

typ. footing detail

3/4" = 1'-0"

concrete specifications:

1. ALL CONCRETE WORK SHALL CONFORM TO THE REQUIREMENTS OF ACI 318. SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS, EXCEPT AS ATTENDED BY SECTION 1908 OF THE IBC REQUIREMENTS.
2. ALL CONCRETE SHALL HAVE A MINIMUM OF 3000 PSI 28 DAY COMPRESSIVE STRENGTH (31 LBS. OF CEMENT PER CUBIC YARD MINIMUM (9.5 BAGS) & A WATER/CEMENT RATIO NOT TO EXCEED 6 GALLONS PER BAG).
3. THE USE OF ADDITIVES SUCH AS FLY ASH OR CALCIUM CHLORIDE IS NOT ALLOWED WITHOUT PRIOR REVIEW FROM THE ENGINEER.
4. THE CONCRETE CONTRACTOR SHALL SUBMIT THE DESIGN MIX OF EACH TYPE FOR REVIEW BY THE ENGINEER AND ARCHITECT PRIOR TO PLACEMENT.

concrete specifications:

- 1903) GENERAL. MATERIALS USED TO PRODUCE CONCRETE AND TESTING THEREOF SHALL COMPLY WITH THE APPLICABLE STANDARDS LISTED IN ACI 318 AND THIS SECTION. TEST OF CONCRETE AND MATERIALS USED IN CONCRETE SHALL BE IN ACCORDANCE WITH ACI 318 SECTION 3.8 WHERE REQUIRED, SPECIAL INSPECTIONS AND TESTS SHALL BE IN ACCORDANCE WITH CHAPTER 11.
- 1905) COLD WEATHER REQUIREMENTS. CONCRETE THAT IS TO BE PLACED DURING FREEZING OR NEAR-FREEZING WEATHER SHALL COMPLY WITH THE FOLLOWING:
 1. ADEQUATE EQUIPMENT SHALL BE PROVIDED FOR HEATING CONCRETE MATERIALS AND PROTECTING CONCRETE DURING FREEZING OR NEAR-FREEZING WEATHER.
 2. CONCRETE MATERIALS AND REINFORCEMENT, FORMS, FILLERS AND GROUND WITH WHICH CONCRETE IS TO COME IN CONTACT SHALL BE FREE FROM FROST.
 3. FROZEN MATERIALS OR MATERIALS CONTAINING ICE SHALL NOT BE USED.
- 1905) HOT WEATHER REQUIREMENTS. DURING HOT WEATHER, PROPER ATTENTION SHALL BE GIVEN TO INGREDIENTS, PRODUCTION METHODS, HANDLING, PLACING, PROTECTION AND CURING TO PREVENT EXCESSIVE CONCRETE TEMPERATURES OR WATER EVAPORATION THAT COULD IMPAIR THE REQUIRED STRENGTH OR SERVICEABILITY OF THE MEMBER OR STRUCTURE.
- 1908) GENERAL. THE TEXT OF ACI 318 SHALL BE MODIFIED AS INDICATED IN SECTIONS 1903) THROUGH 1906)1.

footing design load note M.B.C.

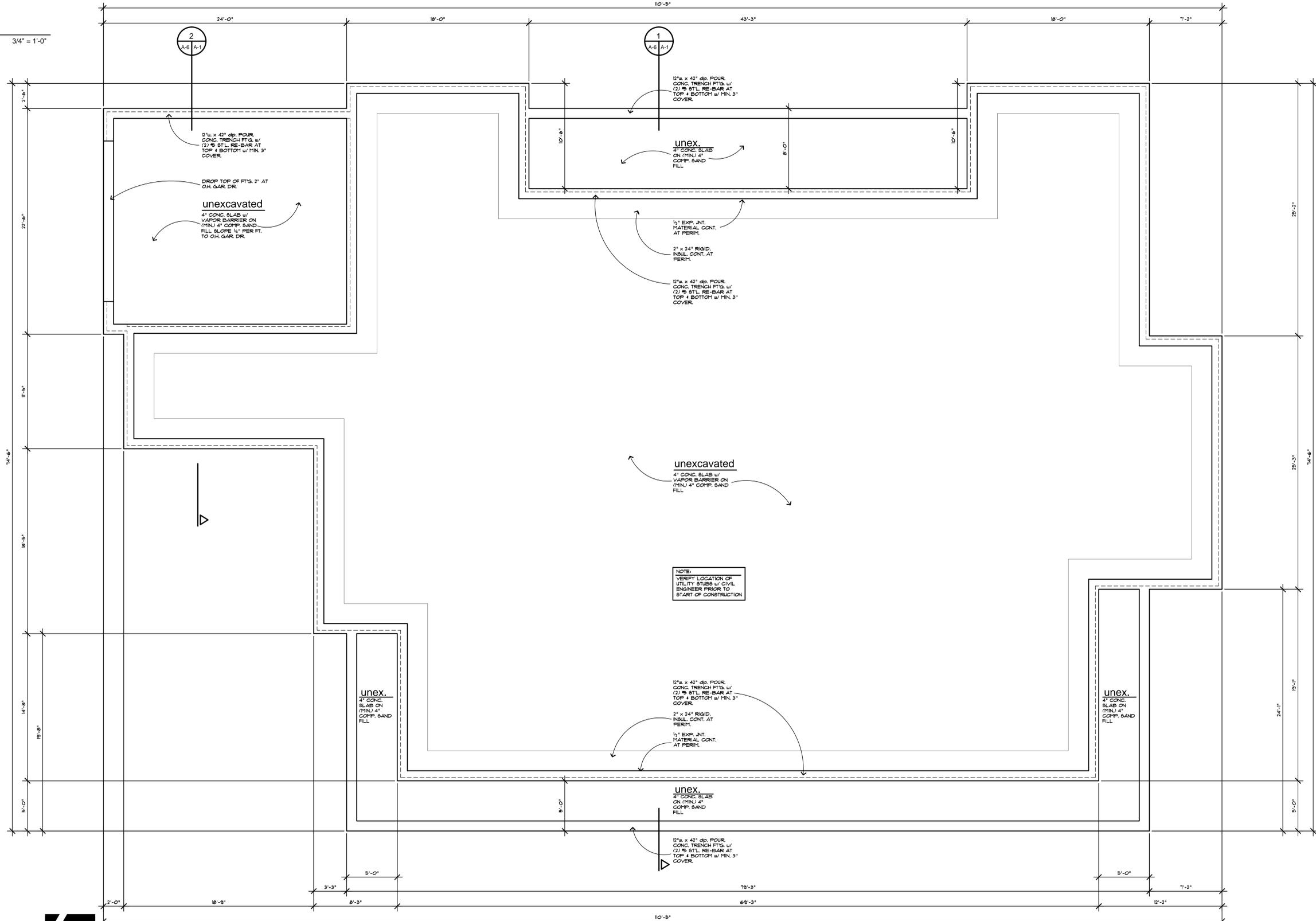
CONCRETE FOR FOUNDATION TO BE 3000 PSI QUALITY / 28 DAY TEST 9 1/2 BAG MIX, NO ADDITIVES TO BE USED WITHOUT SPECIAL PERMISSION AND SUPERVISION. ALL REINFORCING TO BE CLEAN DEFORMED AT MIN. RE-ROD PER 18043 OF THE 1996 BOCA.

NORMAL WEIGHT AND LIGHT WEIGHT CONCRETE EXPOSED TO FREEZING AND THAWING OR DEICER CHEMICALS SHALL BE AIR ENTRAINED WITH THE AIR CONTENT INDICATED IN TABLE 19011) OF THE 1996 BOCA.

STEEL REINFORCEMENT IN CAST CONCRETE FOOTING SHALL HAVE A MINIMUM 3" OF CONCRETE COVER.

soil bearing requirements:

1. ALL TOP SOIL, ORGANIC AND VEGETATIVE MATERIAL SHOULD BE REMOVED PRIOR TO CONSTRUCTION. ANY REQUIRED FILL SHALL BE CLEAN GRANULAR MATERIAL COMPACTED TO AT LEAST 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-991.
2. FOUNDATIONS BEARING ON EXISTING SOILS ARE DESIGNED FOR A MINIMUM ALLOWABLE SOIL BEARING CAPACITY OF 3000 PSF, UNLESS NOTED OTHERWISE. THE ALLOWABLE SOIL BEARING CAPACITY MUST BE VERIFIED BY A REGISTERED SOILS ENGINEER PRIOR TO THE START OF CONSTRUCTION AND IS THE RESPONSIBILITY OF THE OWNER OR CONTRACTOR.
3. NOTIFY THE BUILDING DESIGN ENGINEER/ARCHITECT IF THE ALLOWABLE SOIL BEARING CAPACITY IS LESS THAN 200 PSF SO THAT THE FOUNDATIONS CAN BE REDESIGNED FOR THE NEW ALLOWABLE BEARING CAPACITY.



foundation plan

1/4" = 1'-0"

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Date Issued:

Bid Docs. 03/03/20
S.P.A. 11/06/19

Project:

Proposed
Group Home for:

Grace
Properties, L.L.C.

