PROPOSED PHASE-I ADDITION & RENOVATION

THE ABIDING PRESENCE LUTHERAN CHURCH ADDITION
 1550 WALTON BLVD., ROCHESTER HILLS, MICHIGAN

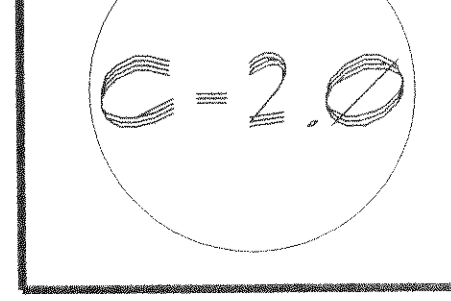
DESCRIPTION: SITE PLAN

JOB NO. A3-APLC-103

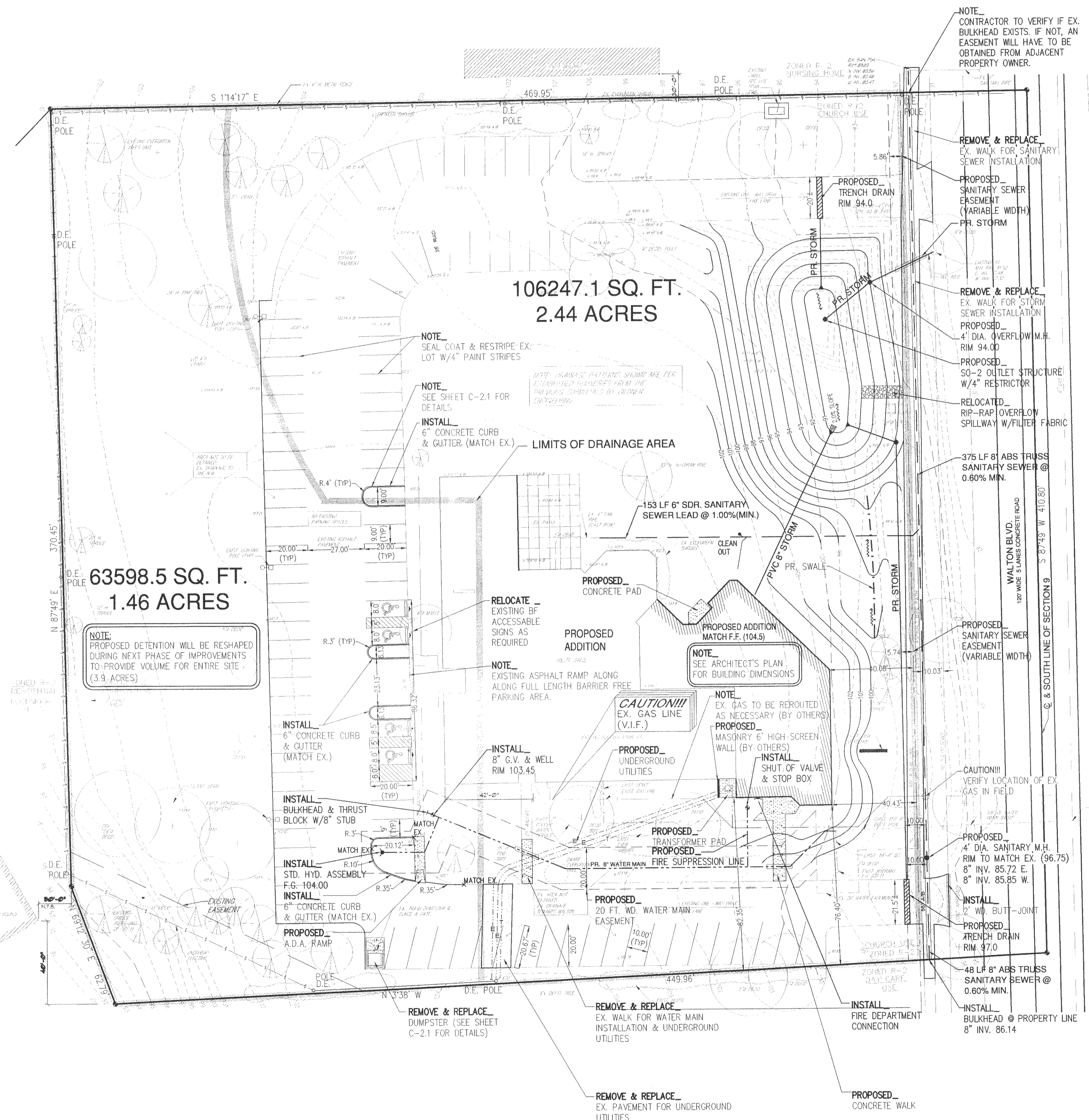
DATE: 02-11-11

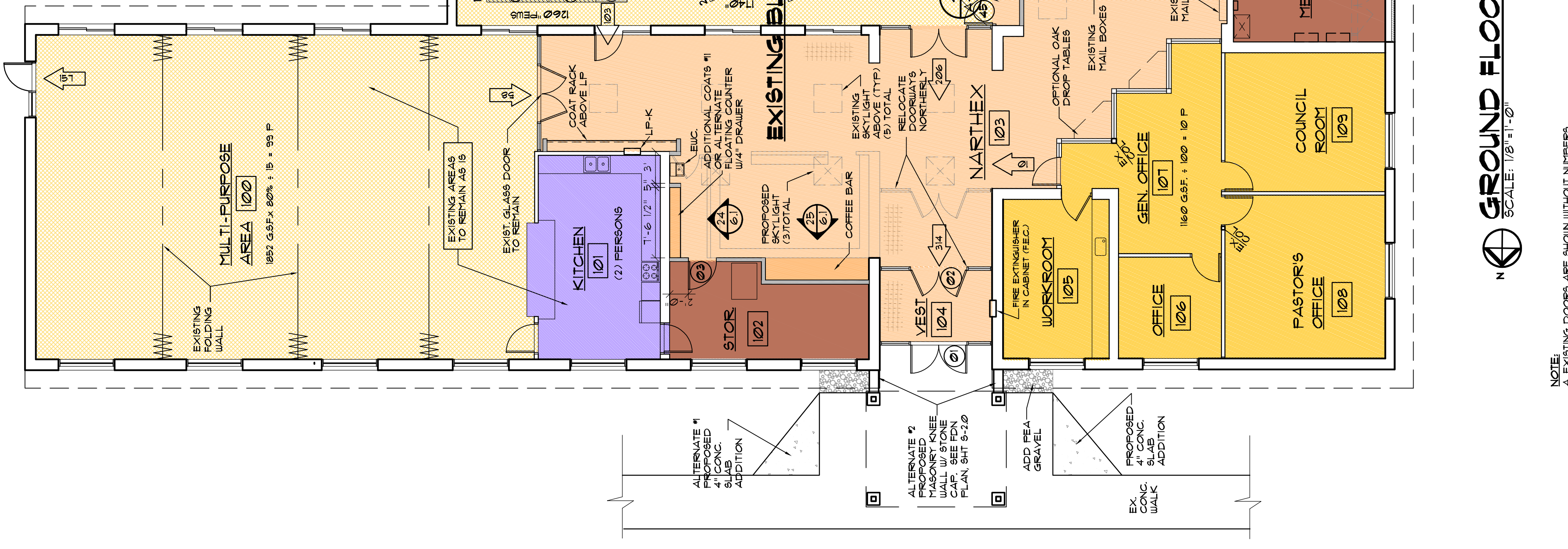
DATE	BY	DESCRIPTION
02/22/09	SPA, LH	
03/18/09	CPA, LH	
03/18/09	SPW, BH	

SHEET NO.



NOT FOR CONSTRUCTION
 CITY FILE No. 87-829.2





GENERAL BUILDING NOTES

- ALL WORK TO BE PER ICC MICHIGAN BUILDING CODE 2009.
- THE PROPOSED BUILDING SHALL BE IN COMPLIANCE WITH ICC(ANS) A117.1-99.8 ACCESSIBILITY.

GENERAL BUILDING (EXISTING AND PROPOSED) INFORMATION:
A3 ASSEMBLY

III B & IV

II B

9500 SF.
13,491 G.S.F.
5125 G.S.F.
13,276 G.S.F.

• USE GROUP

• CONSTRUCTION TYPE

• EXISTING AREA

• PROPOSED AREA

• MOST RESTRICTIVE ALLOWABLE HEIGHT AND AREA PER TABLE 503

• EXISTING BUILDING AREA

• PROPOSED ADDITION

• TOTAL EXISTING AND PROPOSED ADDITION

ALLOWABLE AREA INCREASE DUE TO FRONTAGE AND AUTOMATIC SPRINKLER SYSTEM

(EXISTING BLDG. & PROPOSED ADDITION)
AREA 19,276 SQ. FT.
(1F) AREA INCREASE DUE TO FRONTAGE
(1F) = $100 \left[\frac{10 - 0.25}{10} \right] \left[\frac{30}{30} \right]$
(1F) = $100 \left[\frac{10 - 0.25}{10} \right] \left[\frac{30}{30} \right]$
(1F) INCREASE DUE TO FIRE SPRINKLER = 2,000'
(Aa) TOTAL ALLOWABLE AREA = $41,100 \left[\frac{100}{100} \right] \left[\frac{100}{100} \right]$
9500 + 19,276 + 2,000 = 35,625 SQ. FT.

