



SOURCE: USGS MAPS ONLINE

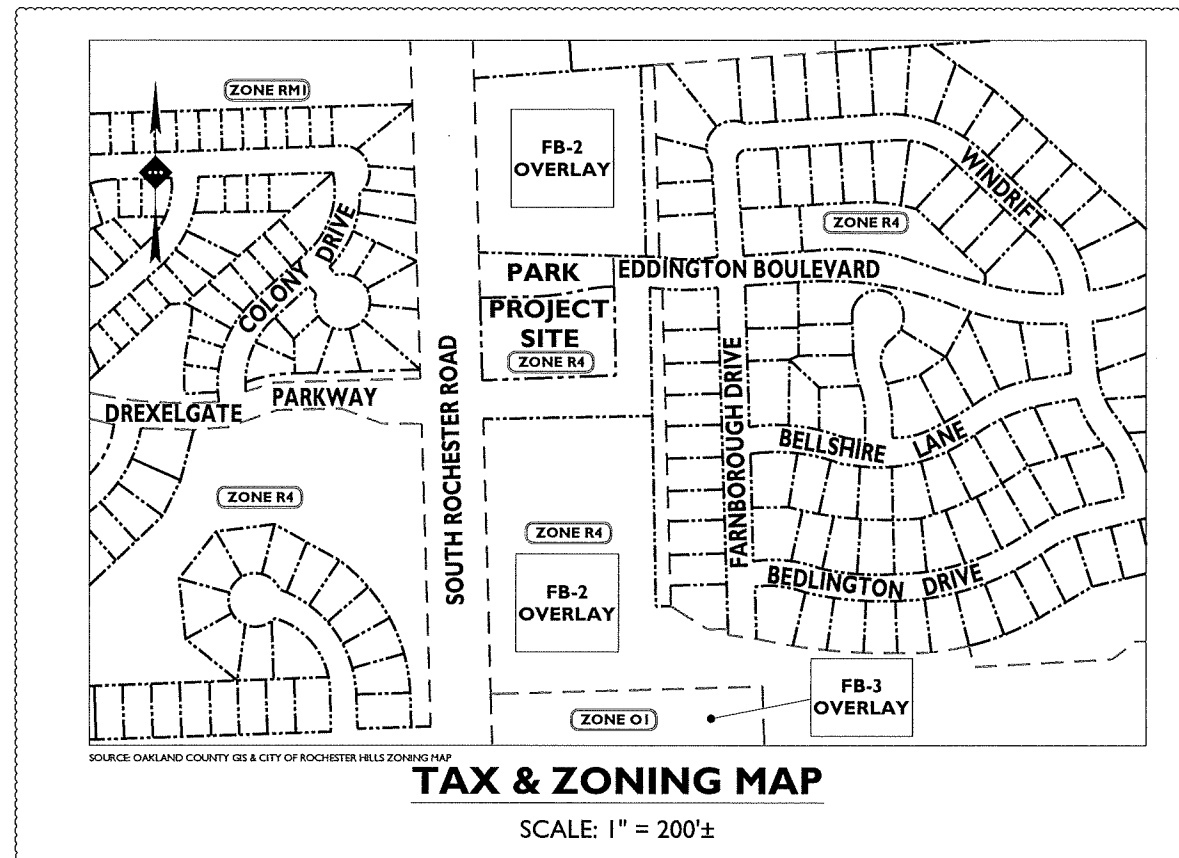
LOCATION MAP

SCALE: 1" = 2,000'±

SITE DEVELOPMENT PLANS FOR FIRST STATE BANK PROPOSED BANK WITH DRIVE-UP ATM

PARCEL ID: 15-23-300-039

SOUTH ROCHESTER ROAD AND EDDINGTON BOULEVARD
CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN



SOURCE: OAKLAND COUNTY GIS & CITY OF ROCHESTER HILLS ZONING MAP

TAX & ZONING MAP

SCALE: 1" = 200'±

OWNER / APPLICANT

FIRST STATE BANK
24300 LITTLE MACK
CITY OF SAINT CLAIR SHORES, MICHIGAN, 48080

ARCHITECT

STUCKY VITALE ARCHITECTS
27172 WOODWARD AVENUE
CITY OF ROYAL OAK, MICHIGAN, 48067
(248) 546-6700

PROPERTY AREA: 57,168 SF (1.31 AC)

LEGAL DESCRIPTION

LAND SITUATED IN THE CITY OF ROCHESTER HILLS, COUNTY OF OAKLAND, STATE OF MICHIGAN, AND DESCRIBED AS FOLLOWS:
TOWN 3 NORTH RANGE 11 EAST, SECTION 23, PART OF THE SOUTHWEST 1/4 BEGINNING AT POINT DISTANCE NORTH 01 DEGREES 50 MINUTES 00 SECONDS WEST 2.36 FEET AND NORTH 85 DEGREES 52 MINUTES 55 SECONDS EAST 66.05 FEET AND SOUTH 01 DEGREES 48 MINUTES 43 SECONDS EAST 498.70 FEET FROM WEST 1/4 CORNER, THENCE NORTH 88 DEGREES 11 MINUTES 17 SECONDS EAST 124.90 FEET, THENCE ALONG CURVE TO LEFT, RADIUS 650 FEET, CHORD BEARS NORTH 83 DEGREES 37 MINUTES 30 SECONDS EAST 103.42 FEET, DISTANCE OF 103.33 FEET, THENCE ALONG CURVE TO RIGHT, RADIUS 535 FEET, CHORD BEARS NORTH 83 DEGREES 05 MINUTES 51 SECONDS EAST 75.30 FEET, DISTANCE OF 75.37 FEET, THENCE SOUTH 01 DEGREES 48 MINUTES 43 SECONDS EAST 199.55 FEET, THENCE SOUTH 88 DEGREES 11 MINUTES 17 SECONDS WEST 303.03 FEET, THENCE NORTH 01 DEGREES 48 MINUTES 43 SECONDS WEST 184.64 FEET TO BEGINNING.

NO.	DATE	BY	DESCRIPTION
3	03/02/2018	MTP	FOR CITY COMMENTS
2	01/08/2018	MTP	SITE PLAN REVIEW
1	12/15/2017	MTP	FOR CLIENT REVIEW
	ISSUE		

NOT APPROVED FOR CONSTRUCTION

SITE DEVELOPMENT PLANS
FIRST STATE BANK
 PROPOSED BANK WITH DRIVE-UP ATM
 PARCEL ID: 15-23-300-039
 SOUTH ROCHESTER ROAD & EDDINGTON BOULEVARD
 CITY OF ROCHESTER HILLS
 OAKLAND COUNTY, MICHIGAN

ARCHITECTURAL SHEET INDEX

DRAWING TITLE	SHEET #
TITLE SHEET, SHEET INDEX, + LOCATOR PLAN	TS1.1
ARCHITECTURAL SITE PLAN	SP1.1
FIRST FLOOR PLAN	A1.1
SECOND FLOOR PLAN	A1.2
EXTERIOR ELEVATIONS	A3.1
EXTERIOR CONCEPTUAL RENDERINGS	A3.2
LIGHTING PLAN	1 OF 1



Know what's below
Call before you dig.