1841 Crooks Road
Rochester Hills, MI

Client:

Grace
Properties, L.L.C.

Walnut Creek Dr.
Macomb Twp., MI 48044
(248) 568-7194

Sheet Title:

FOUNDATION PLAN

Project Number:

R19-216

Drawn By:

JFN

Checked By:

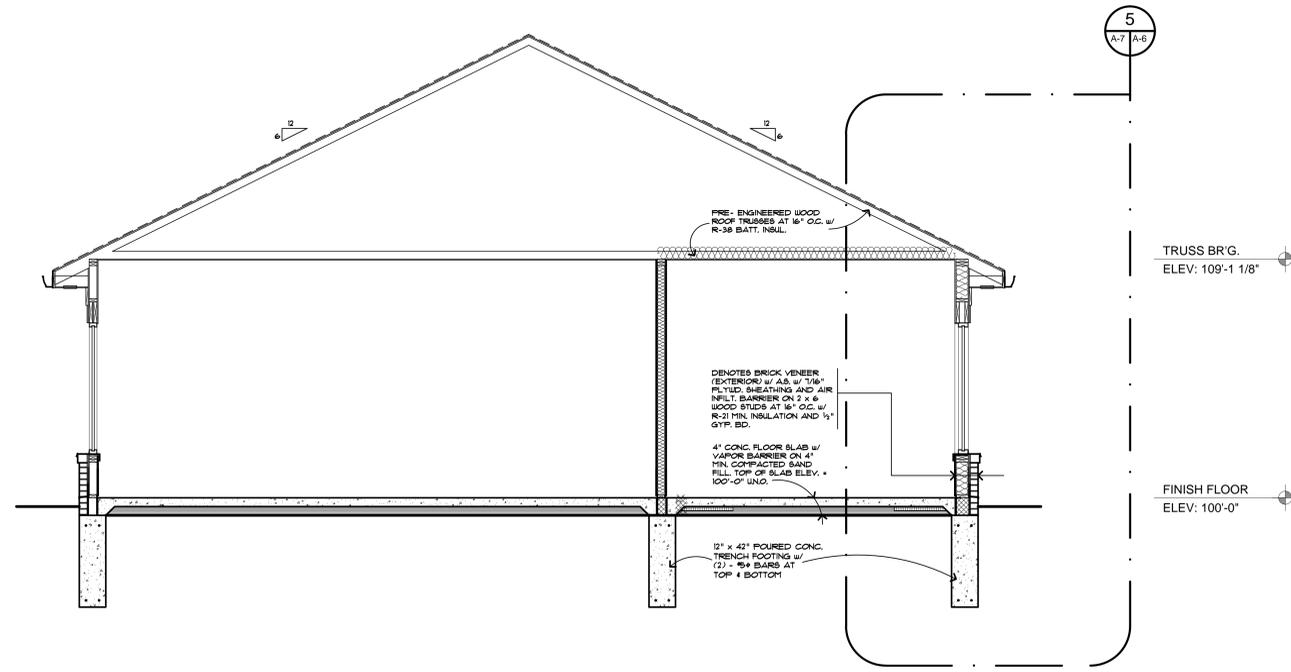
F.S.

Issue:

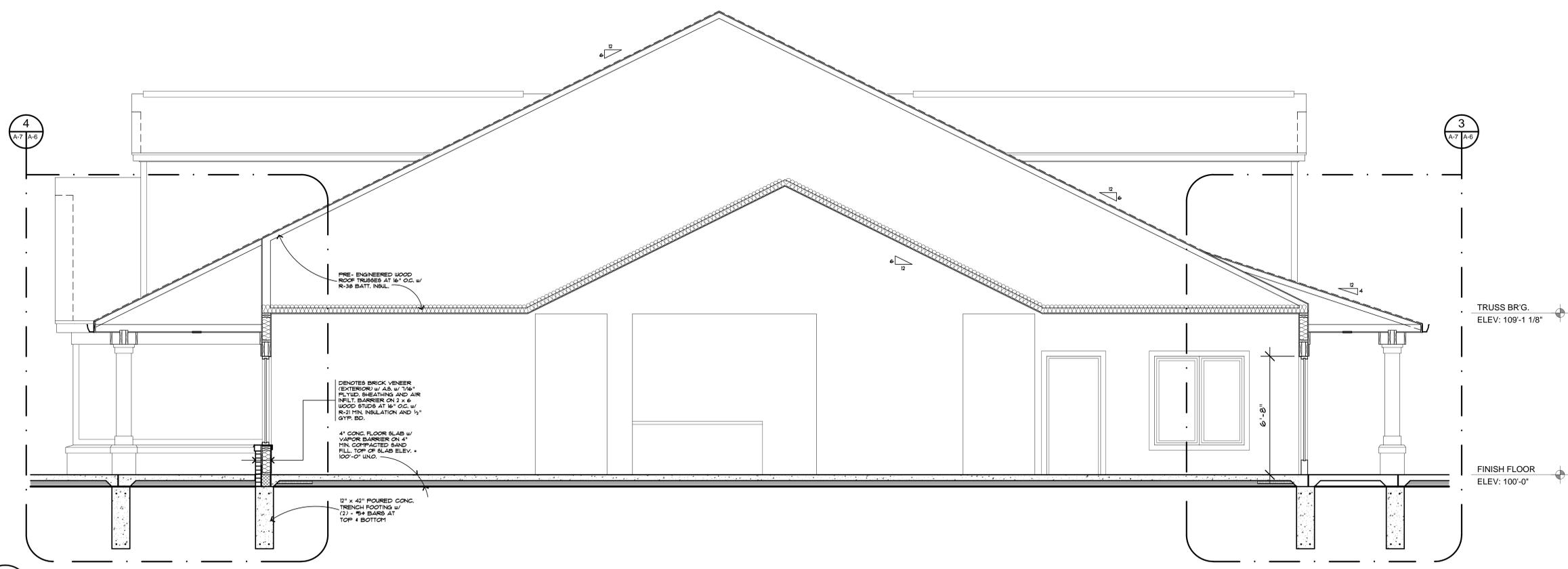
- preliminary
- construction
- record

Sheet Number:

A-1



2 cross section
 A-1 A-6
 A-2
 A-3
 3/8" = 1'-0"



1 cross section
 A-1 A-6
 A-2
 A-3
 3/8" = 1'-0"

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Project:
 Proposed
 Group Home for:

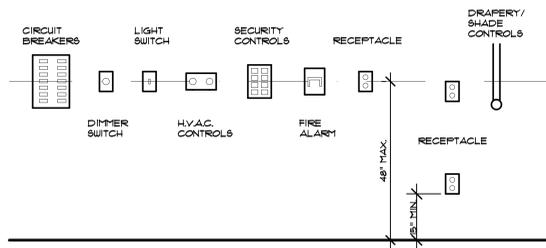
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 Rochester Hills, MI

Client:
 Grace
Properties, L.L.C.
 Walnut Creek Dr.
 Macomb Twp., MI 48044
 (248) 568-7194

Sheet Title:
 CROSS SECTION
 Project Number:
 R19-216
 Drawn By:
 JFN
 Checked By:
 F.S.

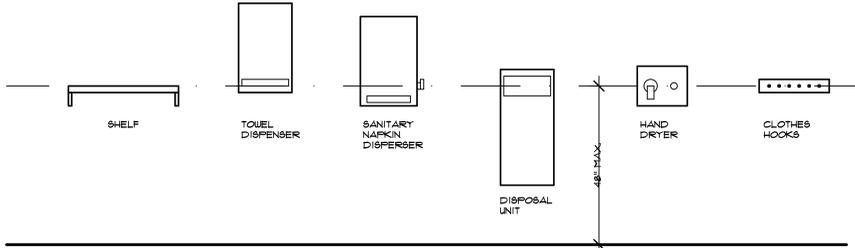
Issue:
 preliminary
 construction
 record

Sheet Number:



wall mounted accessories

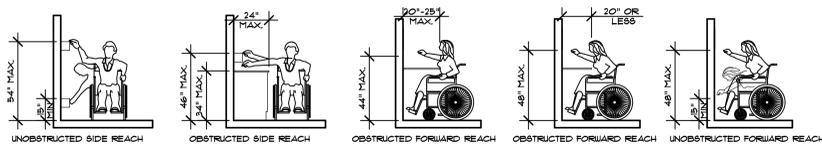
NO SCALE



toilet room accessories

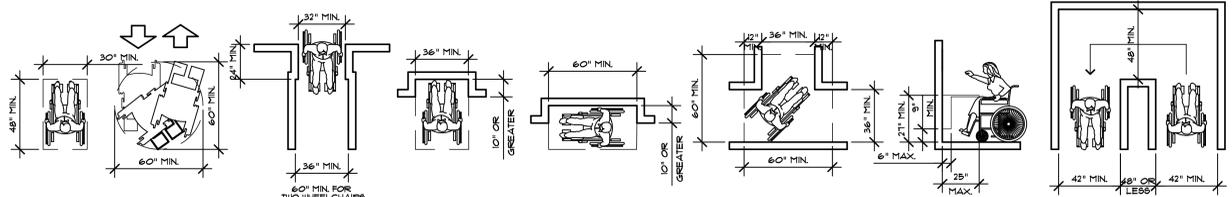
NOTE: DO NOT LOCATE WITHIN 24" OF AN INSIDE CORNER