BUILDING OCCUPANCY

• SANCTUARY OCCUPANCY PER MICH. BLDG. CODE:
46333 LF. ÷ 15 LF./P. = 3093 PERSONS
OCCUPANCY PER CITY PARKING REQUIREMENTS:
46333 LF. ÷ 2 LF. = 231 PERSONS

• MTG. RM. 4, CONF. RM. AREAS
CL. RMS = 635 SF. × 80% = 508 SF./P
OFFICE AREAS = 635 SF. × 100 SF./P = 6 PERSONS
KITCHEN AREA = 635 SF. × 200 SF./P = 3 PERSONS
MULTI-PURPOSE AREA
FELLOWSHIP USE (TABLE: CHAIRS)
NET AREA (80%) 95,000 SF. ÷ 15 SF./P = 6333 PERSONS

MAIN EXIT EGRESS REQUIREMENT
50% CAPACITY OF BUILDING
MAIN EXIT : 300 PERSONS ÷ 2 PERSONS = 60'
+ 36" DOOR = 2 DOORS / 2 DOORS REQUIRED
2 DOORS PROPOSED

MIN. CORRIDOR WIDTH
(015/ OCCUPANT) PER TABLE (1002.3) WITH SFLINKER SYSTEM
MIN. LOBBY WIDTH REQUIRED: 6' NARTHEX
3/4" X .015" = 4"; PROVIDED 150"

PROPOSED PHASE - I ADDITION AND RENOVATION

ARTHUR E. KALAJIAN ARCHITECT
1871 AUSTIN STREET TROY, MICHIGAN 48064
1-248-524-3616

THE FOUNDATION CENTER
1500 EASTON BLVD.
ROCHESTER HILLS, MICHIGAN

GROUND FLOOR PLAN

JOB NO. A3-APLC-103

SEAL:

DATE	ISSUE BY	DATE	ISSUE BY
2-3-03	REV/AEK		
2-18-03	REV/AEK		
3-13-03	REV/AEK		
3-26-03	REV/AEK		
3-27-03	REV/AEK		
4-21-03	REV/AEK		
11-04-03	SP4/AEK		
11-18-03	REV/AEK		
11-18-03	REV/AEK		

SHEET NO. A-1.1

CITY FILE NO. 81-8292

WALL SYMBOLS

- STONE OR BRICK VENEER ON METAL STUDS WITH 1/2" DRYWALL
- FURRING ON MASONRY
- 3 5/8" METAL STUDS WITH 1/2" DRYWALL EACH SIDE
- WALLS TO BE REMOVED

EXISTING SEATING: TOTAL 39533 LF. SEATING
PROPOSED SEATING: TOTAL 65 LF. SEATING

PORCELAIN TILE FLOORING IN EXISTING AND PROPOSED AREA

COL. DETAIL
SCALE: 1/8"=1'-0"

NEW WALLS TO BE REMOVED

- EXISTING SEATING
- PROPOSED SEATING
- EXISTING AREAS TO REMAIN AS IS
- CLASS ROOMS
- CORRIDORS
- OFFICE AREAS
- STORAGE MECHANICAL
- RESTROOMS & KITCHEN AREAS
- EXISTING SEATING, (313) L.F.
- ADDITIONAL SEATING, (133) L.F.
- PARKING REQUIREMENTS, (446) L.F. / 6 = 15 CARS.
- OCCUPANCY (446) L.F. / 15 = 296 PEOPLE

GENERAL BUILDING (EXISTING AND PROPOSED) INFORMATION:
A3 ASSEMBLY

III B & IV

II B

9500 SF.
13,491 G.S.F.
5125 G.S.F.
13,276 G.S.F.

• USE GROUP

• CONSTRUCTION TYPE

• EXISTING AREA

• PROPOSED AREA

• MOST RESTRICTIVE ALLOWABLE HEIGHT AND AREA PER TABLE 503

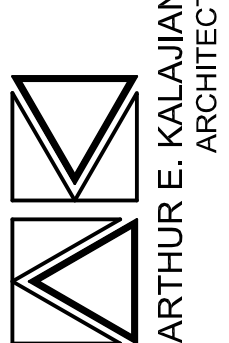
• EXISTING BUILDING AREA

• PROPOSED ADDITION

• TOTAL EXISTING AND PROPOSED ADDITION

NOT FOR CONSTRUCTION

NOTE:
A. EXISTING DOORS ARE SHOWN WITHOUT NUMBERS
B. VERIFY ALL PERTINENT DIMENSIONS WITHIN THE EXISTING AREA
C. ALL WORK TO BE PER LOCAL AND STATE OF MICHIGAN 2009 BUILDING CODE



ARTHUR E. KALAJIAN
ARCHITECT
1871 AUSTIN STREET
TROY, MICHIGAN
48064
1-248-524-3616

PROPOSED
PHASE - I
ADDITION
AND
RENOVATION

THE ADDING FOUNDATION
150 WALTON BLDG.
ROCHESTER HILLS, MICHIGAN

DESCRIPTION:
EXTERIOR
ELEVATIONS

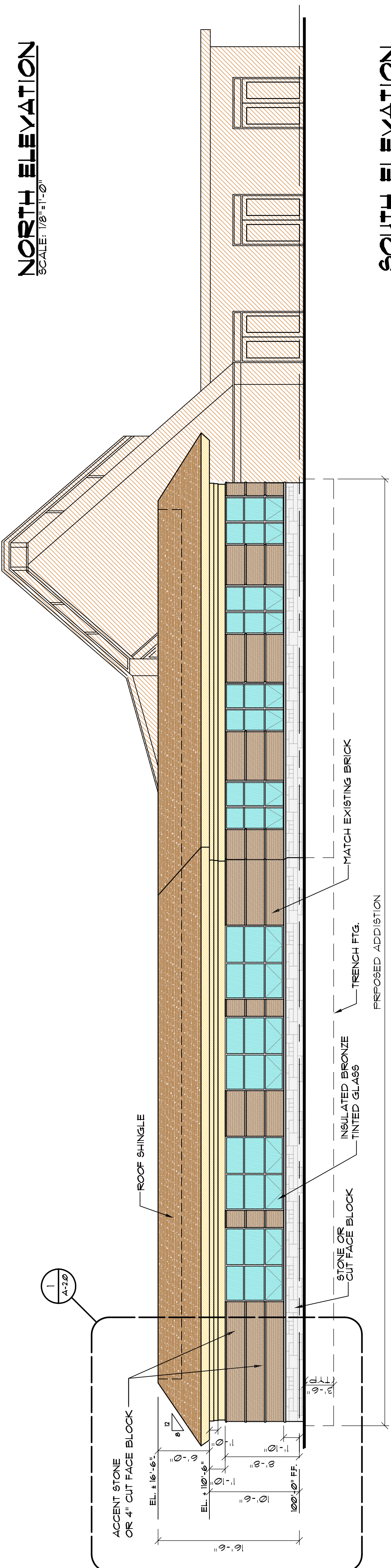
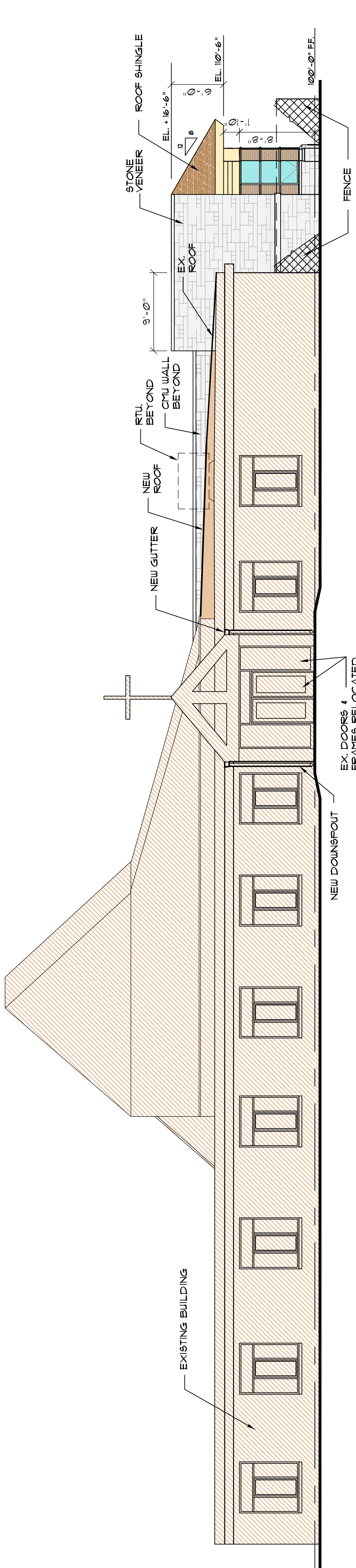
JOB NO
A3-APL-C-103
SEAL:

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2-18-03	REV/AEK		
4-21-03	REV/AEK		
5-6-03	REV/AEK		
9-26-03	REV/AEK		
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11-18-03	REV/AEK		
2-05-04	REV/AEK		