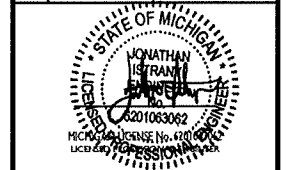
DESIGNED BY:
STONEFIELD ENGINEERING & DESIGN
AND
KEM-TEC & ASSOCIATES

PLAN REFERENCE MATERIALS:

- THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
 - TOPOGRAPHIC SURVEY PREPARED BY KEM-TEC & ASSOCIATES DATED 11/02/2017
 - ARCHITECTURAL PLANS PREPARED BY STUCKY VITALE ARCHITECTS DATED 12/15/2017
 - AERIAL MAP OBTAINED FROM GOOGLE EARTH PRO
 - LOCATION MAP OBTAINED FROM USGS MAPS ONLINE
 - TAX & ZONING MAP OBTAINED FROM OAKLAND COUNTY GIS
- ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

SHEET INDEX

DRAWING TITLE	SHEET #
COVER SHEET	C-1
DEMOLITION PLAN	C-2
SITE PLAN	C-3
GRADING PLAN	C-4
DRAINAGE & UTILITY PLAN	C-5
LANDSCAPING PLAN	C-6
TREE SURVEY	C-7
CONSTRUCTION DETAILS	C-8
FIRE TRUCK CIRCULATION PLAN	C-9
TOPOGRAPHICAL SURVEY	S-1



SCALE: AS SHOWN PROJECT ID: M-17261

TITLE:
COVER SHEET

DRAWING:
C-1

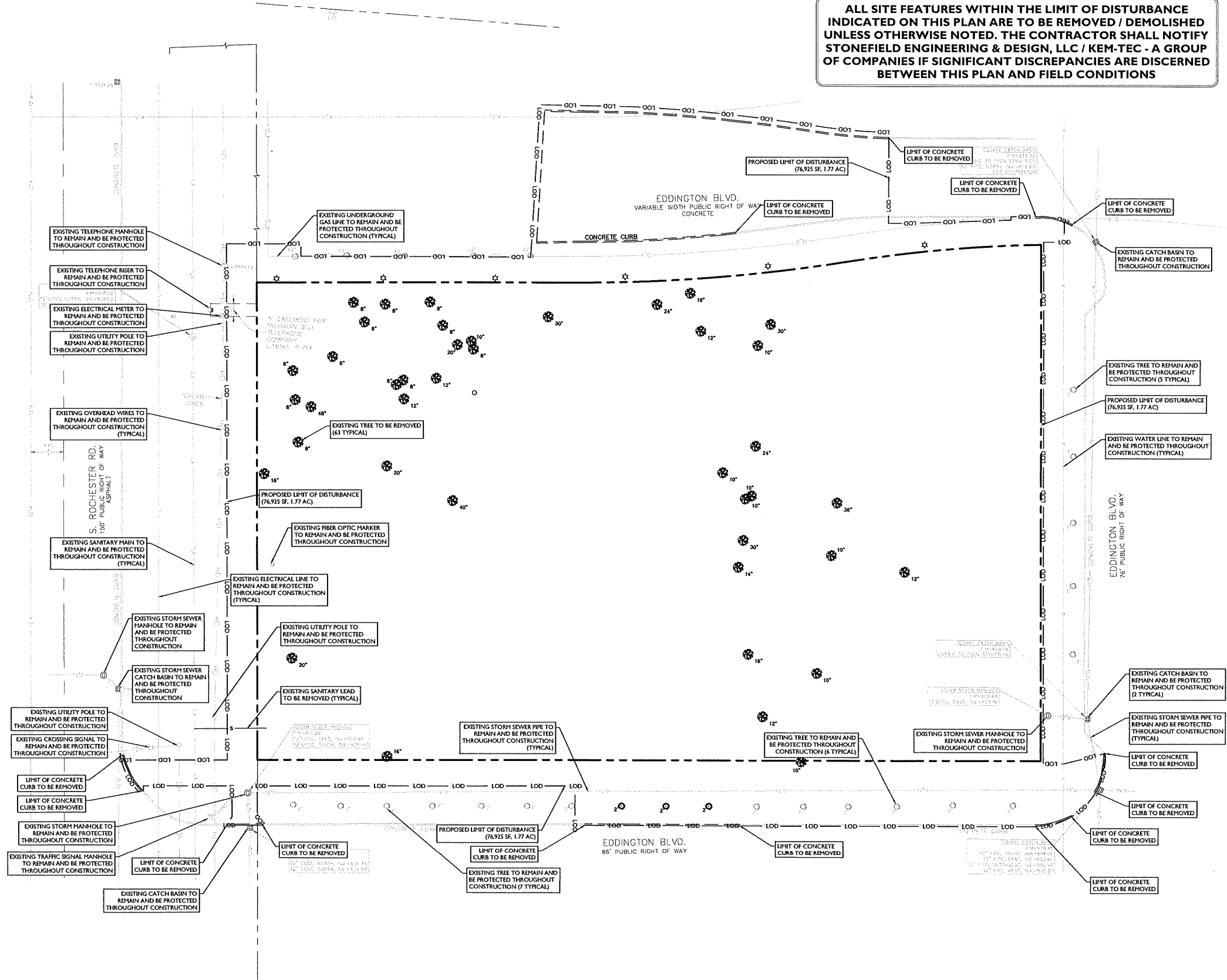
CITY FILE #: 18-003

ALL SITE FEATURES WITHIN THE LIMIT OF DISTURBANCE INDICATED ON THIS PLAN ARE TO BE REMOVED / DEMOLISHED UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC / KEM-TEC - A GROUP OF COMPANIES IF SIGNIFICANT DISCREPANCIES ARE DISCERNED BETWEEN THIS PLAN AND FIELD CONDITIONS

SYMBOL	DESCRIPTION
---	FEATURE TO BE REMOVED / DEMOLISHED
---	LOD
---	LIMIT OF DISTURBANCE

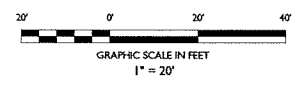
NOT APPROVED FOR CONSTRUCTION

ISSUE	DATE	BY	DESCRIPTION
3	03/02/2018	MTP	FOR CITY COMMENTS
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1	12/15/2017	MTP	FOR CLIENT REVIEW



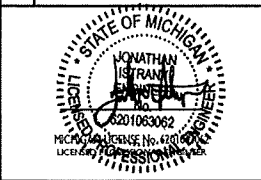
Know what's below
Call before you dig.

- DEMOLITION NOTES**
1. THE WORK REFLECTED ON THE DEMOLITION PLAN IS TO PROVIDE GENERAL INFORMATION TOWARDS THE EXISTING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR IS RESPONSIBLE TO REVIEW THE ENTIRE PLAN SET AND ASSOCIATED REPORTS/REFERENCE DOCUMENTS INCLUDING ALL DEMOLITION ACTIVITIES AND INCIDENTAL TASKS NECESSARY TO COMPLETE THE SITE IMPROVEMENTS.
 2. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF DEMOLITION ACTIVITIES.
 3. EMPLOYEES SHALL NOT BE USED UNLESS WRITTEN CONSENT FROM BOTH THE OWNER AND ANY APPLICABLE GOVERNING AGENCY IS OBTAINED. BEFORE THE START OF ANY EMPLOYEE PROGRAM, THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL LOCAL, STATE, AND FEDERAL PERMITS. ADDITIONALLY, THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL SEISMIC TESTING AS REQUIRED AND ANY DAMAGES AS THE RESULT OF SAID DEMOLITION PRACTICES.
 4. ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL UTILITIES ARE DISCONNECTED IN ACCORDANCE WITH THE UTILITY AUTHORITY'S REQUIREMENTS PRIOR TO STARTING THE DEMOLITION OF ANY STRUCTURE. ALL EXCAVATIONS ASSOCIATED WITH DEMOLISHED STRUCTURES OR REMOVED TANKS SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO SUPPORT SITE AND BUILDING IMPROVEMENTS. A GEOTECHNICAL ENGINEER SHOULD BE PRESENT DURING BACKFILLING ACTIVITIES TO OBSERVE AND CERTIFY THAT BACKFILL MATERIAL WAS COMPACTED TO A SUITABLE CONDITION.
 5. DEMOLISHED DEBRIS SHALL NOT BE BURIED ON SITE. ALL WASTE/DEBRIS GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL RECORDS OF THE DISPOSAL TO DEMONSTRATE COMPLIANCE WITH THE ABOVE REGULATIONS.