NO SCALE



reach ranges

1/4" = 1'-0"



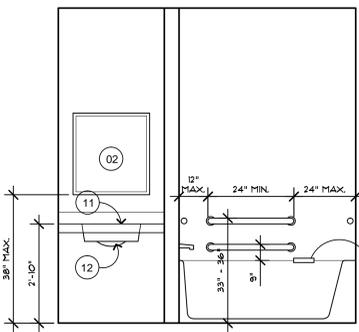
accessibility clearances

1/4" = 1'-0"

accessory legend

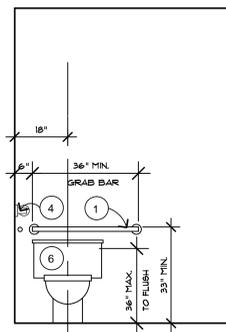
- 1 GRAB BARS
- 2 MIRROR 24" x 30"
- 3 SOAP DISPENSER
- 4 SURFACE MOUNTED TOILET PAPER DISPENSER
- 5 SURFACE MOUNTED PAPER TOWEL DISPENSER
- 6 WATER CLOSET
- 7 WALL MOUNTED SINK
- 8 METAL PARTITION
- 9 MIRROR 12" x 30"
- 10 FLOOR MOUNTED URINAL
- 11 P-LAM WALL MOUNTED COUNTERTOP AND 4" BACKSLASH
- 12 COUNTER MOUNTED LAVATORY
- 13 MIRROR 48" x 30"

- NOTE: REFER TO STANDARD BARRIER FREE MOUNTING DIMENSIONS ON DRAWING TOILET ROOM ACCESSORIES
1. TISSUE DISPENSER: BOBRICK® BS-2888
 2. GRAB BARS: BOBRICK® BS-5806x36 AND BS-5806x42
 3. SOAP DISPENSER: BOBRICK® BS-42
 4. ADA COMPLIANT WRAP AT ALL PIPING AT LAVATORY



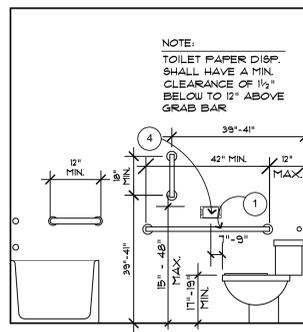
elevation A

1/2" = 1'-0"



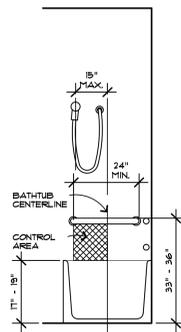
elevation B

1/2" = 1'-0"



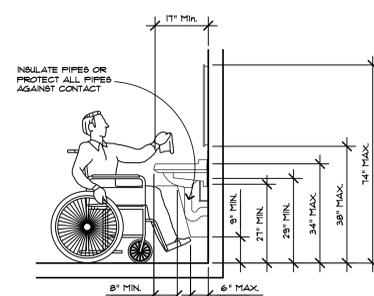
elevation C

1/2" = 1'-0"



elevation D

1/2" = 1'-0"



lavatory & sink

1/2" = 1'-0"

grab bars & handrails

keyed notes:

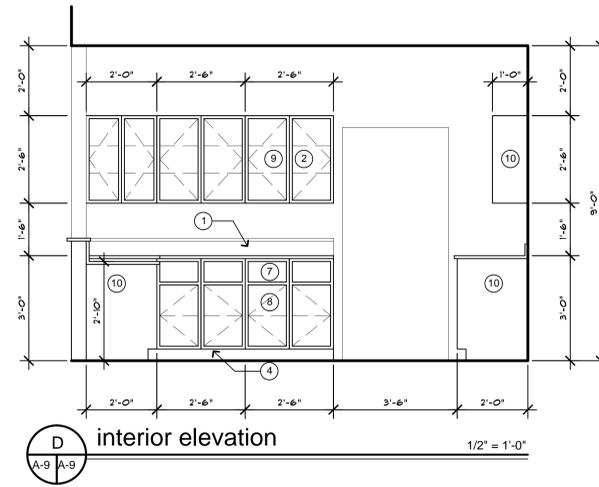
1. LAMINATED PLASTIC COUNTERTOP 1/4" BACKSLASH
2. UPPER CABINETS
3. FALSE FRONT DRAWER
4. LAMINATE BASE
5. SINK
6. VERIFY CLEAR SPACE FOR EQUIPMENT
7. PULL OUT DRAWER
8. ADJUSTABLE SHELVES (1)
9. ADJUSTABLE SHELVES (2)
10. SIDE OF CABINET
11. KNEE SPACE

cabinetry construction notes

1. TOPS SIDES AND BOTTOM TO BE CONSTRUCTED OF 3/4" THICK 48 LB INDUSTRIAL GRADE PARTICLE BOARD WITH A 100 GRAM MILLIFINE FINISH ON THE INSIDE AND P. LAM. ON THE OUTSIDE OF THE BOX.
2. DOOR AND DRAWER FRONTS TO BE CONSTRUCTED OF 3/4" INDUSTRIAL GRADE PARTICLE BOARD WITH A 100 GRAM MILLIFINE FINISH ON THE INSIDE AND P. LAM. ON THE OUTSIDE FACE.
3. BACKS TO BE 4" MASONITE WITH VINYL COVERS.
4. DRAWER SIDES AND FRONT 3/4" PARTICLEBOARD WITH A 100 GRAM MILLIFINE FINISH, THE DRAWER BOTTOM TO BE 1/2" MASONITE WITH A MELOLITE FINISH.
5. SHELVES TO BE 3/4" THICK PLYWOOD WITH A 100 GRAM MILLIFINE FINISH.
6. TOE KICK: 3/4" THICK INDUSTRIAL GRADE PLYWOOD A 100 GRAM MILLIFINE FINISH.
7. COUNTERTOPS: 3/4" PARTICLEBOARD WITH LAMINATE.
8. EDGING: 1mm PVC ON ALL EDGES.
9. ALL HINGES BY HETTICH, OR EQUAL, MODEL EUROHAT 3540 WITH AN OPENING ANGLE OF NOT LESS THAN 110 DEGREES.
10. DRAWER SLIDES BY HETTICH OR EQUAL, MODEL * PROCO/PROCO2 WITH A LOADING CAPACITY OF 66 LBS. FULL EXTENSION.
11. LAMINATES: SEE SCHEDULE SHEET A-2.

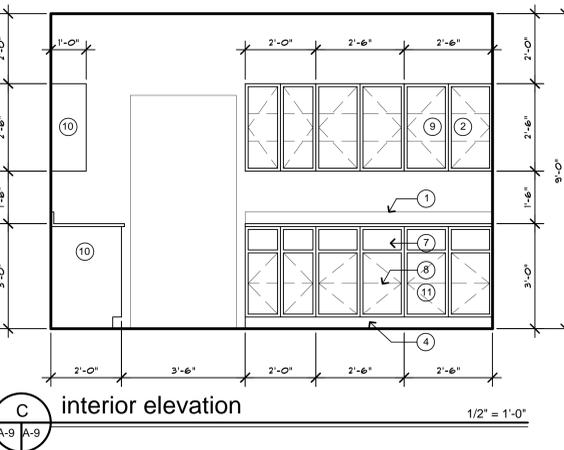
general notes:

1. ALL CABINET DOOR & DRAWER HANDLES TO BE DETERMINED.



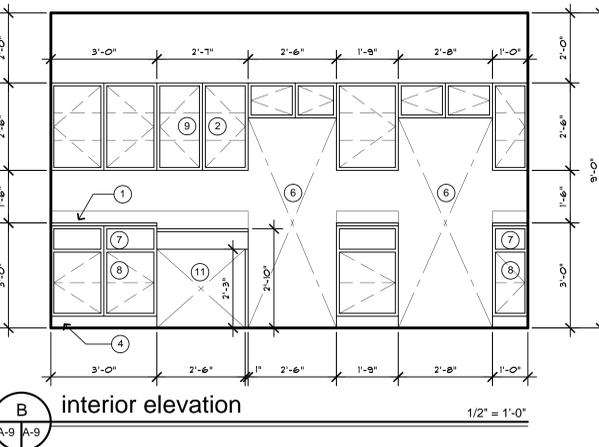
interior elevation

1/2" = 1'-0"