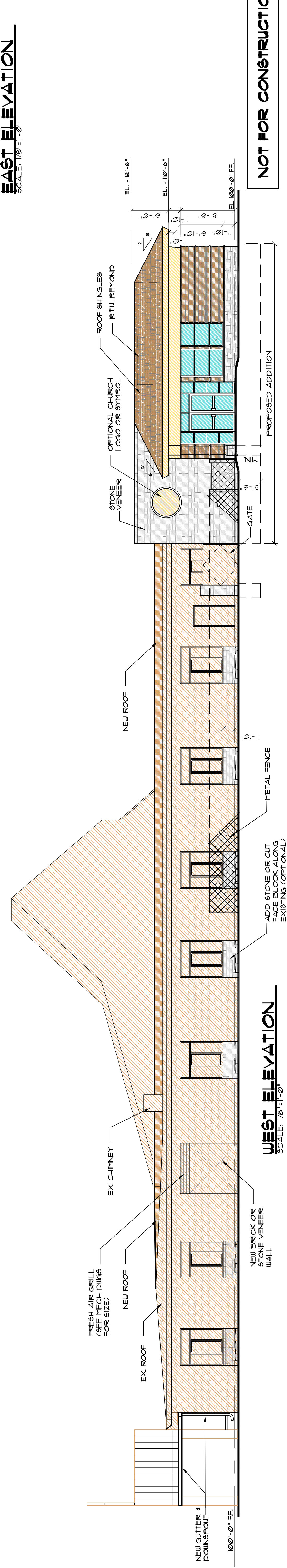
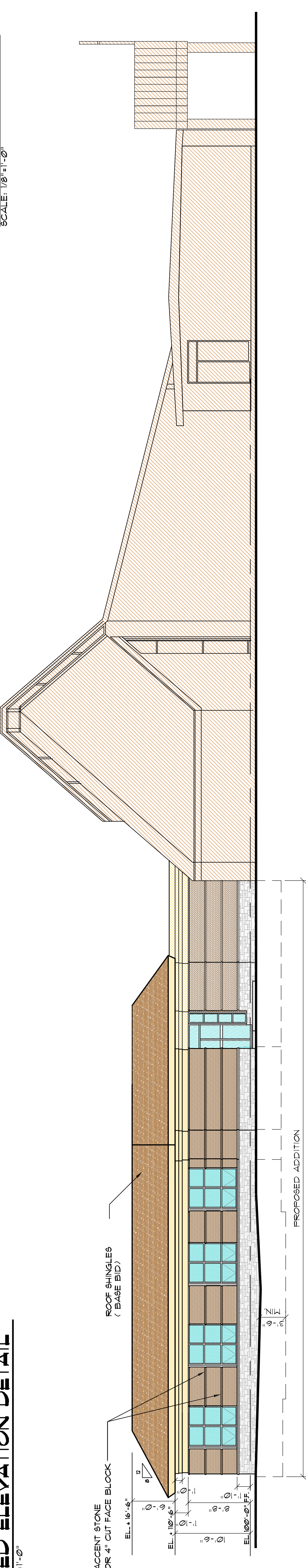
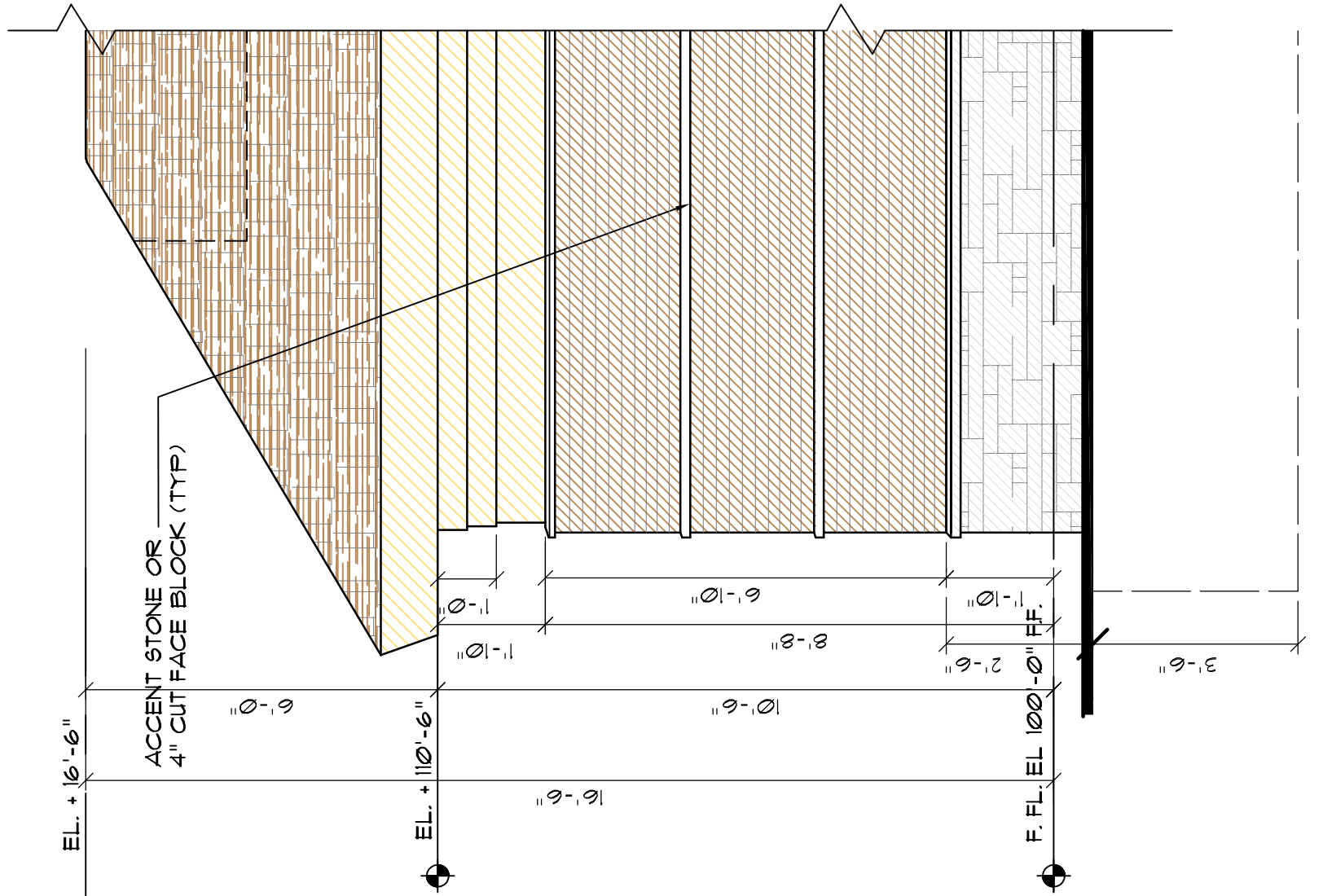
SHEET NO

A-2.0

CITY FILE NO.
81-8232



ENLARGED ELEVATION DETAIL
SCALE: 3/8"=1'-0"



NOT FOR CONSTRUCTION

**THE ABIDING PRESENCE
LUTHERAN CHURCH ADDITION**
1550 WALTON BLVD.
ROCHESTER HILLS, MICHIGAN

DESCRIPTION:
**EXISTING SITE
LANDSCAPE**

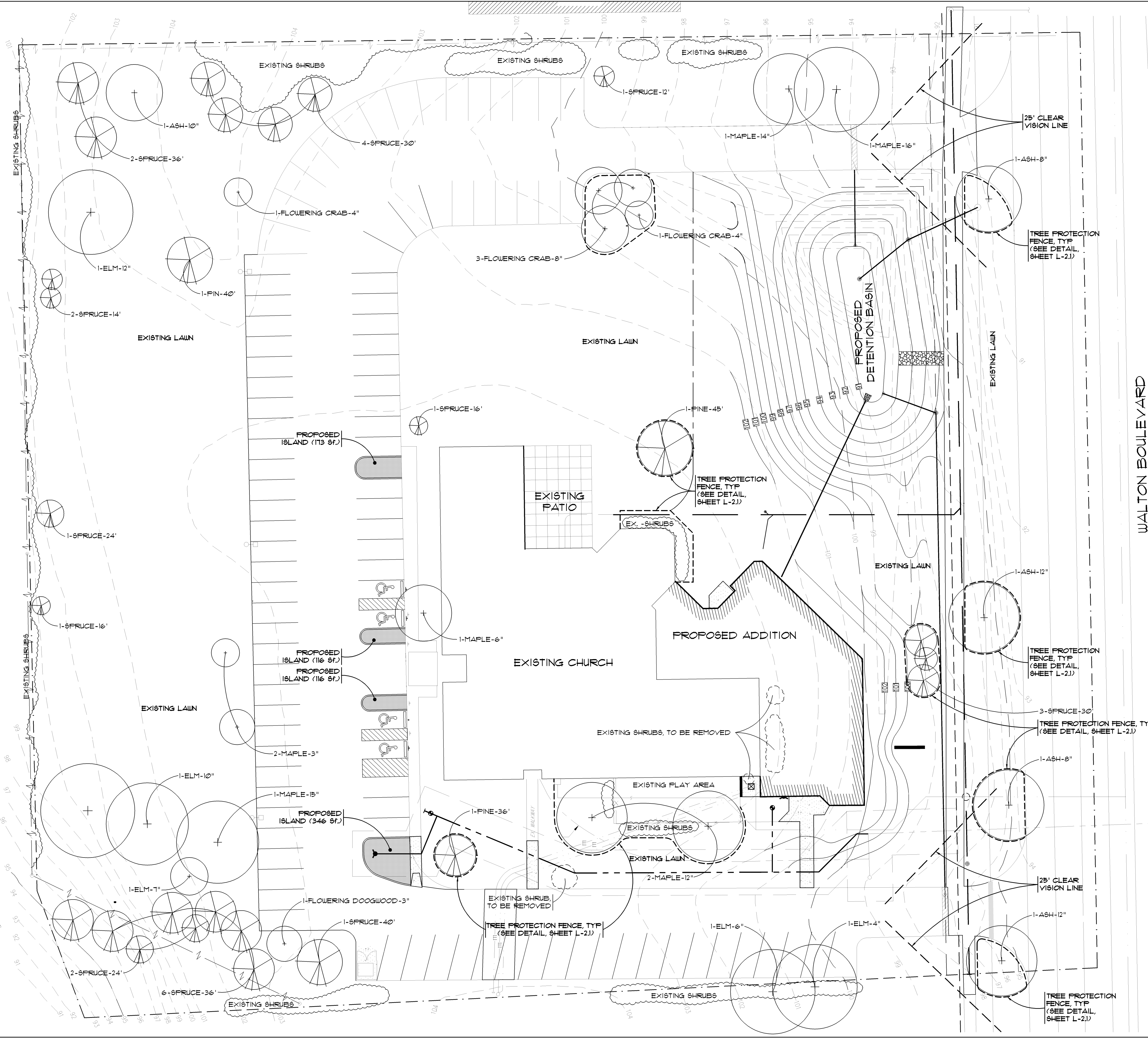
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A3-APLC-103

SEAL:

DATE	BY	SCALE	REVISION
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3/22/24	REV. JMK		
3/26/24	REV. JMK		
3/30/24	REV. JMK		
5/10/24	REV. JMK		

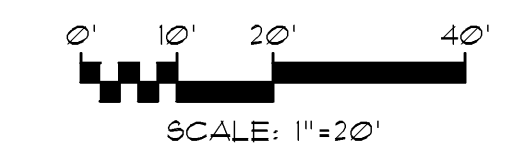
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L-10