SITE DEVELOPMENT PLANS
FIRST STATE BANK
PROPOSED BANK WITH DRIVE-UP ATM

PARCEL ID: 15-23-300-039
SOUTH ROCHESTER ROAD & EDDINGTON BOULEVARD
CITY OF ROCHESTER HILLS
OAKLAND COUNTY, MICHIGAN



SCALE:	1" = 20'	PROJECT ID:	M-17261
TITLE:	DEMOLITION PLAN		
DRAWING:	C-2		
CITY FILE #: 18-003			

GENERAL NOTES

1. THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK, THE CONTRACTOR SHALL NOTIFY STONERFIELD ENGINEERING & DESIGN, LLC / KEH-TEC - A GROUP OF COMPANIES PRIOR TO THE START OF CONSTRUCTION.
2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
3. ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONERFIELD ENGINEERING & DESIGN, LLC / KEH-TEC - A GROUP OF COMPANIES AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
4. THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONERFIELD ENGINEERING & DESIGN, LLC / KEH-TEC - A GROUP OF COMPANIES.
5. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
6. THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
7. THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE.
8. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONERFIELD ENGINEERING & DESIGN, LLC / KEH-TEC - A GROUP OF COMPANIES WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
9. THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
10. THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
11. THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
12. SHOULD AN EMPLOYEE OF STONERFIELD ENGINEERING & DESIGN, LLC / KEH-TEC - A GROUP OF COMPANIES BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.

FIRE DEPARTMENT NOTES

1. A KNOX KEY SYSTEM SHALL BE INSTALLED, IN A LOCATION APPROVED BY THE FIRE CODE OFFICIAL. ORDERING INFORMATION IS AVAILABLE FROM THE KNOX COMPANY AT KNOXBOX.COM.
2. FIRE LANES SHALL BE DESIGNATED BY THE FIRE CODE OFFICIAL, AND SHALL BE CONSPICUOUSLY POSTED ON BOTH SIDES OF THE FIRE LANE, WITH FIRE LANE SIGNS, SPACED NOT MORE THAN 100 FEET APART. FIRE LANE SIGNS SHALL READ "NO STOPPING, STANDING, PARKING, FIRE LANE", AND SHALL CONFORM TO THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
3. CONSTRUCTION SITES SHALL BE SAFEGUARDED IN ACCORDANCE WITH IFC 2006 CHAPTER 14.
4. OPEN BURNING IS NOT PERMITTED INCLUDING THE BURNING OF TRASH, DEBRIS, OR LAND CLEARING MATERIALS. OPEN BURNING FOR WARMING OF SAND AND/OR WATER FOR THE PREPARATION OF PORTAR SHALL BE WITHIN THE CITY OF ROCHESTER HILLS BURN PERMIT GUIDELINES.

SYMBOL DESCRIPTION

---	PROPERTY LINE
- - - -	SETBACK LINE
- - - - -	PHASE LINE
=====	PROPOSED CURB
=====	PROPOSED FLUSH CURB
○ ○ ○ ○	PROPOSED SIGNS / BOLLARDS
▭	PROPOSED BUILDING
▭	PROPOSED CONCRETE
▭	PROPOSED BUILDING DOORS
---	PROPOSED ADA PATH

TABLE OF LAND USE AND ZONING
PARCEL ID: 15-23-300-039

ONE-FAMILY RESIDENTIAL DISTRICT (R4) & FLEXIBLE BUSINESS OVERLAY (FB2)

PROPOSED USE	PERMITTED USE	PERMITTED USE
FINANCIAL INSTITUTION	PERMITTED USE	PERMITTED USE
OFFICE	PERMITTED USE	PERMITTED USE
DRIVE-THROUGH FACILITY	CONDITIONAL USE	CONDITIONAL USE
ZONING REQUIREMENT	REQUIRED	PROPOSED
MINIMUM LOT AREA	9,600 SF (0.22 AC)	57,168 SF (1.31 AC)
MINIMUM LOT WIDTH	80 FT	184.6 FT
MAXIMUM LOT COVERAGE	30% (17,150 SF)	51% (2,900 SF)
MAXIMUM BUILDING HEIGHT	30 FT (3 STORIES)	SEE ARCH PLAN
MINIMUM FRONT YARD SETBACK (ROCHESTER)	15 FT	15.0 FT
MINIMUM FRONT YARD SETBACK (ROCHESTER)	25 FT	15.0 FT
MINIMUM FRONT YARD SETBACK (EDDINGTON SOUTH)	0 FT	5.0 FT
MINIMUM FRONT YARD SETBACK (EDDINGTON SOUTH)	7 FT	5.0 FT
MINIMUM FRONT YARD SETBACK (EDDINGTON EAST)	5 FT	240.2 FT (W)
MINIMUM FRONT YARD SETBACK (EDDINGTON EAST)	20 FT	240.2 FT (W)
MINIMUM FRONT YARD SETBACK (EDDINGTON NORTH)	5 FT	61.0 FT
MINIMUM FRONT YARD SETBACK (EDDINGTON NORTH)	20 FT	61.0 FT (W)
MINIMUM LAWN FRONTAGE SETBACK	15 FT	15.0 FT
MINIMUM SETBACK FROM BUILDING	5 FT	9.7 FT
MINIMUM RIGHT-OF-WAY PARKING SETBACK (EDDINGTON EAST / SOUTH / NORTH)	10 FT	10.0 FT
MINIMUM RIGHT-OF-WAY PARKING SETBACK (ROCHESTER)	15 FT	33.8 FT
MINIMUM BUILDING FRONTAGE BUILD-TO AREA (ROCHESTER)	40% (71.8 FT)	51.6% (92.7 FT)
MINIMUM BUILDING FRONTAGE BUILD-TO AREA (EDDINGTON SOUTH)	90% (254.7 FT)	13.0% (36.9 FT) (W)
MINIMUM BUILDING FRONTAGE BUILD-TO AREA (EDDINGTON EAST)	70% (136.0 FT)	0.0% (0.0 FT) (W)
MINIMUM BUILDING FRONTAGE BUILD-TO AREA (EDDINGTON NORTH)	70% (198.1 FT)	0.0% (0.0 FT) (W)