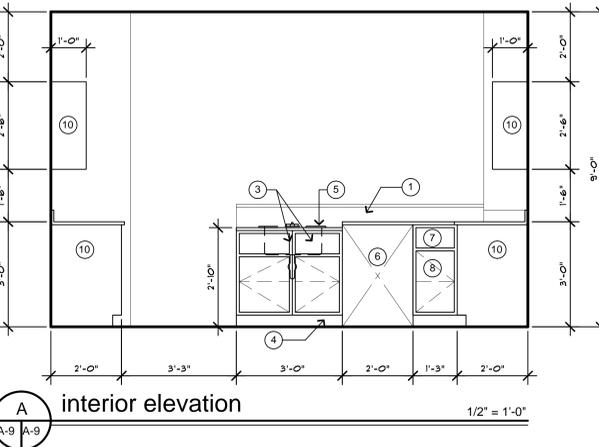
interior elevation

1/2" = 1'-0"



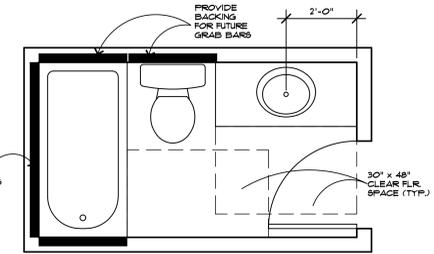
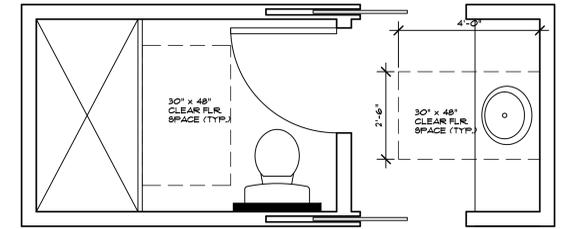
interior elevation

1/2" = 1'-0"



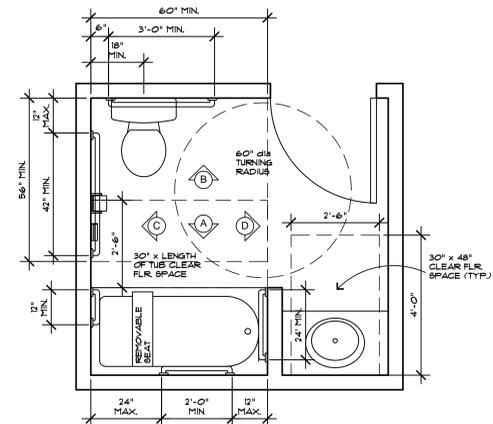
interior elevation

1/2" = 1'-0"



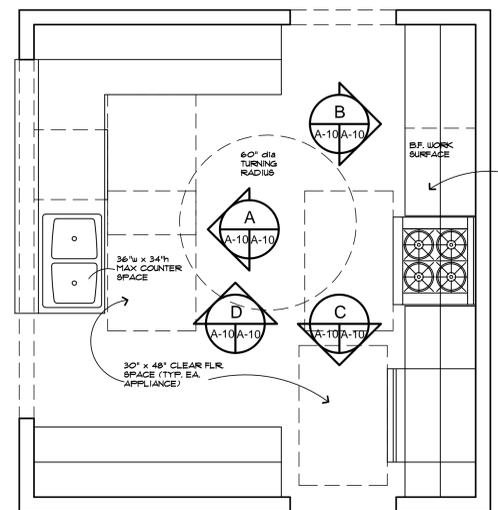
typ. type B bathrooms

1/2" = 1'-0"



barrier free bathroom 126

1/2" = 1'-0"



kitchen room 121

1/2" = 1'-0"

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Project: Proposed Group Home for:

Grace Properties, L.L.C. 1841 Crooks Road Rochester Hills, MI

Client:

Grace Properties, L.L.C. Walnut Creek Dr. Macomb Twp., MI 48044 (248) 568-7194

Sheet Title: BARRIER FREE DETAILS

Project Number: R19-216

Drawn By: JFN

Checked By: F.S.

Issue:

- preliminary
- construction
- record

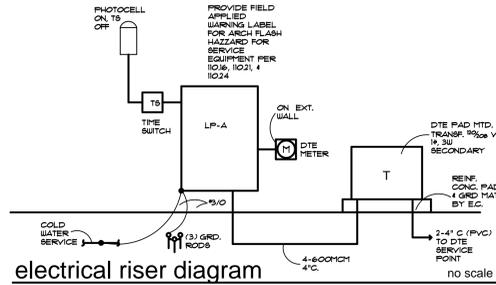
Sheet Number:

GENERAL NOTES - ELECTRICAL

- INCLUDE ALL ELECTRICAL WORK REQUIRED FOR A COMPLETE NEW INSTALLATION AS INDICATED ON THE PLANS.
- ALL EQUIPMENT SHALL BE NEW AND SHALL CONFORM IN ALL RESPECTS TO THE LATEST APPROVED STANDARDS OF THE IEEE, AN&I, AND BEAR THE "UL" LABEL OR LISTING.
- ALL ELECTRICAL WORK SHALL COMPLY WITH THE LATEST EDITION OF N.E.C., LOCAL AND STATE CODES, ORDINANCES, AND REGULATIONS, INCLUDING THE OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA).
- ALL ELECTRICAL SYSTEMS AND EQUIPMENT SHALL CONFORM TO ALL NATIONAL, STATE AND LOCAL BUILDING CODES. THE ELECTRICAL CONTRACTOR SHALL OBTAIN ALL PERMITS, PAY ALL FEES INCLUDING ALL COSTS INCURRED BY THE ELECTRICAL UTILITY COMPANY, AND ARRANGE FOR ALL INSPECTIONS FOR HIS WORK. AT THE COMPLETION OF ELECTRICAL WORK THE ELECTRICAL CONTRACTOR SHALL FURNISH THE OWNER WITH ALL CERTIFICATES OF FINAL INSPECTION AND APPROVALS.
- ALL CONDUCTORS SHALL BE COPPER, MINIMUM SIZE #2 AWG, INSTALLED IN CONDUIT, MINIMUM SIZE 1", AND SHALL BE TYPE THHN UNLESS OTHERWISE NOTED ON THE PLANS. ALL FEEDERS AND SECONDARY SERVICE CONDUCTORS SHALL BE COPPER WITH 600 VOLT INSULATION. FEEDERS SHALL BE THHN OR XHHW AND SECONDARY SERVICE CONDUCTORS SHALL BE XHHW, INSTALLED IN CONDUIT, UNLESS OTHERWISE NOTED ON THE PLANS.
- ALL CONDUIT SHALL BE CONCEALED, UNLESS OTHERWISE NOTED. EXPOSING OF ANY CONDUIT SHALL HAVE APPROVAL OF THE OWNER.
- RUBES SHALL BE "UL" LISTED, DUAL-ELEMENT, AS MANUFACTURED BY BUSHMAN CO. OR APPROVED EQUAL (200000 AIC). ALL RUBES INSTALLED IN MAIN DISTRIBUTION PANELS SHALL BE "CURRENT LIMITING" TYPE, UNLESS NOTED OTHERWISE ON THE PLANS.
- ALL DUPLEX RECEPTACLES SHALL BE SPECIFICATION GRADE 125 VOLT, 15 AMP, GROUNDED TYPE, EQUAL TO HUBBELL #252 SERIES, P.45, OR BRYANT. COLOR TO BE AS SELECTED BY THE OWNER.
- ALL GROUND FAULT RECEPTACLES SHALL BE SPECIFICATION GRADE 120 VOLT, 15 AMP, "UL" LISTED UNDER 488 RECEPTACLE REQUIREMENTS AND 943 CLASS A REQUIREMENTS, SHALL CONFORM TO NEC REQUIREMENTS, AND EQUAL TO HUBBELL SERIES #260, P.45, OR BRYANT. COLOR TO BE AS SELECTED BY THE OWNER.
- SWITCHES SHALL BE 20 AMP, 120/277 VOLT, SPECIFICATION GRADE SINGLE, DOUBLE ETC. AS INDICATED EQUAL TO HUBBELL 1000 SERIES, P.45, OR BRYANT. COLOR TO BE AS SELECTED BY THE OWNER.
- ALL STEEL WITH BAKED ENAMEL FINISH, BELL #0, 12 OR 14 SERIES, OR A5 SELECTED BY THE OWNER.
- ALL CONDUIT SHALL BE ELECTRICAL METALLIC TUBING (EMT), MINIMUM SIZE 1/2", UNLESS NOTED OTHERWISE ON THE PLANS.
- PANELBOARDS SHALL BE 120/208V, 3 PHASE, 4 WIRE, 20" WIDE WITH COPPER BUS AND BOLT-ON BREAKERS RATED 10000 AIC, SIMILAR TO SQUARE D, TYPE NOOD, 1TE, OR G.E.
- ALL PANELBOARDS SHALL HAVE A TYPEWRITTEN DIRECTOR IDENTIFYING EACH CIRCUIT THAT EACH CIRCUIT BREAKER SERVES.
- LIGHTING FIXTURES SHALL BE INSTALLED COMPLETELY WIRED AND EQUIPPED WITH LAMPS, BALLASTS, STARTERS, LENSES, ETC.
- FLUORESCENT FIXTURES, UNLESS SPECIFIED OTHERWISE, SHALL BE SUITABLE FOR 120 OR 277 VOLT, SINGLE-PHASE, A-C, 60 HERTZ SERVICE AND SHALL BE EQUIPPED WITH 40 WATT, T-12 RAPID START LAMPS.
- LIGHTING FIXTURE LOCATIONS SHOWN ON PLANS ARE APPROXIMATE. THE ELECTRICAL CONTRACTOR VERIFY EXACT LOCATIONS OF ALL LIGHTING FIXTURES WITH THE ARCHITECTURAL REFLECTED CEILING PLANS. LIGHT FIXTURES AND SPRINKLER HEAD LOCATIONS SHALL, UNLESS OTHERWISE NOTED, TAKE PRECEDENCE OVER AIR DISTRIBUTION DEVICE LOCATIONS.
- EMERGENCY LIGHTING UNITS
 - FURNISH AND INSTALL EMERGENCY LIGHTING IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF N.E.C. PROVIDE A MINIMUM OF 1 FOOT CANDLE (FC) MAINTAINED ALONG ALL PATHS OF EGRESS FROM THE BUILDING. VERIFY SPACING AND LOCATION REQUIREMENTS WITH THE EMERGENCY LIGHTING FIXTURE MANUFACTURER. COORDINATE ALL PATHS OF EGRESS IN THE BUILDING WITH THE ARCHITECTURAL DRAWINGS. REFER TO THE LIGHTING FIXTURE SCHEDULE, INDICATED ON THE ELECTRICAL DRAWINGS FOR THE TYPE AND DESCRIPTION OF ALL EMERGENCY LIGHTING FIXTURES TO BE USED ON THIS PROJECT.
 - FURNISH AND INSTALL THE NUMBER OF EMERGENCY LIGHTING UNITS INDICATED ON THE PLANS AS "BASE BID" FOR THIS PROJECT.
 - QUOTE A "UNIT PRICE" TO FURNISH ADDITIONAL EMERGENCY LIGHTING UNITS IN EXCESS OF THE "BASE BID" REQUIREMENT.
- THE ELECTRICAL CONTRACTOR SHALL VISIT THE JOB SITE BEFORE HE SUBMITS HIS BID TO FAMILIARIZE HIMSELF WITH ACTUAL JOB CONDITIONS AND TO CHECK FOR ANY INTERFERENCES BETWEEN HIS WORK AND THAT OF OTHER TRADES AND/OR ANY APPARENT VIOLATIONS OF LOCAL OR STATE CODES, LAWS, ORDINANCES, AND REGULATIONS. IF ANY INTERFERENCES OR VIOLATIONS APPEAR AND DEPARTURE FROM THE DESIGN INTENT OF THE CONTRACT DOCUMENTS IS REQUIRED, THE CONTRACTOR SHALL NOTIFY THE OWNER BEFORE ENTERING INTO CONTRACT. FAILURE TO PROVIDE THE OWNER WITH THE COMPLETE AFORESAID NOTIFICATION WILL RESULT IN THE CONTRACTOR BEING HELD RESPONSIBLE TO ALL WORK TO MEET THE DESIGN INTENT OF THE CONTRACT DRAWINGS WITH NO ADDITIONAL EXPENSE ("EXTRAS") BEING INCURRED BY OWNER.
- ALL CABINETS, MOTOR FRAMES, STARTERS, CONDUIT SYSTEMS, PANELS, ETC., SHALL BE ADEQUATELY GROUNDED IN ACCORDANCE WITH THE N.E.C. AND ALL LOCAL CODES. MAIN SERVICE EQUIPMENT SHALL BE GROUNDED WITH THE TYPE AND SIZE OF GROUNDING CONDUCTOR INDICATED IN NEC SECTIONS 250-23(A), 250-81, 250-83, 4 TABLE 250-94.
- UNLESS OTHERWISE NOTED ON THE PLANS, ALL DISCONNECT SWITCHES SHALL BE 30 VOLT OR 600 VOLT RATED, STANDARD DUTY TYPE; NEMA 1A FOR INDOOR USE AND NEMA 3R FOR OUTDOOR USE, G.E. WEATHERHOUSE, OR SQUARE D. ALL DISCONNECT SWITCHES SERVING MOTORS SHALL BE HORSEPOWER RATED.
- SINGLE PHASE MOTOR STARTERS SHALL HAVE MANUAL TOGGLE SWITCH WITH THERMAL OVERLOADS, SURFACE OR FLUSH MOUNTED, AS REQUIRED, ALLEN-BRADLEY NO. 12.
- THE ELECTRICAL CONTRACTOR SHALL SUBMIT EQUIPMENT SHOP DRAWINGS TO THE OWNER FOR APPROVAL BEFORE INSTALLATION OF ANY OF THE FOLLOWING ELECTRICAL EQUIPMENT:
 - LIGHTING FIXTURES
 - LIGHTING AND/OR RECEPTACLE PANELBOARDS
 - STARTERS AND/OR DISCONNECT SWITCHES
 APPROVAL OF SHOP DRAWINGS DOES NOT RELIEVE THE ELECTRICAL CONTRACTOR OF HIS RESPONSIBILITY TO CONFORM TO THE CONTRACT DOCUMENTS.
- APPROVAL OF SHOP DRAWINGS IS INTENDED TO BE FOR GENERAL CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS ONLY. ANY EQUIPMENT THAT IS INSTALLED THAT WILL INVOLVE THE WORK OF OTHER TRADES SHALL BE COORDINATED WITH THOSE TRADES. REFER TO OTHER TRADES' DRAWINGS.
- THE ELECTRICAL CONTRACTOR SHALL GUARANTEE ALL WORK INSTALLED UNDER HIS CONTRACT TO BE FREE FROM DEFECTIVE WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR AFTER THE ACCEPTANCE OF THE BUILDING BY THE OWNER, AND SHOULD DEFECTS OCCUR WITHIN THIS PERIOD, REPAIR AND/OR REPLACE DEFECTIVE ITEMS, AT NO EXPENSE TO THE OWNER.
- THE ELECTRICAL CONTRACTOR SHALL COORDINATE LOCATIONS OF HIS EQUIPMENT AND WORK WITH OTHER BUILDING TRADES TO AVOID ANY INTERFERENCES BETWEEN HIS WORK AND THE WORK OF OTHER BUILDING TRADES.
- ANY CUTTING AND/OR PATCHING THAT MAY BE REQUIRED FORTHE INSTALLATION OF THE ELECTRICAL SYSTEM SHALL BE DONE AND/OR REPAIRED BY THE ELECTRICAL CONTRACTOR. NO CUTTING OF THE BUILDING STRUCTURAL SYSTEM SHALL BE DONE WITHOUT THE WRITTEN APPROVAL OF THE OWNER BEING PREVIOUSLY OBTAINED.