PLANT MATERIAL KEY

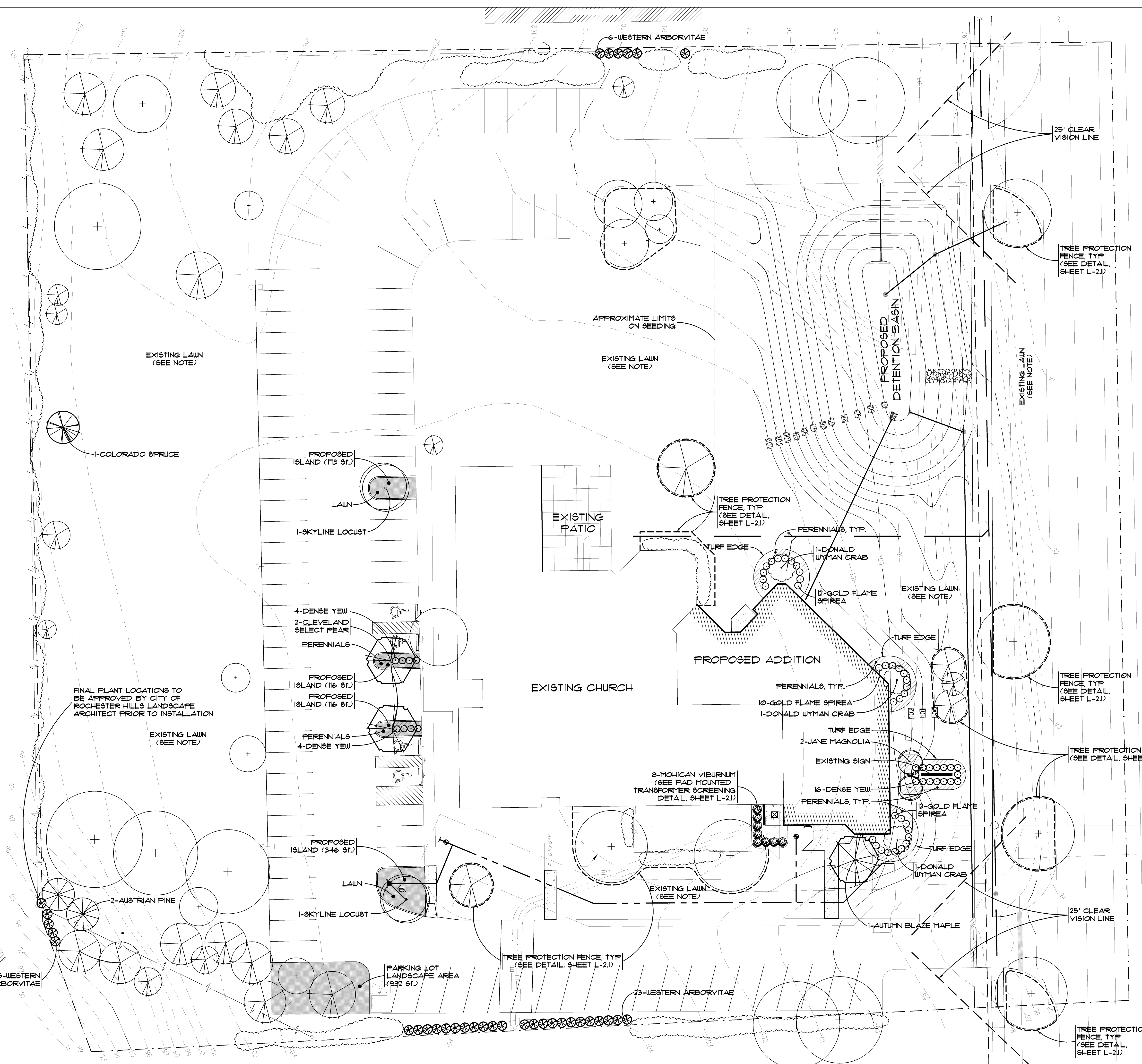
- = EXISTING DECIDUOUS TREE
- = EXISTING EVERGREEN TREE
- = EXISTING SHRUBS, TO REMAIN
- = EXISTING SHRUBS, TO BE REMOVED



NOT FOR CONSTRUCTION

CITY FILE No. 87-829.2

WALTON BOULEVARD



NOTE
LANDSCAPE CONTRACTOR TO TOPSOIL, SEED, AND FERTILIZE ALL DISTURBED AREAS.

PLANT MATERIAL KEY

- = EXISTING DECIDUOUS TREE
- = EXISTING EVERGREEN TREE
- = EXISTING SHRUBS
- = EXISTING SHRUBS, TO BE REMOVED
- = PROPOSED DECIDUOUS TREE
- = PROPOSED EVERGREEN TREE
- = PROPOSED ORNAMENTAL TREE
- = PROPOSED PARKING LOT LANDSCAPE AREA

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CONROY & ASSOCIATES, INC.
LANDSCAPE ARCHITECTS
1550 WALTON BLVD.
ROCHESTER HILLS, MICHIGAN
48064
248-853-8800

PROPOSED PHASE-1 ADDITION & RENOVATION

THE ABIDING PRESENCE LUTHERAN CHURCH ADDITION
1550 WALTON BLVD.
ROCHESTER HILLS, MICHIGAN

DESCRIPTION:
EXISTING SITE CONDITIONS & LANDSCAPE

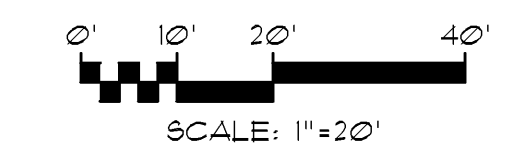
JOB NO.
A3-AFLC-103

SEAL:

DATE	BY	REV.	DESCRIPTION
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3/26/24	REV/JMK		
3/28/24	REV/JMK		
3/28/24	REV/JMK		

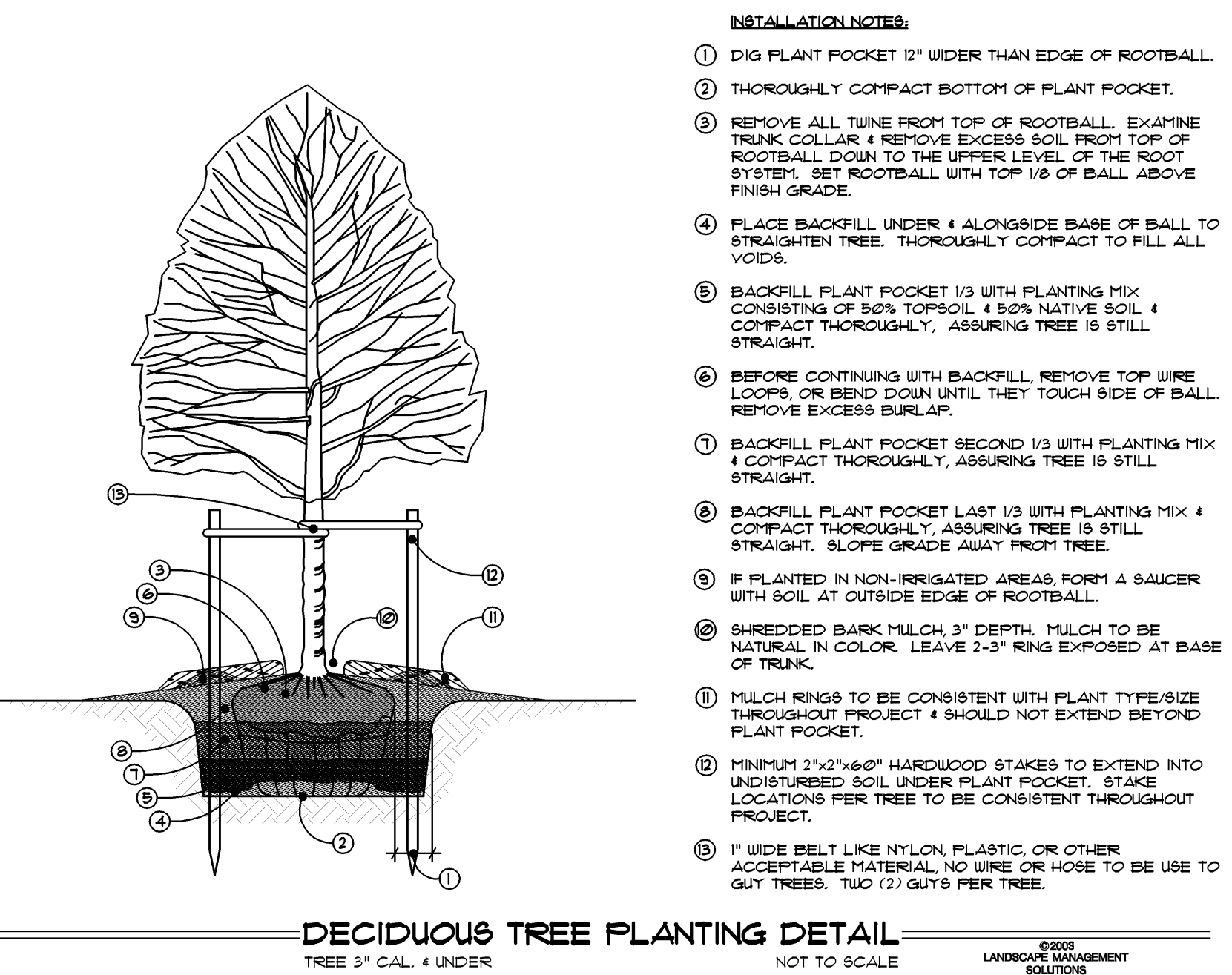
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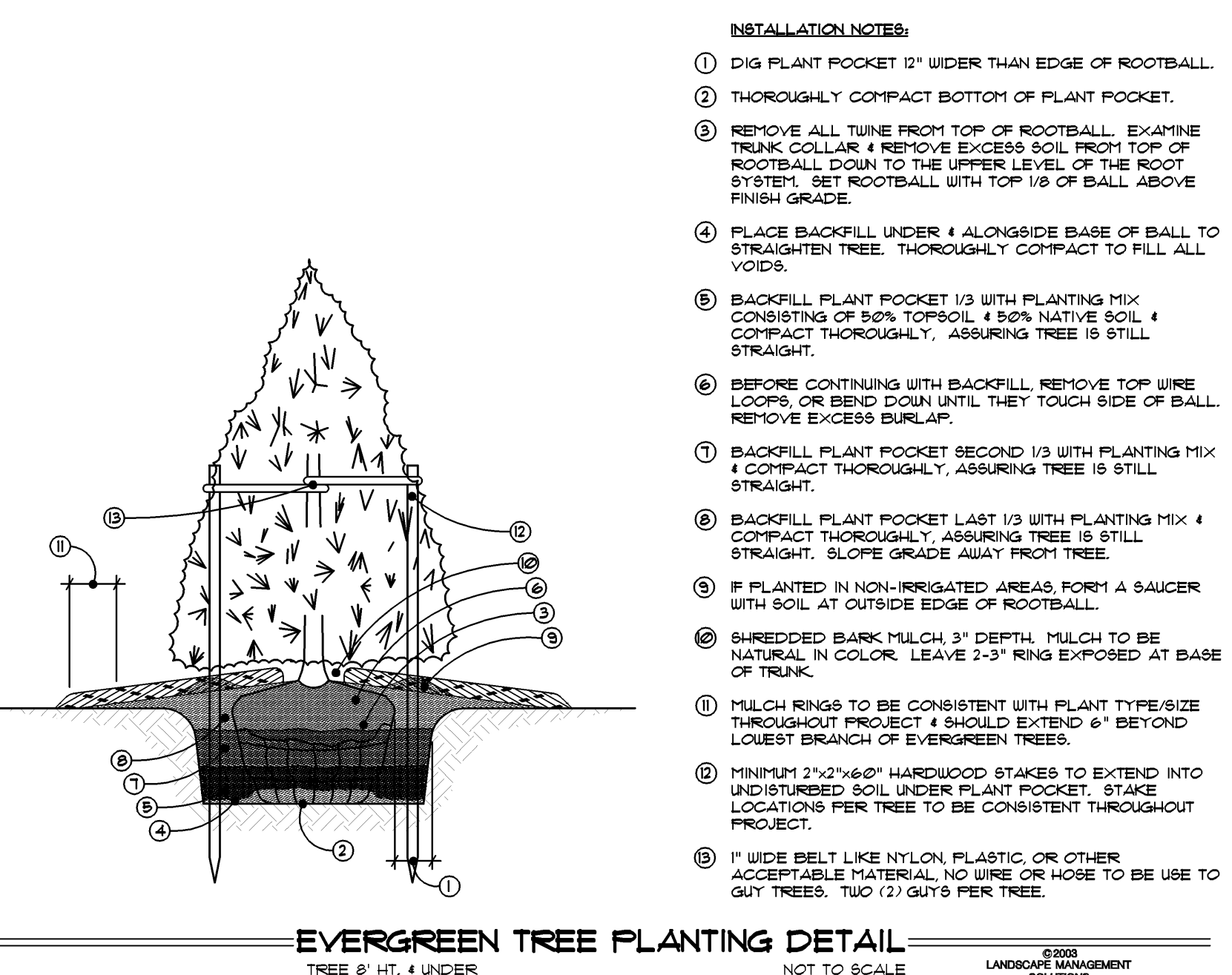