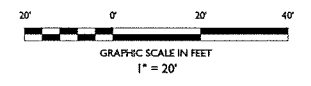
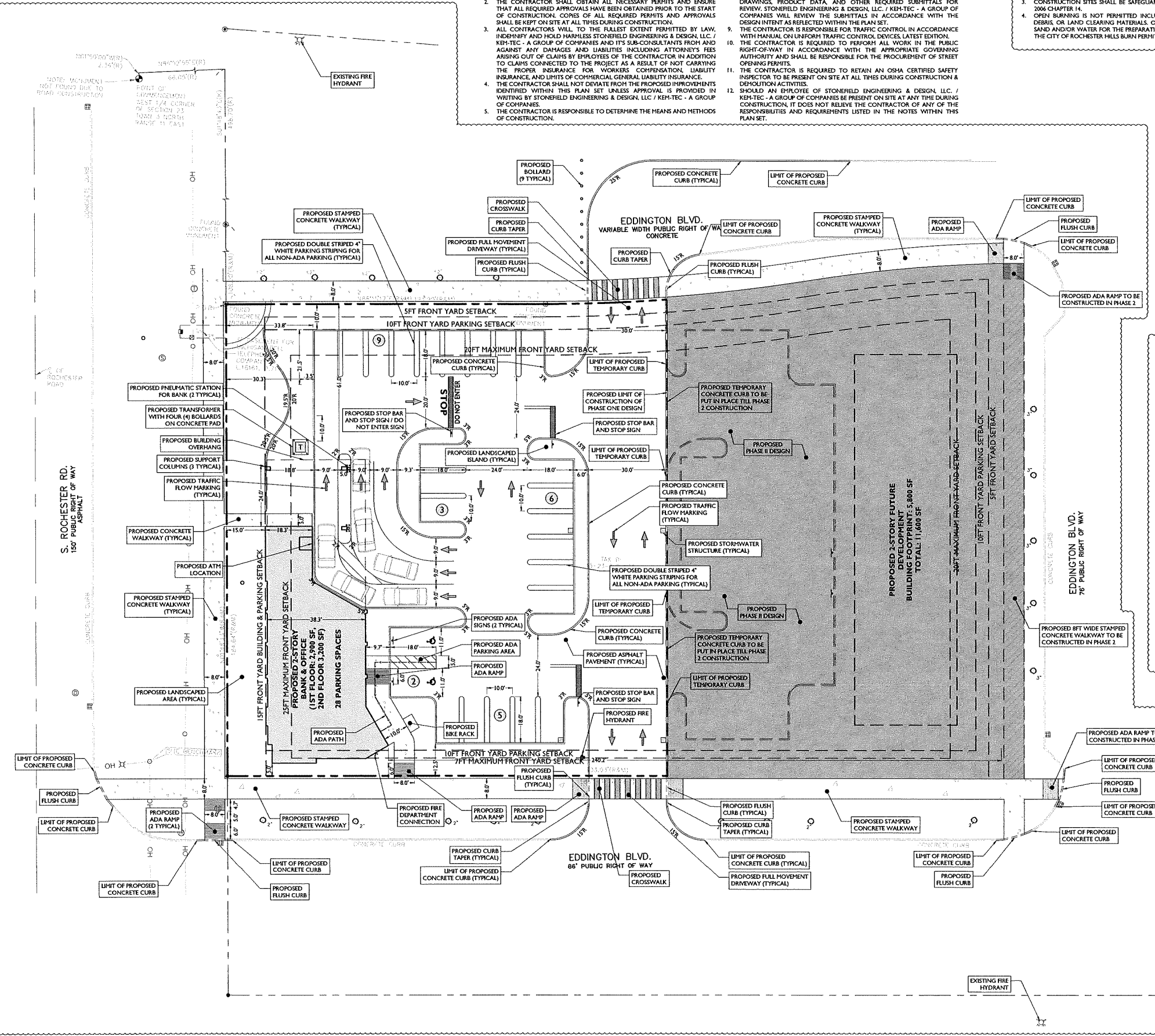
(W) WAIVER

OFF-STREET PARKING REQUIREMENTS

CODE SECTION	REQUIRED	PROPOSED
§ 138-8.600(A)	MINIMUM REQUIRED PARKING: 1 SPACE PER 400 SF (6,100 SF) / (1,400 SF) = 15 SPACES	25 SPACES
§ 138-8.600(B)	MAXIMUM REQUIRED PARKING: 200% OF MINIMUM REQUIRED PARKING (2.0) (15 SPACES) = 30 SPACES	25 SPACES
§ 138-11.302	90° PARKING: 10 FT X 18 FT W/ 24 FT AISLE	10 FT X 18 FT W/ 24 FT AISLE

CONSTRUCTION TYPE: SB (USE GROUP B)

ALL SIGNS MUST MEET CHAPTER 134 OF THE CITY CODE OF ORDINANCES AND BE APPROVED UNDER A SEPARATE PERMIT ISSUED BY THE BUILDING DEPARTMENT



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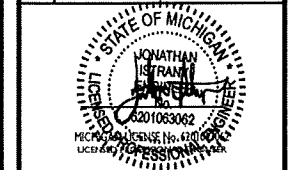
NOT APPROVED FOR CONSTRUCTION