electrical symbols legend

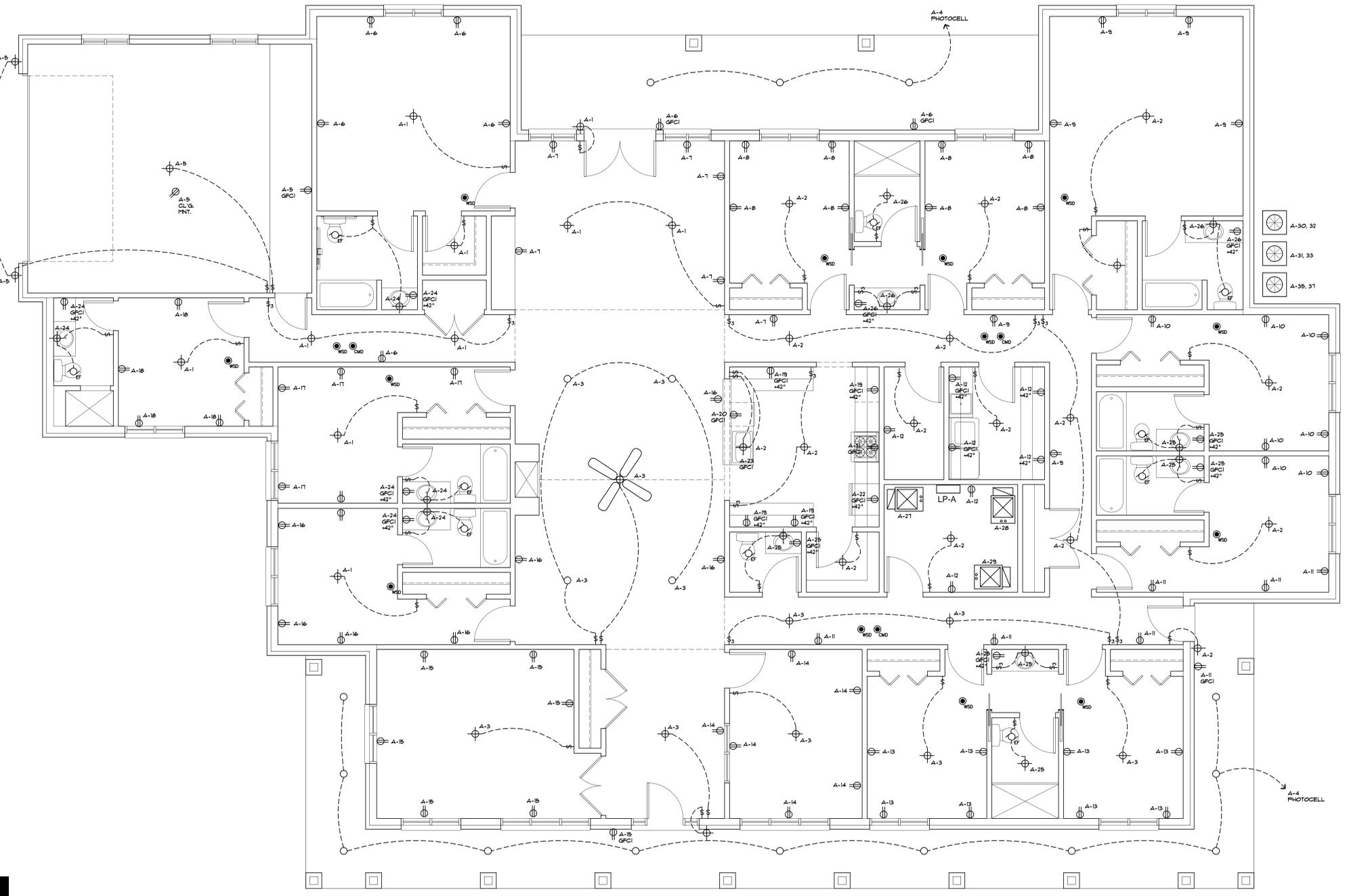
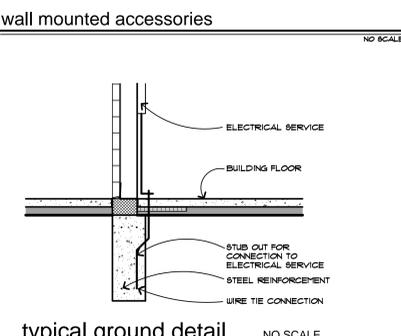
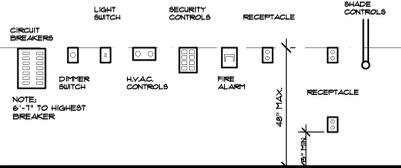
- RECESSED LIGHT FIXTURE
- CEILING OR WALL MOUNTED LIGHT FIXTURE
- DUPLEX RECEPTACLE
- DUPLEX RECEPTACLE w/ GFI PROTECTION
- 220V DUPLEX RECEPTACLE
- WALL SWITCH AT 48" AFF.
- 3-WAY WALL SWITCH AT 48" AFF.
- CEILING MOUNTED EXHAUST FAN



SERVING	WATTS		AMP	POLE	CKT No	SN	CKT No	AMP	POLE	WATTS		SERVING
	9A	0B								9A	0B	
GENERAL LIGHTS	1300		15	1	1		2	15	1	1600		GENERAL LIGHTS
GENERAL LIGHTS		1200	20	1	3		4	20	1		1100	GENERAL LIGHTS
GARAGE	700		20	1	5		6	20	1	1400		GEN RECEPT
GEN RECEPT		1200	30	1	7		8	20	1		1600	GEN RECEPT
GEN RECEPT	1200		15	1	9		10			1200		GEN RECEPT
GEN RECEPT		1400	15	1	11		12			1000		GEN RECEPT
GEN RECEPT	1600		15	1	13		14	15	1	1200		GEN RECEPT
GEN RECEPT		1400	15	1	15		16	15	1		1600	GEN RECEPT
GEN RECEPT	1000		15	1	17		18	15	1	800		GEN RECEPT
SMALL APP.	800		15	1	19		20	15	1	1000		DISH WASHER
RANGE	5000		15	1	21		22	15	1	500		REF.
DISPOSAL		700	15	1	23		24	15	1		1200	BATH ROOM
BATH ROOM	1200		15	1	25		26	15	1	700		BATH ROOM
FURNACE		1000	20	1	27		28	20	1	1000		FURNACE
FURNACE	1000		20	1	29		30	40	2	2000		AC UNIT
AC UNIT		2000	40	2	31		32			2000		AC UNIT
		2000			33		34	15	1			SPARE
AC UNIT		2000	40	2	35		36	15	1			SPARE
		2000			37		38	15	1			SPARE
SPARE			15	1	39		40	15	1			SPARE
SPARE			15	1	41		42	15	1			SPARE

PANEL No	VOLTAGE & PHASE	M.L.O.	M.C.B.	LOCATION
LP - A & E	120 / 208V, 1Ø, 3W	250A		TYPICAL ALL UNITS

CALCULATIONS: 48.60 KW = 233.65 AMPS
208V



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Date Issued:

Bid Docs. 03/03/20
S.P.A. 11/06/19

Project:
Proposed
Group Home for:

Grace Properties, L.L.C.
1841 Crooks Road
Rochester Hills, MI

Client:

Grace Properties, L.L.C.
Walnut Creek Dr.
Macomb Twp., MI 48044
(248) 568-7194

Sheet Title:
ELECTRICAL PLAN

Project Number:
R19-216

Drawn By:
JFN

Checked By:
F.S.

Issue:
 preliminary
 construction
 record

Sheet Number:

1/4" = 1'-0"

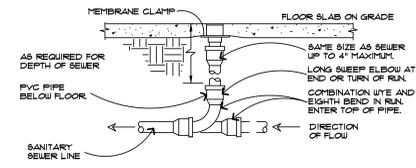
E-1

WATER HEATER - ELECTRIC					
Mark	Element	Capacity	Recovery	Make / Model	Remarks
WH-1 (FLOOR MOUNT)	4800	66	20	A.O. SMITH LTE 66D	PROVIDE WATER HEATER PAN & DRAIN

* PROVIDE THERMAL EXPANSION CONTROL FOR HOT WATER SYSTEM

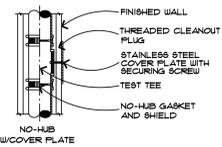
MARK	FIXTURE	S or W	VENT	CW	HW	REMARKS
LAV-1	LAVATORY	1 1/2"	1 1/2"	1/2"	1/2"	COUNTER MOUNTED
WC-1	WATERCLOSET	3"	1 1/2"	1/2"	-	FLOOR MOUNTED, SIPHON JET
FD-1	FLOOR DRAIN	3"	-	-	-	PRIMER TRAP
S-1	SINK	1 1/2"	1 1/2"	1/2"	1/2"	COUNTER MOUNTED
TUB-1	BATH TUB	1 1/2"	1 1/2"	1/2"	1/2"	FLOOR MOUNTED
W-1	WASHER	1 1/2"	1 1/2"	1/2"	1/2"	FLOOR MOUNTED
LT-1	LAUNDRY TUB	1 1/2"	1 1/2"	1/2"	1/2"	FLOOR MOUNTED
SHWR	SHOWER	1 1/2"	1 1/2"	1/2"	1/2"	

note:
 PROVIDE RPZ BACKFLOW PREVENTER ON WATER LINE AFTER METER PER HFC 2018 SECTION 608.1
 PROVIDE TEST RESULTS OF ALL BACKFLOW DEVICES, SANITARY AND VENTING AT FINAL INSPECTION.
 PROVIDE TRAP PRIMERS AT ALL FLOOR DRAINS.



LOCATE AT BUILDING EXIT, AT ENDS OF RUNS, AT TURNS OF PIPE GREATER THAN 45 DEGREES, AT 50' INTERVALS ON STRAIGHT RUNS, AND WHERE SHOWN ON PLANS. PROVIDE BACKFILL PER ARCHITECTURAL SPECIFICATIONS. LOCATE CLEANOUTS WHERE THERE IS 18" CLEAR AROUND. CONSULT LOCAL CODES FOR OTHER FCQ REQUIREMENTS.

floor clean out
NO SCALE



PROVIDE ROUND SECURED NICKEL BRONZE ADJUSTABLE TOP WITH 100' CAST IN COVER. PROVIDE CLEANOUT TOP WITH VARIATIONS SUITABLE FOR FLOOR COVERING (CARPET MARKER, RECESSED FOR TILE, SCORATED FOR UNFINISHED FLOORS). PROVIDE PLASTIC PLUG IN CAST IRON BODY. CLEAN THE TOP OF EXPOSED FCQ AFTER INSTALLATION.