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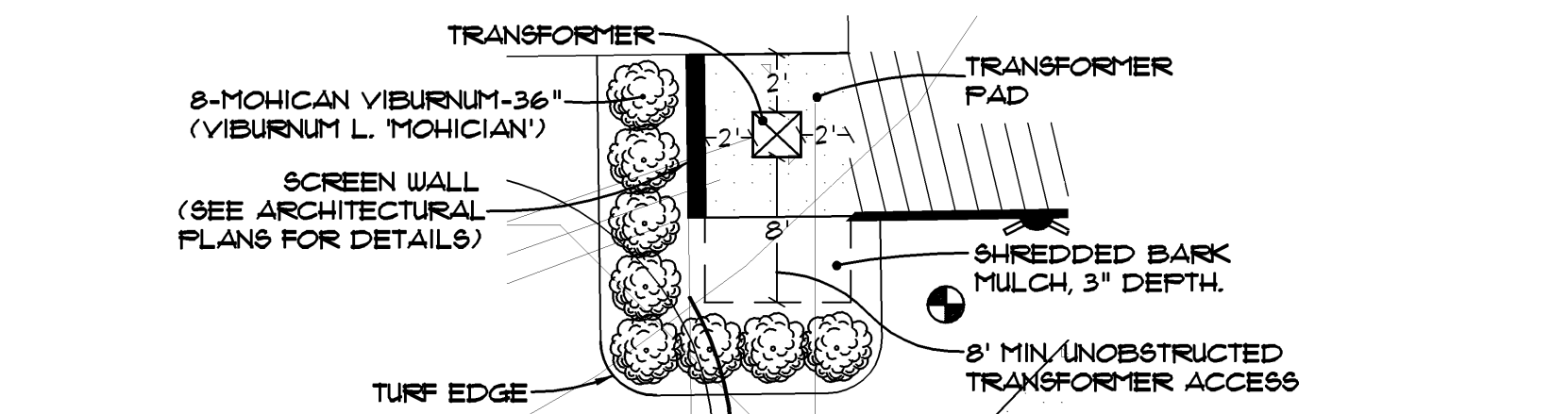
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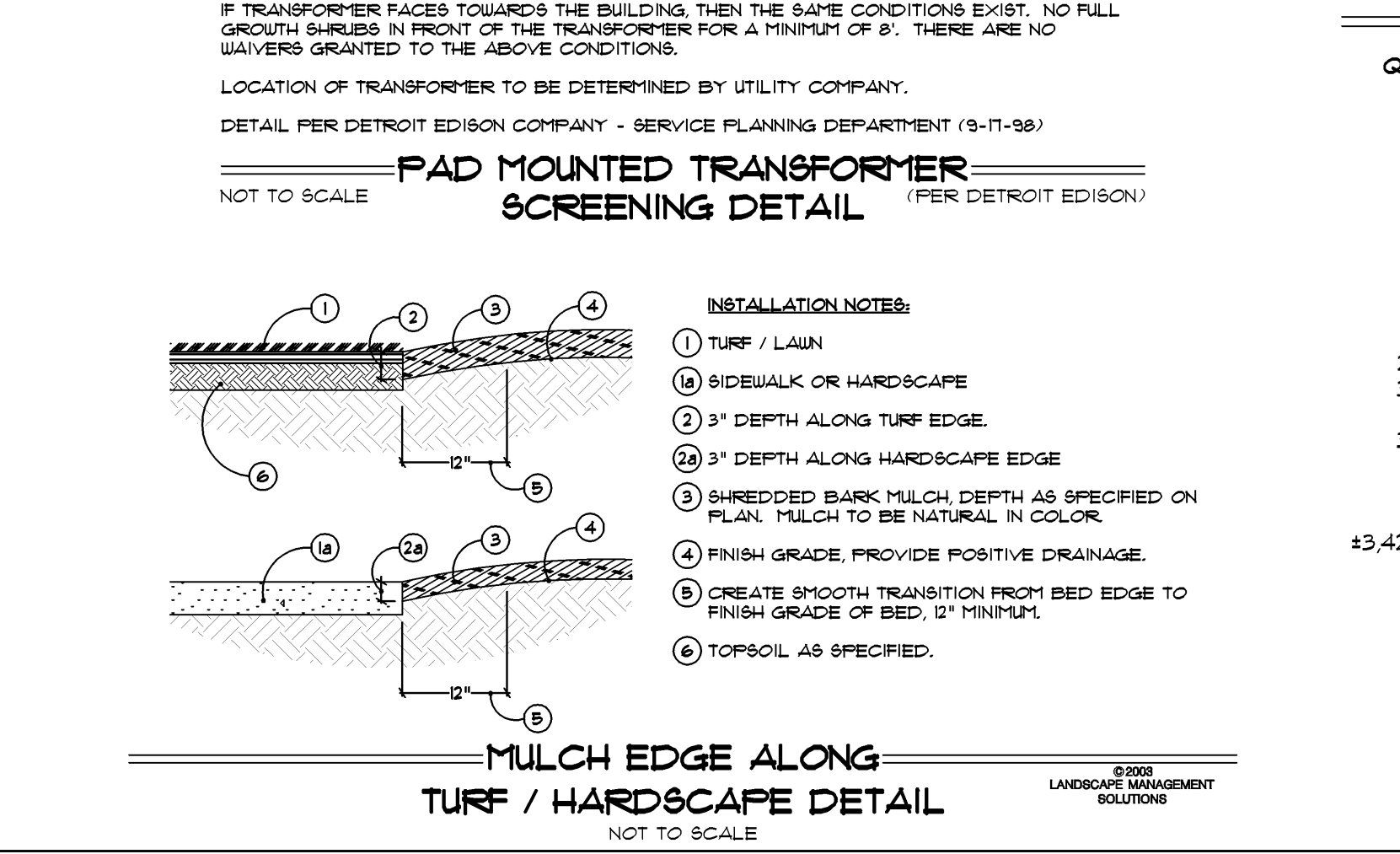
DECIDUOUS TREE PLANTING DETAIL
TREE 3" CAL. & UNDER
NOT TO SCALE
©2008 LANDSCAPE MANAGEMENT SOLUTIONS