SITE DEVELOPMENT PLANS

FIRST STATE BANK

PROPOSED BANK WITH DRIVE-UP ATM

PARCEL ID: 15-23-300-039
88' EDDINGTON BLVD. & EDDINGTON BOULEVARD
CITY OF ROCHESTER HILLS
OAKLAND COUNTY, MICHIGAN

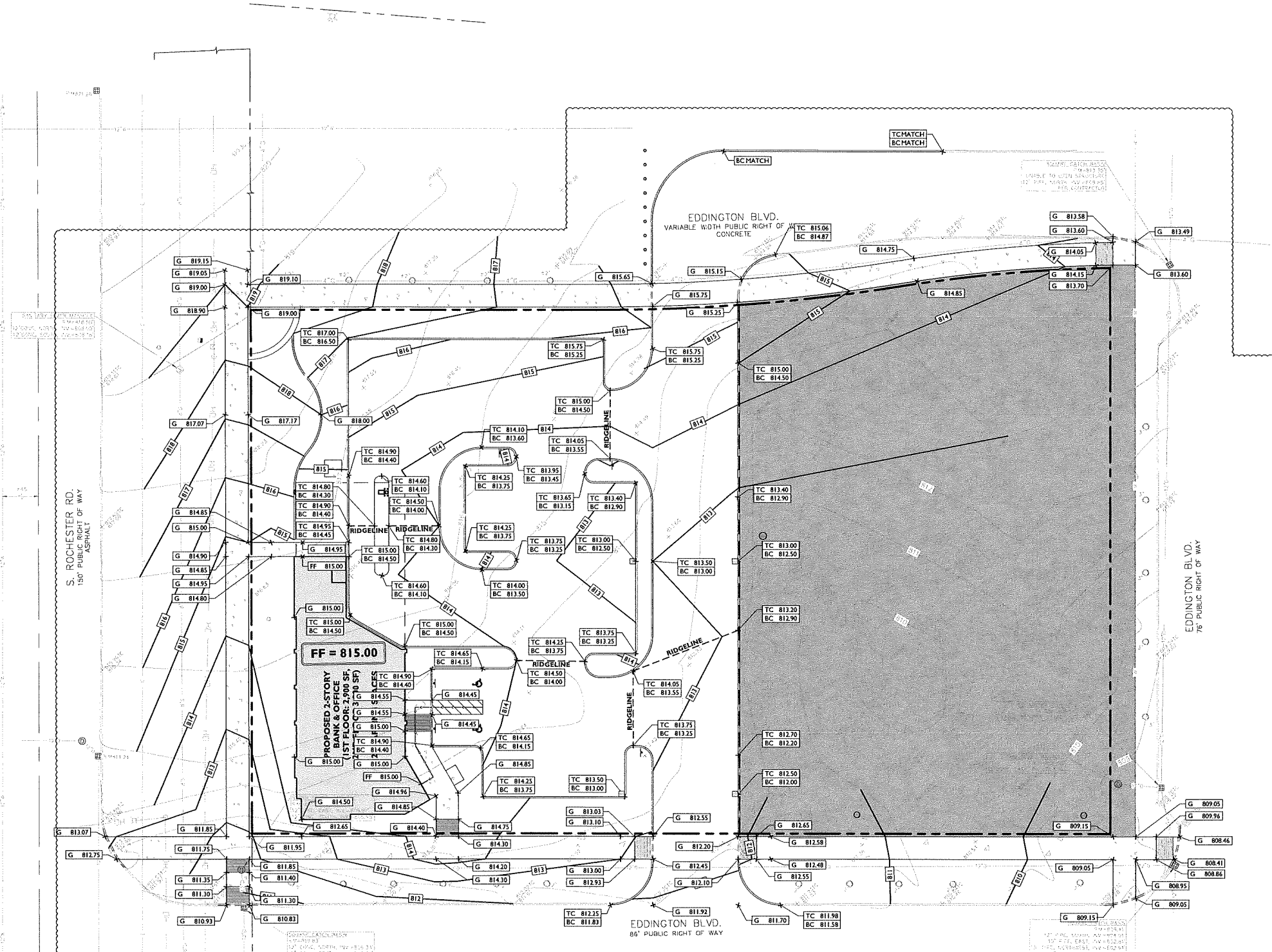


SCALE: 1" = 20' PROJECT ID: M-17462

TITLE: **SITE PLAN**

DRAWING: **C-3**

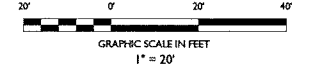
CITY FILE #: 18-003



SYMBOL	DESCRIPTION
---	PROPERTY LINE
— —	PROPOSED GRADING CONTOUR
---	PROPOSED GRADING RIDGELINE
—G 100.00	PROPOSED GRADE SPOT SHOT
—TC 100.50 —BC 100.00	PROPOSED TOP OF CURB / BOTTOM OF CURB SPOT SHOT

- GRADING NOTES**
- ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DEWATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DEWATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.
 - THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES, INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS.
 - PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONERFIELD ENGINEERING & DESIGN, LLC / KEM-TEC - A GROUP OF COMPANIES FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.
 - THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL, COUNTY, STATE AND/OR UTILITY AUTHORITY REGULATIONS.
 - MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:
 - CURB GUTTER: 0.50%
 - CONCRETE SURFACES: 1.00%
 - ASPHALT SURFACES: 1.00%
 - A MINIMUM SLOPE OF 1.00% SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONERFIELD ENGINEERING & DESIGN, LLC / KEM-TEC - A GROUP OF COMPANIES IF THIS CONDITION CANNOT BE MET.
 - FOR PROJECTS WHERE BASEMENTS ARE PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF SUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED DIRECTLY TO THE PUBLIC STORM SEWER SYSTEM WITH APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.

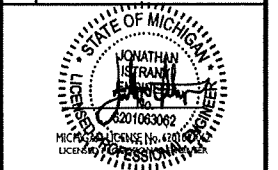
- ADA NOTES**
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AREAS.
 - THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE GUIDELINES.
 - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND A MAXIMUM OF 2.00% CROSS SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
 - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS. LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP, AT ACCESSIBLE BUILDING ENTRANCES, AT AN AREA IN FRONT OF A WALK-UP ATM, AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL. THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 60 INCHES BY 60 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
 - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 8.33% RUNNING SLOPE AND A MAXIMUM 2.00% CROSS SLOPE ON ANY CURB RAMPS ALONG THE ACCESSIBLE PATH OF TRAVEL. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10.00% IF A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP. FOR ALTERATIONS, A CURB RAMP FLARE SHALL NOT HAVE A SLOPE GREATER THAN 8.33% IF A LANDING AREA IS NOT PROVIDED AT THE TOP OF THE RAMP. CURB RAMPS SHALL NOT RISE MORE THAN 6 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NOT LESS THAN 36 INCHES WIDE.
 - ACCESSIBLE RAMPS WITH A RISE GREATER THAN 6 INCHES SHALL CONTAIN COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT RISE MORE THAN 30" IN ELEVATION WITHIN A LANDING AREA IN BETWEEN RAMP RUNS. LANDING AREAS SHALL ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP.
 - A SLIP RESISTANT SURFACE SHALL BE CONSTRUCTED ALONG THE ACCESSIBLE PATH AND WITHIN ADA PARKING AREAS.
 - THE CONTRACTOR SHALL ENSURE A MAXIMUM OF 1/4 INCHES VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH, WHERE A CHANGE IN LEVEL BETWEEN 1/4 INCHES AND 1/2 INCHES EXISTS. CONTRACTOR SHALL ENSURE THAT THE TOP 1/4 INCH CHANGE IN LEVEL IS BEVELLED WITH A SLOPE NOT STEEPER THAN 1 UNIT VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLOPE).
 - THE CONTRACTOR SHALL ENSURE THAT ANY OPENINGS (GAPS OR HORIZONTAL SEPARATION) ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN 1/2 INCH.



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NOT APPROVED FOR CONSTRUCTION

SITE DEVELOPMENT PLANS
FIRST STATE BANK
PROPOSED BANK WITH DRIVE-UP ATM
 PARCEL ID: 15-23-306-009
 SOUTH ROCHESTER ROAD & EDDINGTON BOULEVARD
 CITY OF ROCHESTER HILLS
 OAKLAND COUNTY, MICHIGAN



SCALE: 1" = 20'
 PROJECT ID: M-17261
 TITLE: **GRADING PLAN**
 DRAWING: **C-4**
 CITY FILE #: 18-003

DRAINAGE AND UTILITY NOTES

- THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC / KEH-TEC - A GROUP OF COMPANIES IMMEDIATELY IN WRITING.
- THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN IN OPERATION ALL UTILITIES NOT DESIGNATED TO BE REMOVED.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO ANY EXISTING UTILITY IDENTIFIED TO REMAIN WITHIN THE LIMITS OF THE PROPOSED WORK DURING CONSTRUCTION.
- A MINIMUM HORIZONTAL SEPARATION OF 10 FEET IS REQUIRED BETWEEN ANY SANITARY SEWER SERVICE AND ANY WATER LINES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC / KEH-TEC - A GROUP OF COMPANIES.
- ALL WATER LINES SHALL BE VERTICALLY SEPARATED ABOVE SANITARY SEWER LINES BY A MINIMUM DISTANCE OF 18 INCHES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC / KEH-TEC - A GROUP OF COMPANIES.
- THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR WATER AND SANITARY SEWER CONNECTION IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC / KEH-TEC - A GROUP OF COMPANIES IN WRITING.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING GAS, ELECTRIC AND TELECOMMUNICATION CONNECTIONS WITH THE APPROPRIATE GOVERNING AUTHORITY.
- CONTRACTOR SHALL START CONSTRUCTION OF ANY GRAVITY SEWER AT THE LOWEST INVERT AND WORK UP GRADIENT.
- THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD SET OF PLANS REFLECTING THE LOCATION OF EXISTING UTILITIES THAT HAVE BEEN CAIRED, ABANDONED, OR RELOCATED BASED ON THE DEMOLITION/REMOVAL ACTIVITIES REQUIRED IN THIS PLAN SET. THIS DOCUMENT SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.
- THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.

CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR WATER AND SANITARY SEWER CONNECTION IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC / KEH-TEC - A GROUP OF COMPANIES IN WRITING.

THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING GAS, ELECTRIC AND TELECOMMUNICATION CONNECTIONS WITH THE APPROPRIATE GOVERNING AUTHORITY.

CONTRACTOR SHALL START CONSTRUCTION OF ANY GRAVITY SEWER AT THE LOWEST INVERT AND WORK UP GRADIENT.

THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD SET OF PLANS REFLECTING THE LOCATION OF EXISTING UTILITIES THAT HAVE BEEN CAIRED, ABANDONED, OR RELOCATED BASED ON THE DEMOLITION/REMOVAL ACTIVITIES REQUIRED IN THIS PLAN SET. THIS DOCUMENT SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.

THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.

SANITARY SEWER BASIS OF DESIGN

ROCHESTER HILLS BASIS OF DESIGN:
100 GPD/REU

OAKLAND COUNTY UNIT ASSIGNMENT FACTOR:
FINANCIAL INSTITUTION / OFFICE: 0.40 PER 1,000 SF
(6,100 SF)(0.40 REU/ 1,000 SF) = 2.44 REU

ROCHESTER HILLS PEAK FACTOR: 4.0

AVERAGE FLOW:
(100 GPD/REU)(2.44 REU) = 244 GPD (0.0004 CFS)

PEAK FLOW: AVERAGE FLOW * 4 =
(244 GPD)(4) = 976 GPD (0.0015 CFS)

6" LATERAL FLOW (1.00% SLOPE): 0.73 CFS
6" LATERAL VELOCITY (3.00% SLOPE): 3.72 FPS
(WHEN FULL)

SYMBOL	DESCRIPTION
---	PROPERTY LINE
— SAN —	PROPOSED SANITARY LATERAL
— W —	PROPOSED DOMESTIC WATER SERVICE
— E —	PROPOSED ELECTRIC CONDUITS
— G —	PROPOSED GAS LINE
⊗	PROPOSED VALVE
T	PROPOSED TRANSFORMER ON CONCRETE PAD WITH BOLLARDS
⊙	PROPOSED STORMWATER STRUCTURES
—	PROPOSED STORMWATER PIPING

STORMWATER MANAGEMENT CALCULATIONS
(Based on the Oakland County Single Method of Detention Basin Design)

Project: First State Bank Designer: MTP Date: 12/15/17

Landcover	Area (SF)	C-Value*	Weighted Value
Building / Roof	14,800	0.95	14,060
Pavement / Hardscape	35,560	0.95	33,782
Open Space (Soil Group B, 4-8%)	6,808	0.30	2,042
Subtotals	57,168		49,884

*C-values obtained from Oakland County Method

Composite C Value, C_c: 0.87

ALLOWABLE SITE DISCHARGE & BASIN DISCHARGE RATIO

Site Area, A_s: 1.31 AC

*Allowable Discharge Ratio: 0.20 CFS/AC

Allowable Site Discharge, Q_a: 0.26 CFS

Basin Discharge Ratio, Q_b: 0.23 CFS/AC*IMP

BASIN STORAGE TIME

Design Storm Frequency: 25 YR

Basin Storage Time, T_s: 162.55 MINS

INFILTRATION VOLUME REQUIRED

Recharge Volume, R_c: 2.079 CF

BASIN VOLUME REQUIRED

Basin Volume Ratio, V_r: 9.690 CFS/AC*IMP

Basin Volume Required, V_b: 11,098 CF

PHASE 2 HAS BEEN CALCULATED AS 100% IMPERVIOUS FOR THE BASIN CALCULATIONS

WATER MAIN BASIS OF DESIGN

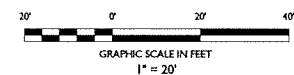
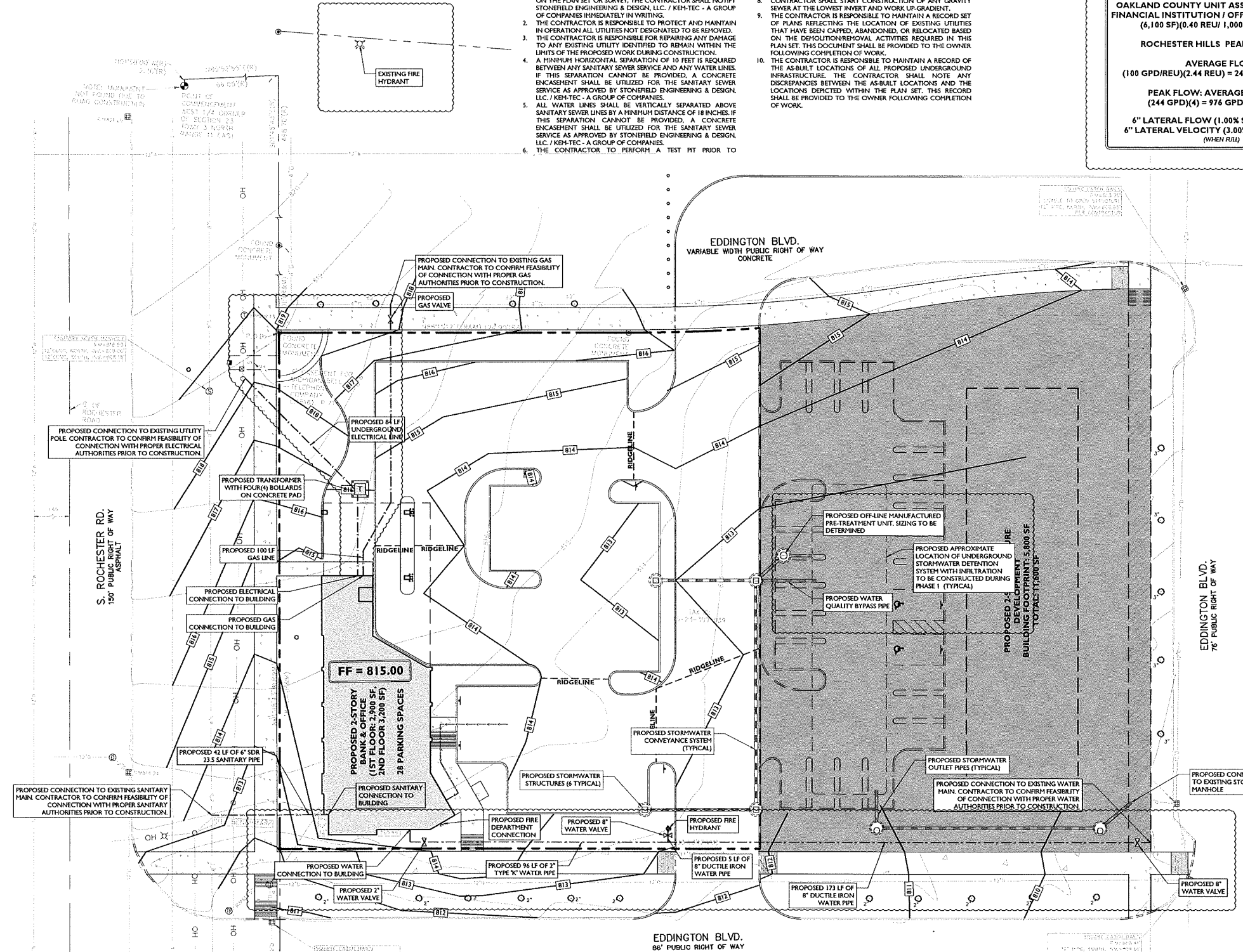
ROCHESTER HILLS BASIS OF DESIGN:
20 GPM/REU