wall clean out
NO SCALE

plumbing notes

- FURNISH ALL LABOR EQUIPMENT AND MATERIALS TO PROVIDE A COMPLETE SYSTEM OF PLUMBING, SEWERS, WATER PIPING, ECT. ALL PLUMBING MATERIALS AND WORKMANSHIP SHALL CONFORM TO ALL STATE AND LOCAL CODES.
- ALL PIPING IS SHOWN DIAGRAMMATICALLY ONLY, EXACT LOCATION WILL BE DETERMINED AT THE JOB SITE.
- PITCH ALL DRAIN LINES 1/4" OR LESS MINIMUM 1/4" PER FOOT. PITCH ALL DRAIN LINES 3/4" TO 6" MINIMUM 1/8" PER FOOT.
- ALL PLUMBING SHALL BE CONCEALED UNLESS OTHERWISE NOTED.
- ALL ELEVATIONS SHALL BE VERIFIED AT JOB SITE.
- ALL WATER PIPING SHALL BE INSTALLED WITH A FITCH TO THE DRAINS. PLUMBING CONTRACTOR SHALL PROVIDE DRAIHOFFS AT ALL LOW POINTS. WATER PIPING SHALL BE GALVANIZED IRON OR TYPE "L" ABOVE GRADE AND TYPE "K" BELOW GRADE COPPER WITH 90° JOINTS.
- PROVIDE ALL REQUIRED SHUT-OFF VALVES, UNIONS AND FITTINGS. PROVIDE ALL VALVES AT ALL FLOOR SERVICE EQUIPMENT.
- HOT AND/OR COLD WATER DROPS TO 2 OF MORE FIXTURES SHALL RUN FULL SIZE TO AIR CHAMBERS BEYOND THE FURTHEST FIXTURE BRANCH FROM DROPS. PROVIDE 1" AIR CHAMBERS AT ALL FIXTURES.
- ALL HOT AND COLD WATER PIPING TO BE INSULATED. WRAP DOMESTIC COLD WATER WITH ANTI-SWEAT TAPE.
- ALL PLUMBING AND SEWER TRENCHING, BACKFILLING AND SPECIAL CUTTING SHALL BE BY THIS CONTRACTOR. INTERIOR TRENCHES SHALL BE BACKFILLED WITH SAND. EXTERIOR TRENCHES WHEN COMPLETED SHALL HAVE THE SAME LOAD BEARING CAPACITY AS ADJACENT GRADES.
- ALL WASTE AND SOIL PIPING SHALL BE GALVANIZED OR CAST IRON WHERE SUSPENDED. CAST IRON WHERE UNDERGROUND (PVC ACCEPTABLE WHERE CODE PERMITS). VITRIFIED CLAY PIPE 8'-0" FROM BUILDING.
- ALL PVC PIPING SHALL BE SCHEDULE 40 EXCEPT WHERE NOTED.
- ALL PIPING ABOVE THE CEILING TO BE OF NON-COMBUSTIBLE MATERIAL.
- THIS CONTRACTOR SHALL GUARANTEE THAT ALL THE EQUIPMENT, MATERIALS AND WORKMANSHIP SHALL BE FREE FROM DEFECTS FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE.

VALVES TO BE LOCATED ON THE INCOMING WATER SUPPLY. THE SUPPLY TO EACH FIXTURE, THE SUPPLY TO THE WATER HEATER AND THE DISCHARGE SIDE OF THE WATER HEATER.

THE WATER HEATER SHALL BEAR THE LABEL OF AN APPROVED AGENCY. THE TEMP. AND PRESSURE RELIEF VALVE SHALL BE LABELED AND TESTED IN ACCORDANCE WITH ANSI Z39.1. THE RELIEF VALVE MUST DISCHARGE THROUGH A RIGID PIPE THAT IS THE SAME SIZE AS THE RELIEF VALVE CALLET AND IS RATED FOR 240 PSIA. THE PIPE MUST NOT DISCHARGE THROUGH AN AIR GAP THAT DOES NOT EXCEED 4 INCHES AND HAVE AN UNTHREADED END.

A BACKFLOW PREVENTER FOR ALL EQUIPMENT WITH A DIRECT CONNECTION TO THE POTABLE WATER SUPPLY SHALL BE PROVIDED.

THE DIRECTION AND TESTING OF THE POTABLE WATER SYSTEM SHALL BE IN ACCORDANCE WITH SECTION 6101 OF THE MICHIGAN MECHANICAL CODE.

ALL DRAINAGE PIPING SHALL HAVE A MINIMUM PITCH OF 1/4" PER FOOT AND ALL CHANGES IN DIRECTION SHALL BE MADE WITH THE FITTINGS INDICATED IN TABLE T06.3. ALL VENTS MUST TERMINATE 1" ABOVE THE ROOF.

ALL PIPING SHALL BE IN ACCORDANCE WITH THE SUPPORT SPACING IN TABLE S06.8.

VALVES AND FITTINGS SHALL HAVE A MAXIMUM LEAD CONTENT OF 8% LEAD. ALL SOLDER SHALL CONFORM TO ASTM B 31 AND FLEX SHALL CONFORM TO ASTM B 818. SOLDERED JOINTS MUST BE DONE IN ACCORDANCE WITH ASTM B 818. LEAD FREE SHALL MEAN A CHEMICAL COMPOSITION EQUAL TO OR LESS THAN 0.2% LEAD.

A CLEANOUT SHALL BE PROVIDED AT THE BASE OF ALL STACKS. CLOTHES WASHER STANDPIPES MUST EXTEND A MINIMUM OF 8 INCHES AND A MAXIMUM OF 42 INCHES ABOVE THE TRAP.

WHERE QUICK CLOSING VALVES ARE UTILIZED, WATER HAMMER ARRESTORS THAT CONFORM TO ASSE 1000 MUST BE INSTALLED. THE LOCATION OF ARRESTORS MUST BE IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.



HANDLING AND ERECTION SPECIFICATIONS:

- HANDLING AND ERECTION OF THE TRUSSES ARE NOT THE RESPONSIBILITY OF THE BUILDING DESIGN ENGINEER OR THE ARCHITECT. TRUSSES ARE TO BE HANDLED WITH PARTICULAR CARE DURING FABRICATION, BUNDLING, LOADING, DELIVERY, UNLOADING AND INSTALLATION IN ORDER TO AVOID DAMAGE AND WEAKENING OF THE TRUSSES.
- MANDATORY TEMPORARY AND PERMANENT BRACING FOR HOLDING THE TRUSSES IN A STRAIGHT AND PLUMB POSITION SHALL BE DESIGNED AND INSTALLED BY THE ERECTING CONTRACTOR IN ACCORDANCE WITH "HIB-91" AS PUBLISHED BY THE TRUSS PLATE INSTITUTE. TEMPORARY BRACING DURING INSTALLATION INCLUDES CROSS BRACING BETWEEN THE TRUSSES TO PREVENT TIPPING OR "DORPING" OF THE TRUSSES.
- PERMANENT BRACING SHALL BE INSTALLED IN ACCORDANCE WITH "HIB-91" AS PUBLISHED BY THE TRUSS PLATE INSTITUTE. PERMANENT BRACING CONSISTS OF LATERAL AND DIAGONAL BRACING NOT TO EXCEED SPACING REQUIREMENTS OF THE TRUSS FABRICATOR AND CONTACT T.P.I. AT (609) 883-9200 FOR FURTHER INFORMATION. TOP CHORDS MUST BE CONTINUOUSLY BRACED BY ROOF SHEATHING UNLESS OTHERWISE NOTED. SHOP DRAWINGS. BOTTOM CHORDS MUST BE BRACED AT INTERVALS NOT TO EXCEED 10'-0".
- CONSTRUCTION LOADS GREATER THAN THE DESIGN LOADS OF THE TRUSSES SHALL NOT BE APPLIED TO THE TRUSSES AT ANY TIME.
- NO LOADS SHALL BE APPLIED TO THE TRUSSES UNTIL ALL FASTENING AND REQUIRED BRACING IS INSTALLED.
- THE SUPERVISION OF THE TRUSS ERECTING SHALL BE UNDER THE DIRECT CONTROL OF PERSON(S) EXPERIENCED IN THE INSTALLATION AND PROPER BRACING OF WOOD TRUSSES. IMPROPER INSTALLATION AND BRACING OF TRUSSES CAN LEAD TO COLLAPSE AND POSSIBLE INJURIES TO WORKERS.
- FIELD MODIFICATIONS OR CUTTING OF PRE-ENGINEERED ROOF TRUSSES IS STRICTLY PROHIBITED WITHOUT EXPRESSED PRIOR WRITTEN CONSENT AND DETAILS FROM A LICENSED PROFESSIONAL STRUCTURAL ENGINEER EXPERIENCED IN WOOD TRUSS DESIGN AND MODIFICATIONS.

TEMPORARY CONSTRUCTION SHORING:

- THE BUILDING DESIGN ENGINEER ASSUMES NO RESPONSIBILITY FOR THE DESIGN OR PROPER INSTALLATION OF TEMPORARY BUILDING BRACING OR SHORING REQUIRED TO COMPLETE THE PROJECT. THE CONTRACTOR AND HIS ENGINEER ARE RESPONSIBLE FOR THE DESIGN AND PROPER INSTALLATION OF ALL TEMPORARY SHORING REQUIRED FOR A SAFE AND STRUCTURALLY SOUND PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGES INCURRED DUE TO IMPROPER SHORING AND BRACING DURING THE CONSTRUCTION PROJECT. ACCEPTANCE OF THE CONSTRUCTION PROJECT BY THE CONTRACTOR IS PROOF OF ACCEPTANCE OF THE ABOVE MENTIONED ITEMS.