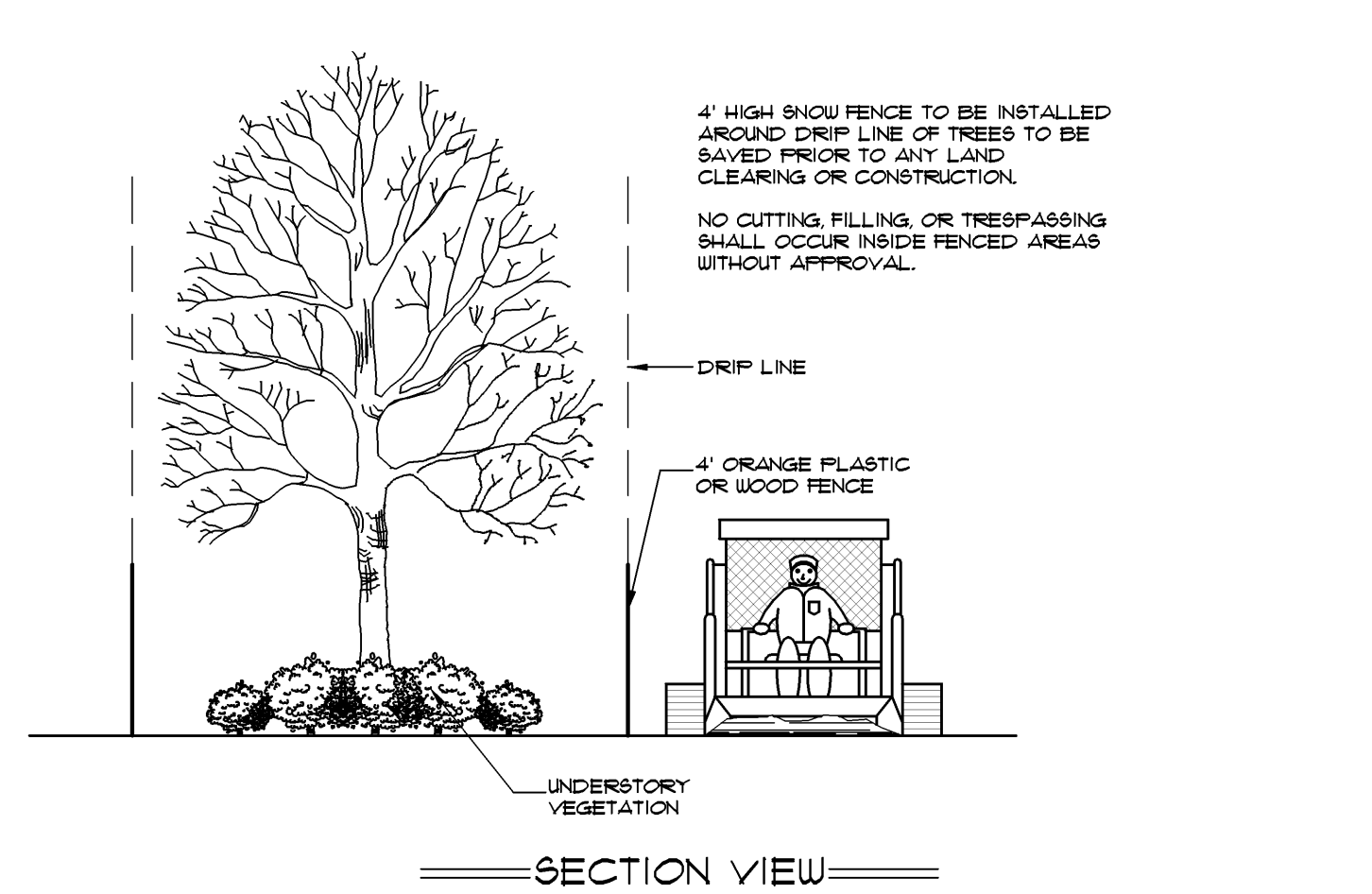
EVERGREEN TREE PLANTING DETAIL
TREE 6" HT. & UNDER
NOT TO SCALE
©2008 LANDSCAPE MANAGEMENT SOLUTIONS



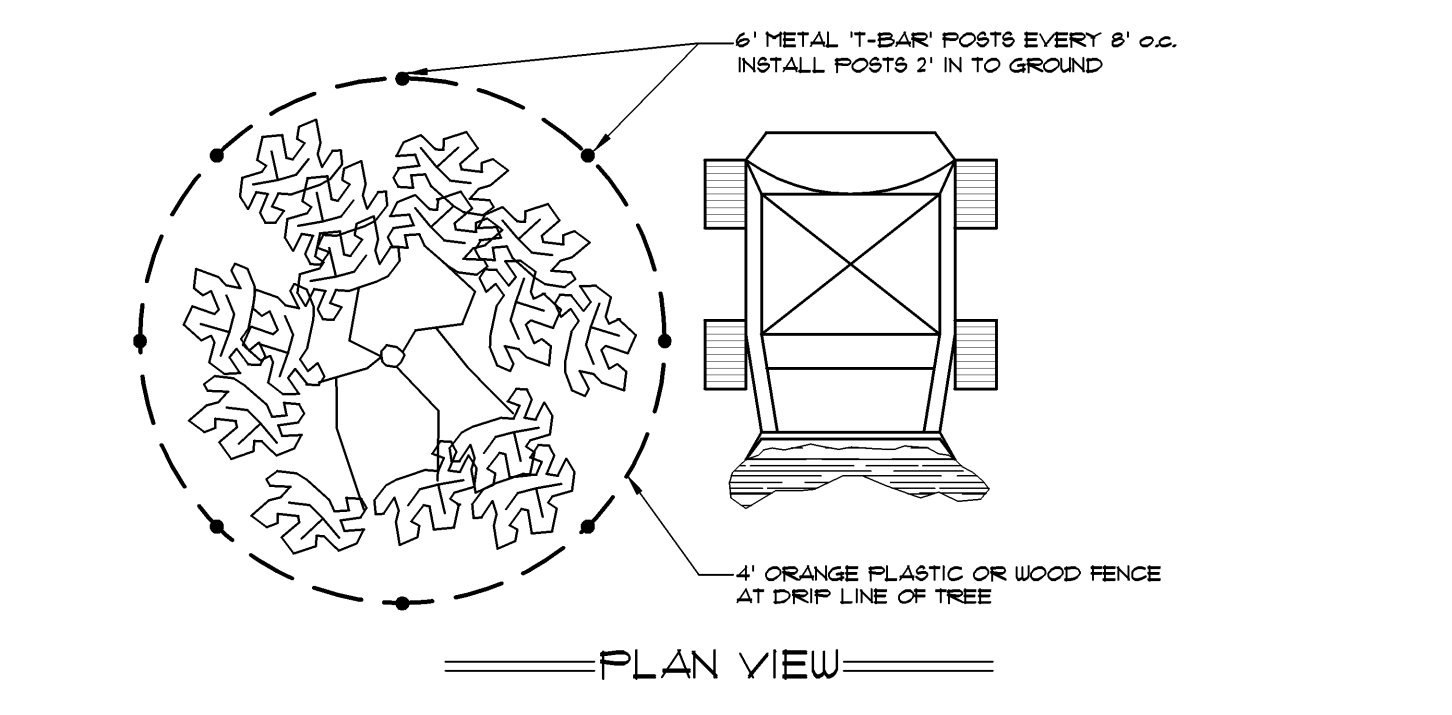
PAD MOUNTED TRANSFORMER SCREENING DETAIL
NOT TO SCALE



MULCH EDGE ALONG TURF / HARDSCAPE DETAIL
NOT TO SCALE
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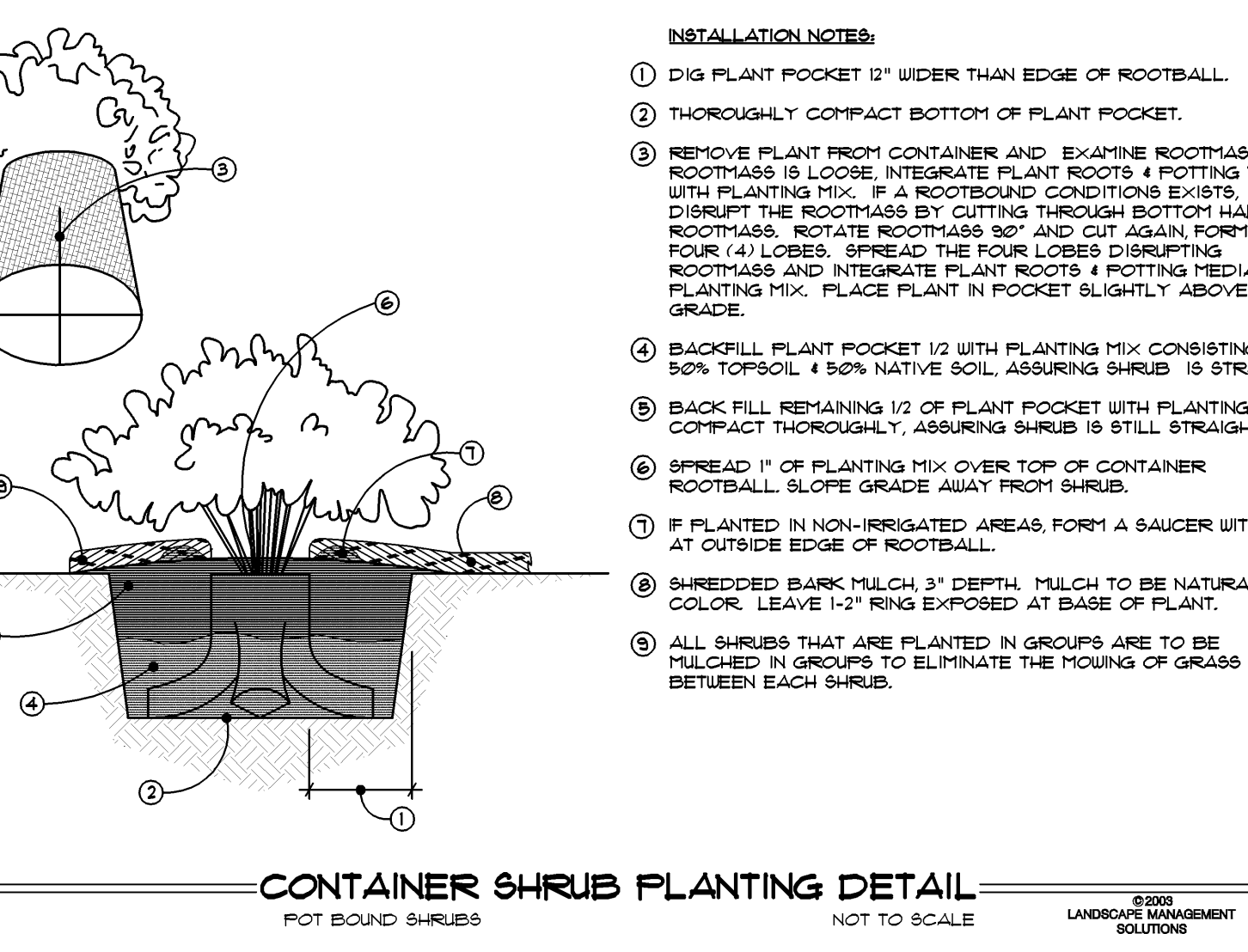