OAKLAND COUNTY UNIT ASSIGNMENT FACTOR:
FINANCIAL INSTITUTION / OFFICE: 0.40 PER 1,000 SF
(6,100 SF)(0.40 REU/ 1,000 SF) = 2.44 REU

ROCHESTER HILLS PEAK FACTOR: 4.0

AVERAGE FLOW:
(20 GPM/REU)(2.44 REU) = 48.8 GPD (0.11 CFS)

PEAK FLOW: AVERAGE FLOW * 4 =
(48.8 GPD)(4) = 195.2 GPD (0.44 CFS)



NO.	DATE	BY	DESCRIPTION
3	03/02/2018	MTP	FOR CITY COMMENTS
2	01/08/2018	MTP	SITE PLAN REVIEW
1	12/15/2017	MTP	FOR CLIENT REVIEW
			ISSUE

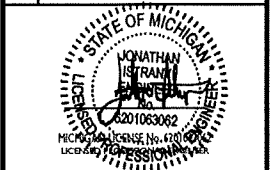
NOT APPROVED FOR CONSTRUCTION

SITE DEVELOPMENT PLANS

FIRST STATE BANK

PROPOSED BANK WITH DRIVE-UP ATM

PARCEL ID: 15-23-246-005
SOUTH ROCHESTER ROAD & EDDINGTON BOULEVARD
CITY OF ROCHESTER HILLS
OAKLAND COUNTY, MICHIGAN



SCALE: 1" = 20' PROJECT ID: M-17762

TITLE:
DRAINAGE & UTILITY PLAN

DRAWING:

C-5

CITY FILE # 18-003

SHADE TREES AND SHRUBS ARE TO BE PLANTED AT LEAST 5' FROM THE EDGE OF RIGHT-OF-WAY PATHWAYS

PLANT SCHEDULE					
PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
DECIDUOUS TREES (14 TOTAL)					
ACE RUB.	5	ACER RUBRUM 'RED SUNSET'	RED SUNSET RED MAPLE	3'-3.5" CAL.	B&B
GLE TRI.	5	GLEDITSIA TRICANTHOS INERMIS 'SHADEMASTER'	SHADEMASTER HONEYLOCUST	3'-3.5" CAL.	B&B
PLA ACE.	4	PLATINUS X ACERIFOLIA 'BLOODGOOD'	BLOODGOOD LONDON PLANETREE	3'-3.5" CAL.	B&B
ORNAMENTAL TREES (7 TOTAL)					
BET. DUR.	3	BETULA NIGRA 'DURA HEAT'	DURA HEAT RIVER BIRCH	10' - 12'	B&B
AME. CAN.	4	AMELANCHER CANADENSIS	CANADIAN SERVICEBERRY	10' - 12'	B&B
SHRUBS (174 TOTAL)					
CAR. CLA.	6	CARYOPTERIS X CLANDONENSIS	BLUE SPREA	3 GAL.	CONT.
ILE. COM.	16	ILEX GLABRA 'COMPACTA'	COMPACT INKBERRY	24"-30"	CONT.
ILE. SHA.	52	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY	24"-30"	B&B
RHU. GRO.	82	RHUS AROMATICA 'GRO LOW'	FRAGRANT SURIAC	3 GAL.	CONT. 36" O.C.
WEL. SPL.	18	WIBGELA FLORIDA 'SPILLED WINE'	SPILLED WINE WIBGELA	5 GAL.	CONT.
ORNAMENTAL GRASSES (499 TOTAL)					
ERA. SPE.	150	ERAGROSTIS SPECTABILIS	PURPLE LOVE GRASS	1 GAL.	CONT.
CAR. ICE.	140	CAREX MORROWII 'ICE DANCE'	VARIEGATED SEDGE	1 GAL.	CONT. 18" O.C.
PAN. SHE.	144	PANICUM VIRGATUM 'SHEVANDAOH'	SWITCH GRASS	3 GAL.	CONT. 30" O.C.
SCH. SCO.	65	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	3 GAL.	CONT. 24" O.C.

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN ON THE LANDSCAPE PLAN AND WITHIN THE PLANT LIST, THE PLAN SHALL DICATE.

LANDSCAPING AND BUFFER REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 138-12.300	ROCHESTER ROAD RIGHT OF WAY:	
	DECIDUOUS TREES: 5 ORNAMENTAL TREES: 3	5 DECIDUOUS 3 ORNAMENTAL
§ 138-12.300	ROCHESTER ROAD FRONT YARD:	
	10 FT WIDTH	5 FT
	DECIDUOUS TREES: 4 ORNAMENTAL TREES: 7 SHRUBS: 22	5 DECIDUOUS 7 ORNAMENTAL 22+ SHRUBS
§ 138-12.300	EDDINGTON SOUTH RIGHT OF WAY:	
	DECIDUOUS TREES: 9 ORNAMENTAL TREES: 5	9 DECIDUOUS 0 ORNAMENTAL (W)
§ 138-12.300	EDDINGTON NORTH RIGHT OF WAY:	
	DECIDUOUS TREES: 5 ORNAMENTAL TREES: 3	5 DECIDUOUS 0 ORNAMENTAL (W)
§ 138-12.300	EDDINGTON NORTH FRONT YARD:	
	5 FT WIDTH	5 FT
	ORNAMENTAL TREES: 2 SHRUBS: 16	0 ORNAMENTAL (W) 16+ SHRUBS
§ 138-12.301	PARKING LOT LANDSCAPING:	
	INTERIOR LANDSCAPING: 5% (18,850 SF)(0.05) = 942.50 SF 1 TREE PER 150 SF (942.50) / 150 SF = 7 TREES	15% (2,848 SF) 4 TREES (W)