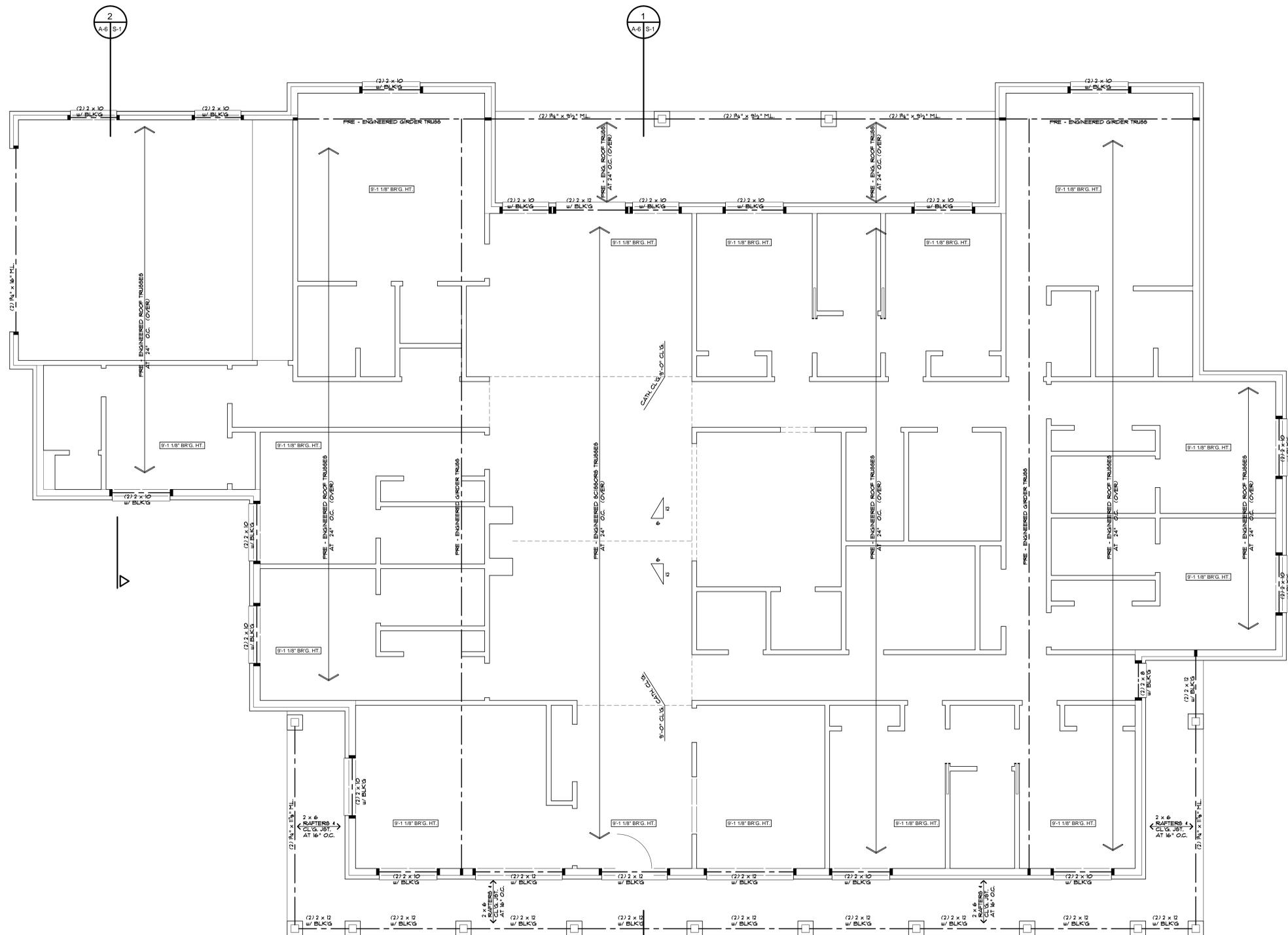
WOOD TRUSS SPECIFICATIONS:

- DESIGNS SHALL CONFORM WITH THE LATEST VERSION OF (NDS) "THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" BY THE NATIONAL WOOD PRODUCTS ASSOCIATION, AND "DESIGN SPECIFICATIONS FOR LIGHT METAL PLATE CONNECTED WOOD TRUSSES" BY THE TRUSS PLATE INSTITUTE (T.P.I.)
- TRUSSES SHALL BE SPACED AS INDICATED ON THE PLANS UNLESS THE DESIGNER DETERMINES THAT DIFFERENT SPACING IS REQUIRED TO MEET THE DEFLECTION REQUIREMENTS.
- MAXIMUM DEFLECTION OF FLOOR TRUSSES SHALL BE LIMITED TO L/240 FOR TOTAL LOAD AND L/360 FOR LIVE LOAD. MAXIMUM DEFLECTION OF ROOF TRUSSES SHALL BE LIMITED TO L/180 FOR TOTAL LOAD AND L/240 FOR LIVE LOAD, UNLESS NOTED OTHERWISE.
- DESIGN LOADS:
ROOF: 30 PSF TOP CHORD LIVE LOAD;
10 PSF TOP CHORD DEAD LOAD;
10 PSF BOTTOM CHORD DEAD LOAD;
*A 1% INCREASE IN ALLOWABLE STRESSES FOR SHORT TERM LOADING IS ALLOWED. DRIFT LOADING SHALL BE ACCOUNTED FOR PER THE 1990 BOCA CODE REQUIREMENTS.
*ADD ADDITIONAL ATTIC STORAGE LIVE LOADS PER THE 1990 BOCA CODE REQUIREMENTS.
- ADEQUATE CAMBER SHALL BE BUILT INTO ALL TRUSSES TO COMPENSATE FOR NORMAL DEAD LOAD DEFLECTION.

MATERIALS AND FABRICATION SPECIFICATIONS:

- STEEL GUSSET CONNECTOR PLATES
- CONNECTORS SHALL BE A MINIMUM OF 20 GAUGE GALVANIZED STEEL. THE PLATES SHALL CONSIST OF PROJECTING TEETH PUNCHED OUT IN ROOF. THE FOLLOWING MINIMUM CONNECTOR PLATE SPECIFICATIONS SHALL BE MET (PER PAIR OF PLATES):
430 PSF HOLDING CAPACITY IN DOUG FIR OR SOUTHERN PINE
400 PSF HOLDING CAPACITY IN HEM FIR OR SPRUCE PINE FIR
80K PLI SHEAR RESISTANCE (PARALLEL TO TEETH)
800 PLI TENSION VALUE (LOADED PARALLEL TO TEETH)
(NOTE: HOLDING VALUES ARE FOR PARALLEL TO TEETH LOADINGS)
- LUMBER
- TRUSS CHORD MATERIALS SHALL BE #2 OR BETTER STRESS GRADED WITH A MOISTURE CONTENT (MC) NOT TO EXCEED 19%.
- QUALITY
- TRUSSES SHALL BE FABRICATED IN ACCORDANCE WITH THE LATEST T.P.I. QUALITY CONTROL GUIDELINES.

- SHOP DRAWINGS:
- THE TRUSS FABRICATOR SHALL SUBMIT TRUSS SHOP DRAWINGS TO THE ARCHITECT/ENGINEER FOR REVIEW PRIOR TO FABRICATION. THE SHOP DRAWINGS SHALL BE SEALED BY A REGISTERED PROFESSIONAL ENGINEER LICENSED IN THE STATE IN WHICH THE TRUSSES WILL BE USED.
 - THE FOLLOWING INFORMATION SHALL APPEAR ON ALL TRUSS SHOP DRAWINGS:
A. DESIGN CRITERIA, INCLUDING LOAD INFORMATION ACCOUNTING FOR SNOW BUILDUP WHERE APPLICABLE.
B. CONNECTOR PLATE MANUFACTURER, GAUGE, SIZE AND LOCATION AT EACH TRUSS JOINT.
C. THE LUMBER GRADE AND SIZE OF ALL MEMBERS.
D. ALL REQUIRED STRUCTURAL LATERAL BRACING (SIZE, CONNECTION AND LOCATION).
 - COMPLETE TRUSS LAYOUTS (FRAMING PLANS) SHALL BE PREPARED BY THE TRUSS FABRICATOR. LAYOUTS SHALL INDICATE TRUSS TYPE, SPACING AND CONNECTIONS. REQUIRED TRUSS HANGER CONNECTIONS SHALL BE INDICATED ON THE LAYOUTS. THE TRUSS LAYOUTS SHALL BE SUBMITTED TO THE ARCHITECT/ENGINEER FOR REVIEW PRIOR TO FABRICATION.



roof framing plan

roof design loads	
SNOW	: 30 P.S.F.
GYP. BD.	: 10 P.S.F.
DEAD LOAD	: 7 P.S.F.
TOTAL LOAD	: 47 P.S.F.

structural post note
(2) 2 x 6 4 (2) 2 x 4 SOLID BEARING EXTERIOR AND
(2) 2 x 4 SOLID BEARING INTERIOR UNLESS
NOTED OTHERWISE (TYPICAL)