SECTION VIEW



PLAN VIEW

TREE PROTECTION DETAIL
CITY OF ROCHESTER HILLS
NOT TO SCALE



CONTAINER SHRUB PLANTING DETAIL
POT BOUND SHRUBS
NOT TO SCALE
©2008 LANDSCAPE MANAGEMENT SOLUTIONS

PROPOSED PLANT MATERIAL LIST

QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	COMMENTS	UNIT COST	TOTAL COST
1	ACER R. X. F. 'AUTUMN BLAZE'	AUTUMN BLAZE MAPLE	3"	B 4 B		1400.00	1400.00
2	GLEDTSIA T. 'SKYLINE'	SKYLINE LOCUST	3"	B 4 B	MATCHED	1400.00	1400.00
2	PYRUS C. 'CLEVELAND SELECT'	CLEVELAND SELECT PEAR	3"	B 4 B	MATCHED	1400.00	1400.00
3	MALUS 'DONALD WYMAN'	DONALD WYMAN CRAB	2"	B 4 B	MATCHED	1245.00	1735.00
2	MAGNOLIA X. 'JANE'	JANE MAGNOLIA	6"	B 4 B	MATCHED	185.00	1370.00
1	FICA PUNGENS	COLORADO SPRUCE	8"	B 4 B	FULL	1300.00	1300.00
2	FINUS NIGRA	AUSTRIAN PINE	8"	B 4 B	FULL	1300.00	1600.00
24	TAXUS X. M. 'DENSIFORMIS'	DENSE YEW	24"	B 4 B		45.00	1320.00
3	SPIREA X. B. 'GOLD FLAME'	GOLD FLAME SPIREA	24"	CONT		40.00	1360.00
8	VIBURNUM L. 'MOHICAN'	MOHICAN VIBURNUM	36"	CONT		145.00	1360.00
34	THUJA PLICATA	WESTERN ARBORVITAE	4"	CONT		175.00	12550.00
-	PERENNIALS		1 GAL.	CONT		LUMP 6UM	4500.00
-	SEEDED LAWN		-	-		1150 / Sq.	15130.00
-	IRRIGATION ALLOWANCE		-	-		LUMP 6UM	17500.00
						TOTAL	422,125.00

NOTE: CHURCH WILL PURCHASE MATERIAL AT RETAIL COST AND INSTALL IT THEMSELVES.

TREE PROTECTION NOTES

- THE TREE PROTECTION FENCE SHALL BE ERRECTED PER THE PLANS APPROVED BY THE CITY OF ROCHESTER HILLS' PLANNING DEPARTMENT. THE TREE PROTECTION FENCE MUST BE INSPECTED BY THE CITY OF ROCHESTER HILLS' LANDSCAPE ARCHITECT PRIOR TO THE START OF ANY EARTHWORK OF CONSTRUCTION OPERATIONS. IT IS THE DEVELOPER'S RESPONSIBILITY TO CONTACT THE CITY PLANNING DEPARTMENT AT 1-248-656-1660 TO SCHEDULE A TREE PROTECTION FENCE INSPECTION. THE TREE PROTECTION FENCE SHALL REMAIN IN PLACE THROUGHOUT THE ENTIRE CONSTRUCTION PROCESS OR UNTIL THE CITY AUTHORIZES THE REMOVAL OR ISSUES A FINAL CERTIFICATE OF OCCUPANCY, WHICH EVER OCCURS FIRST.
- UPON COMPLETION OF GRADING AND THE INSTALLATION OF THE INFRASTRUCTURE A SECOND INSPECTION OF THE TREE PROTECTION FENCE AND THE TREES DESIGNATED FOR PRESERVATION IS REQUIRED BY THE CITY OF ROCHESTER HILLS' LANDSCAPE ARCHITECT PRIOR TO THE START OF ANY ADDITIONAL CONSTRUCTION. IT IS THE DEVELOPER'S RESPONSIBILITY TO CONTACT THE CITY PLANNING DEPARTMENT AT 1-248-656-1660 TO SCHEDULE THIS TREE PROTECTION FENCE INSPECTION.
- UPON COMPLETION OF CONSTRUCTION AND PRIOR TO THE REMOVAL OF THE TREE PROTECTION FENCE THE CITY OF ROCHESTER HILLS' LANDSCAPE ARCHITECT MUST INSPECT ALL TREES DESIGNATED TO BE PRESERVED. THE LANDSCAPE PERFORMANCE BOND WILL NOT BE RELEASED UNTIL THIS INSPECTION AND ALL ISSUES ARE RESOLVED. IT IS THE DEVELOPER'S RESPONSIBILITY TO CONTACT THE CITY PLANNING DEPARTMENT AT 1-248-656-1660 TO SCHEDULE THIS TREE PROTECTION FENCE INSPECTION.
- A FINAL INSPECTION BY THE CITY OF ROCHESTER HILLS' LANDSCAPE ARCHITECT IS REQUIRED AT THE END OF THE WARRANTY AND MAINTENANCE PERIOD. THE LANDSCAPE MAINTENANCE BOND WILL NOT BE RELEASED UNTIL THIS INSPECTION IS COMPLETED AND ALL RELATED ISSUES ARE RESOLVED. IT IS THE DEVELOPER'S RESPONSIBILITY TO CONTACT THE CITY PLANNING DEPARTMENT AT 1-248-656-1660 TO SCHEDULE THIS TREE PROTECTION FENCE INSPECTION.
- THE TREE CONSERVATION ORDINANCE PROHIBITS ANY CONSTRUCTION OR DEVELOPMENT WITHIN THE DRIP LINES OF ANY REGULATED TREES NOT APPROVED FOR REMOVAL, INCLUDING BUT NOT LIMITED TO LAND CLEARING, GRUBBING, TRENCHING, GRADING OR FILLING. NO PERSON SHALL PLACE ANY SOLVENTS, BUILDING MATERIALS, CONSTRUCTION EQUIPMENT, SOIL, DEBRIS, OR HAZARDOUS MATERIALS WITHIN THE DRIP LINES OF TREES DESIGNATED FOR PRESERVATION.
- PROPOSED GRADES ARE TO MATCH EXISTING ELEVATIONS OUTSIDE THE LIMITS OF THE TREE PROTECTION FENCE. NO GRADING, CUT OR FILL, IS PERMITTED WITHIN THE DRIP LINES OF ANY TREE DESIGNATED FOR PRESERVATION.
- DURING THE CONSTRUCTION PROCESS NO PERSON SHALL ATTACH ANY DEVICE OR WIRE, CABLE, CORD, ROPE TO ANY EXISTING TREE DESIGNATED FOR PRESERVATIONS.
- ALL UTILITY REQUESTS MUST INCLUDE NOTIFICATION TO THE INSTALLER THAT PROTECTED TREES MUST BE AVOIDED. ALL TRENCHING SHALL OCCUR OUTSIDE THE TREE PROTECTION FENCE.
- SUALES SHALL BE ROUTED TO AVOID THE AREA WITHIN THE DRIP LINES OF ANY TREE DESIGNATED FOR PRESERVATION. SUALES SHALL BE CONSTRUCTED SO AS NOT TO DIRECT ANY ADDITIONAL FLOW INTO THE DRIP LINES OF A TREE DESIGNATED FOR PRESERVATION.
- IF TREE PROTECTION CAN NOT BE MAINTAINED FOR ANY TREE THROUGHOUT THE ENTIRE REQUIRED PERIOD OF THAT TREE USE, THE DEVELOPER SHALL REMOVE THE TREE ON A 10' INCH BASIS PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- REGULATED TREES LOCATED ON ADJACENT PROPERTIES THAT MAY BE AFFECTED BY CONSTRUCTION OPERATIONS MUST BE PROTECTED AS DEFINED THERE IN.
- THE TREE PROTECTION FENCE SHALL CONSIST OF 4 FOOT HIGH ORANGE SNOU FENCING TO BE INSTALLED AROUND THE DRIP LINES OF ALL TREES DESIGNATED TO BE SAVED. THIS FENCING SHALL BE SUPPORTED BY 6 FOOT METAL POSTS ON 8 FOOT METAL POSTS AND DRIVEN A MINIMUM 24" INTO THE GROUND. THE TREE PROTECTION FENCE SHALL REMAIN UPRIGHT AND SECURELY IN PLACE FOR THE REQUIRED TIME AS SPECIFIED ABOVE.

LANDSCAPE REQUIREMENT SUMMARY

- GENERAL SITE INFORMATION
- TOTAL SITE AREA 163,846.55 Sq. Ft.
NET LANDSCAPE AREA 104,373.65 Sq. Ft. (61%)
(LESS R.O.W, PARKING LOT, BUILDING & DETENTION BASIN)
- PARKING LOT REQUIREMENTS
- 99 SPACES @ 150 Sq. PER 10 SPACES
LANDSCAPE AREA REQUIRED 1500 Sq. Ft.
LANDSCAPE AREA PROVIDED 1623 Sq. Ft.
TREES REQUIRED (1 TREE PER 300 SQ. FT.) 5
TREES PROVIDED 6 (2 EX. + 4 FR.)
- TYPE B BUFFER - NORTH, EAST & WEST PROPERTY LINE
- A REQUEST FOR MODIFICATION FROM A TYPE 'B' BUFFER ALONG THE EAST, WEST, AND NORTH BOUNDARIES. THE AREA ALONG THE NORTH PROPERTY LINE HAS EXISTING SHRUBS AND TREES ALONG WITH A DROP IN TOPOGRAPHY PRODUCING A 50% OPAFCITY. THE OWNER IS REQUESTING A WAIVER OF FENCES, BERM & 25' BUFFER WIDTH ALONG THE EAST AND WEST ADJACENT TO THE EXISTING PAVEMENT. THE ADJACENT PROPERTIES ARE RESIDENTIAL ZONED BUT NOT RESIDENTIAL IN DEVELOPMENT. THE WESTERN PORTION OF THE SITE HAS AN EXISTING BUFFER WIDTH WHICH VARIES FROM 3' TO 10' WIDE ALONG THE PAVEMENT. WE A PROPOSING TO ADD AN EVERGREEN SCREEN ALONG A PORTION OF THIS BUFFER. ALONG THE EASTERN PORTION OF THE SITE ALONG THE PAVEMENT HAS AN EXISTING 10' WIDE GREENBELT WITH EVERGREEN SHRUBS AND TREES. ADDITIONAL EVERGREEN SHRUBS HAVE BEEN ADDED

PLANTING TREES & SHRUBS

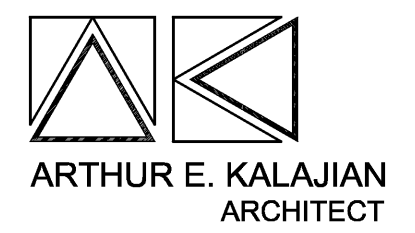
- DIG PLANT POCKET MINIMUM 24" WIDER THAN BALL.
- DIG PLANT POCKET FOR SHRUBS A MINIMUM OF 6" WIDER THAN BALL OR CONTAINER.
- LOOSEN SOIL ON SIDES OF POCKET TO BREAK GLAZING CAUSED BY DIGGING. THOROUGHLY COMPACT SUBGRADE.
- CONTRACTOR TO VERIFY PERCOLATION OF PLANTING BED OR POCKET PRIOR TO INSTALLATION.
- COMPLETELY REMOVE ALL CONTAINERS AT THE TIME OF PLANTING.
- ALL UNSUITABLE SOIL TO BE REMOVED FROM SITE.
- ALL HEIGHTS SHOWN ON DETAILS ARE BEFORE FINISHING.
- ALL DEPTHS SHOWN ON DETAILS ARE BEFORE SETTLING.
- SET 1/8 OF BALL IN POCKET, EXPOSING 1/8 OF BALL AT GRADE MINIMUM.
- BACKFILL PREPARED SOIL TO 1/3 THE DEPTH & COMPACT THOROUGHLY, BACKFILL SECOND 1/3 & COMPACT THOROUGHLY, FINISH BACKFILL & COMPACT THOROUGHLY.
- LOOSEN & REMOVE ALL LACING FROM BALL.
- BACKFILL WITH PREPARED SOIL.
- COVER PLANT POCKET AREA & ALL PLANTING BEDS WITH A MINIMUM 3" DEPTH SHREDDED BARK MULCH. LEAVE 3" RING EXPOSED AT BASE OF ALL INDIVIDUAL TREES. MULCH TO BE NATURAL IN COLOR.
- ALL ANNUAL & PERENNIAL BEDS ARE TO BE EXCAVATED TO A DEPTH OF 6" & REPLACED WITH A PLANTING MIX CONSISTING OF 50% SANDY SOIL & 50% LEAF COMPOST.
- ALL PLANTS ARE TO BE PLUMB PRIOR TO STAKING. STAKING IS NOT TO BE USED TO STRAIGHTEN LEAVING MATERIAL.
- ALL STAKING & GUYING MATERIAL TO BE REMOVED BY LANDSCAPE CONTRACTOR ONE (1) YEAR AFTER INSTALLATION.

GENERAL NOTES

- ALL LANDSCAPE INSTALLATION SHALL CONFORM TO THE LANDSCAPE REQUIREMENTS AS OUTLINED IN THE ORDINANCES FOR THE CITY OF ROCHESTER HILLS, MICHIGAN.
- ALL PLANT MATERIAL TO BE INSTALLED PER PLANTING DETAILS & SPECIFICATIONS.
- ALL LAWN AREA (AS INDICATED) ARE TO BE SEEDED WITH A MINIMUM 3" OF TOPSOIL.
- ALL LAWN AND LANDSCAPE AREAS (AS INDICATED) WILL BE IRRIGATED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.
- ALL EDGING (AS INDICATED) TO BE AS SPECIFIED ON DRAWINGS & DETAILS. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- SIZE AND QUALITY OF LANDSCAPE MATERIAL SHALL BE IN ACCORDANCE WITH THE STANDARDS SET FORTH BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- LANDSCAPE CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT AND THE CITY OF ROCHESTER HILLS' LANDSCAPE ARCHITECT IN WRITING OF ANY PROPOSED CHANGE IN PLANT MATERIAL AND OR LOCATION. LANDSCAPE ARCHITECT TO APPROVAL ALL SUBSTITUTIONS AND OR CHANGES IN WRITING, PRIOR TO INSTALLATION.
- THE DESIGNING LANDSCAPE ARCHITECT AND THE CITY OF ROCHESTER HILLS' LANDSCAPE ARCHITECT RESERVE THE RIGHT TO REJECT ANY PLANT MATERIAL THAT DOES NOT MEET THE OWNER, LANDSCAPE ARCHITECT, OR INDUSTRY STANDARDS.
- LANDSCAPE ARCHITECT TO APPROVE ALL PLANT LOCATIONS PRIOR TO INSTALLATION. ALL CONSTRUCTION AND PLANT MATERIAL LOCATIONS MAY BE ADJUSTED ON SITE IF NECESSARY. THE CITY OF ROCHESTER HILLS' LANDSCAPE ARCHITECT HAS THE FINAL APPROVAL.
- PLANT TREES AND SHRUBS GENERALLY NO CLOSER THEN THE FOLLOWING DISTANCES FROM SAFETY PATHS, SIDEWALKS, CURBS, PARKING STALLS & FIRE DEPARTMENT CONNECTIONS (HYDRANTS):
DECIDUOUS TREE - 5 FT.
ORNAMENTAL & CONIFEROUS TREES - 10 FT.
SHRUBBERY LESS THAN 12" HT. X 12" WD. (AT MATURITY) - 2 FT.
- NO DECIDUOUS OR CONIFEROUS TREES ARE TO BE INSTALLED OVER ANY PROPOSED OR EXISTING UNDERGROUND UTILITY LINES AS SHOWN ON THE OVERALL SITE LANDSCAPE PLAN. REFER TO CIVIL ENGINEERING PLANS FOR EXACT LOCATIONS AND DETAILS.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF TWO (2) YEARS AFTER THE DATE THE WORK IS ACCEPTED IN WRITING BY THE CITY OF ROCHESTER HILLS LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL REPLACE WITHOUT COST TO THE OWNER ALL DEAD PLANTS, AND ALL PLANTS NOT IN VIGOROUS THRIVING CONDITIONS, AS DETERMINED BY THE CITY OF ROCHESTER HILLS' LANDSCAPE ARCHITECT DURING AND AT THE END OF THE GUARANTEE PERIOD. REPLACEMENT MATERIAL SHALL CONFORM TO THE ORIGINAL SPECIFICATION.

CITY OF ROCHESTER HILLS NOTES

- PRIOR TO THE RELEASE OF THE PERFORMANCE BOND, THE CITY OF ROCHESTER HILLS' LANDSCAPE ARCHITECT MUST INSPECT ALL LANDSCAPE PLANTINGS INCLUDING BUT NOT LIMITED TO EXISTING TREES, REPLACEMENT TREES, BUFFER PLANTINGS, AND PARKING LOT ISLANDS AND THE FORESTRY DIVISION MUST INSPECT ALL RIGHT-OF-WAYS TO IDENTIFY ANY PLANTINGS NEW OR EXISTING THAT MAY POSE A HAZARD TO THE SAFE USE OF THE RIGHT-OF-WAY. FORESTRY MAY REQUIRE THE DEVELOPER TO REMOVE AND POSSIBLY REPLACE ANY SUCH TREES.
- ALL TREES AND SHRUBS MUST BE PLANTED AT LEAST 10' FROM THE EDGE OF A PUBLIC ROADWAY. SHADE TREES AND SHRUBS MUST BE PLANTED AT LEAST 5' FROM THE EDGE OF PUBLIC WALKWAYS. EVERGREEN AND ORNAMENTAL TREES MUST BE PLANTED AT LEAST 10' FROM THE EDGE OF PUBLIC WALKWAYS. ALL TREES AND SHRUBS MUST BE PLANTED AT LEAST 10' FROM FIRE HYDRANTS. SHADE AND EVERGREEN TREES MUST BE PLANTED AT LEAST 15' FROM THE NEAREST OVERHEAD WIRE AND AT LEAST 10' FROM THE NEAREST UNDERGROUND UTILITY.
- NO TREE OR SHRUB MAY BE PLANTED WITHIN A TRIANGULAR AREA FORMED AT THE INTERSECTION OF ANY STREET RIGHT-OF-WAY AT A DISTANCE OF 25' FROM THEIR POINT OF INTERSECTION. NO TREE OR SHRUB MAY BE PLANTED IN THE TRIANGULAR AREA FORMED AT THE INTERSECTION OF ANY DRIVEWAY WITH A PUBLIC SIDEWALK AT A DISTANCE ALONG EACH LINE OF 15' FROM THEIR POINT OF INTERSECTION.
- PRIOR APPROVAL IS REQUIRED TO PLANT ANY TREE OR SHRUB IN THE PUBLIC RIGHT-OF-WAY.
- TREES MAY NOT BE PLANTED WITHIN 4' OF ANY PROPERTY LINE.
- THE DEVELOPER AND/OR THE CITY OF ROCHESTER HILLS' LANDSCAPE ARCHITECT SHALL HAVE THE RIGHT, AT ANY STAGE OF THE INSTALLATION, TO REJECT ANY WORK OR MATERIAL THAT DOES NOT MEET THE REQUIREMENTS OF THE PLANS OR SPECIFICATIONS.
- PROPOSED TREES MAY NOT BE PLANTED WITHIN THE DRIP LINES OF EXISTING TREES LOCATED ON SITE OR ADJACENT SITES.
- TREES MUST BE AT LEAST 10' FROM UNDERGROUND UTILITIES AND 15' FROM OVERHEAD UTILITIES.



ARTHUR E. KALAJIAN
ARCHITECT

1871 AUSTIN STREET
TROY MICHIGAN
48064



PROPOSED
PHASE-1
ADDITION
&
RENOVATION

THE ABIDING PRESENCE
LUTHERAN CHURCH ADDITION
1550 WALTON BLVD.
ROCHESTER HILLS, MICHIGAN

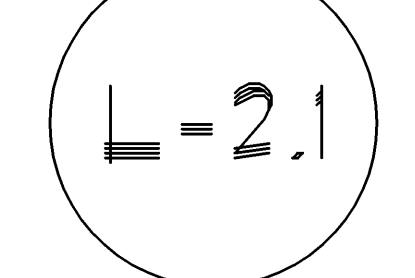
DESCRIPTION:
LANDSCAPE
DETAILS &
NOTES

JOB NO.
A3-AFLC-103

SEAL:

DATE	REV.	BY	DATE	REV.	BY
3/19/24	REV.	JMK			
3/23/24	REV.	JMK			
3/26/24	REV.	JMK			
3/26/24	REV.	JMK			
5/10/24	REV.	JMK			

SHEET NO.



NOT FOR CONSTRUCTION

CITY FILE No. 87-829.2