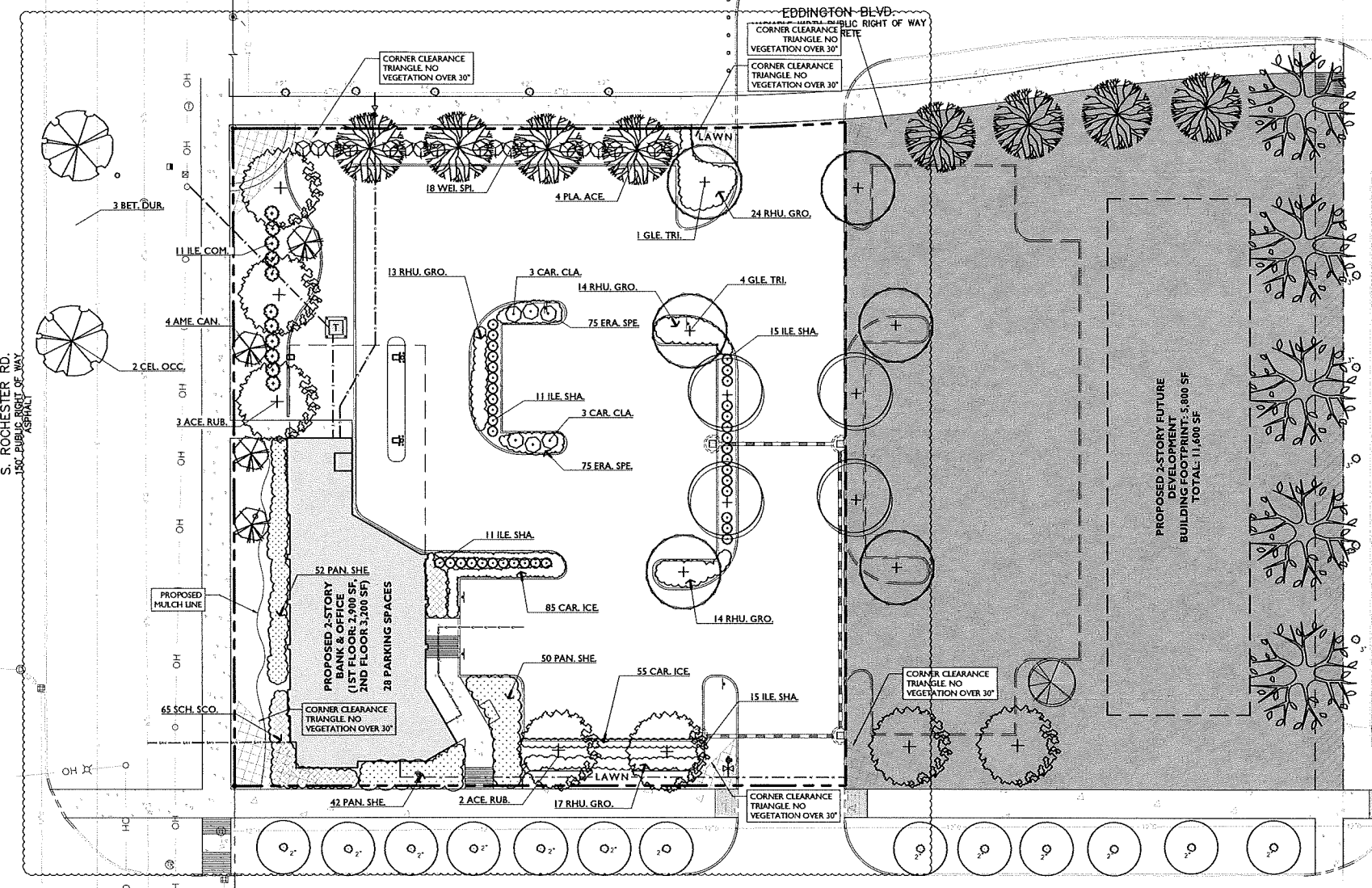
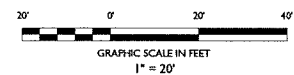
13 TREES DEFICIENT (\$216.75 PER TREE DEFICIENT)
CONTRIBUTION TO CITY TREE FUND: \$2,817.75

LANDSCAPING MAINTENANCE NOTES

- THE OWNER OF THE PROPERTY SHALL BE RESPONSIBLE FOR ALL MAINTENANCE OF SITE LANDSCAPING, AS FOLLOWS:
 - LANDSCAPING SHALL BE KEPT IN A NEAT, ORDERLY AND HEALTHY GROWING CONDITION, FREE FROM DEBRIS AND REFUSE.
 - PRUNING SHALL BE MINIMAL AT THE TIME OF INSTALLATION, ONLY TO REMOVE DEAD OR DISEASED BRANCHES. SUBSEQUENT PRUNING SHALL ASSURE PROPER MATURATION OF PLANTS TO ACHIEVE THEIR APPROVED PURPOSE.
 - ALL DEAD, DAMAGED, OR DISEASED PLANT MATERIAL SHALL BE REMOVED IMMEDIATELY AND REPLACED WITHIN SIX (6) MONTHS AFTER IT DIES OR IN THE NEXT PLANTING SEASON, WHICHEVER OCCURS FIRST. FOR PURPOSES OF THIS SECTION, THE PLANTING SEASON FOR DECIDUOUS PLANTS SHALL BE BETWEEN MARCH 1 AND JUNE 1 AND FROM OCTOBER 1, THE PLANTING SEASON FOR EVERGREEN PLANTS SHALL BE BETWEEN MARCH 1 AND JUNE 1. PLANT MATERIAL INSTALLED TO REPLACE DEAD OR DISEASED MATERIAL SHALL BE AS CLOSE AS PRACTICAL TO THE SIZE OF THE MATERIAL IT IS INTENDED TO REPLACE. THE CITY MAY NOTIFY PROPERTY OWNERS OF THE NEED TO REPLACE DEAD, DAMAGED, OR DISEASED MATERIAL.
 - THE APPROVED LANDSCAPE PLAN SHALL BE CONSIDERED A PERMANENT RECORD AND INTEGRAL PART OF THE SITE PLAN APPROVAL, UNLESS OTHERWISE APPROVED IN ACCORDANCE WITH THE AFOREMENTIONED PROCEDURES. ANY REVISIONS TO OR REMOVAL OF PLANT MATERIALS, OR NON-COMPLIANCE WITH THE MAINTENANCE REQUIREMENTS OF THIS SECTION 138-12.09 WILL PLACE THE PARCEL IN NON-COMPLIANCE WITH THE APPROVED LANDSCAPE PLAN AND BE A VIOLATION OF THIS ORDINANCE.
 - IF PROTECTED TREES ARE DAMAGED, A FINE SHALL BE ISSUED ON AN INCH-BY-INCH BASIS AT A MONETARY RATE AS DEFINED BY THE FORESTRY DEPARTMENT.

LANDSCAPING NOTES

- THE CONTRACTOR SHALL RESTORE ALL DISTURBED GRASS AND LANDSCAPED AREAS TO MATCH EXISTING CONDITIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE CONTRACTOR SHALL RESTORE ALL DISTURBED LAWN AREAS WITH A MINIMUM 4 INCH LAYER OF TOPSOIL AND SEED.
- THE CONTRACTOR SHALL RESTORE MULCH AREAS WITH A MINIMUM 3 INCH LAYER OF MULCH.
- THE MAXIMUM SLOPE ALLOWABLE IN LANDSCAPE RESTORATION AREAS SHALL BE 3 FEET HORIZONTAL TO 1 FOOT VERTICAL (3:1 SLOPE) UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE CONTRACTOR IS REQUIRED TO LOCATE ALL SPRINKLER HEADS IN AREA OF LANDSCAPING DISTURBANCE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL RELOCATE SPRINKLER HEADS AND LINES IN ACCORDANCE WITH OWNERS DIRECTION WITHIN AREAS OF DISTURBANCE.
- THE CONTRACTOR SHALL ENSURE THAT ALL DISTURBED LANDSCAPED AREAS ARE GRADED TO MEET FLUSH AT THE ELEVATION OF WALKWAYS AND TOP OF CURB ELEVATIONS EXCEPT UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. NO ABRUPT CHANGES IN GRADE ARE PERMITTED IN DISTURBED LANDSCAPING AREAS.
- PRIOR TO THE RELEASE OF THE PERFORMANCE BOND, THE CITY OF ROCHESTER HILLS MUST INSPECT ALL LANDSCAPE PLANTINGS



IRRIGATION NOTE:
IRRIGATION CONTRACTOR TO PROVIDE A DESIGN FOR AN IRRIGATION SYSTEM SEPARATING PLANTING BEDS FROM LAWN AREA. PRIOR TO CONSTRUCTION, DESIGN IS TO BE SUBMITTED TO THE PROJECT LANDSCAPE DESIGNER FOR REVIEW AND APPROVAL. WHERE POSSIBLE, DRIP IRRIGATION AND OTHER WATER CONSERVATION TECHNIQUES SUCH AS RAIN SENSORS SHALL BE IMPLEMENTED. CONTRACTOR TO VERIFY MAXIMUM ON SITE DYNAMIC WATER PRESSURE AVAILABLE MEASURED IN PSI. PRESSURE REDUCING DEVICES OR BOOSTER PUMPS SHALL BE PROVIDED TO MEET SYSTEM PRESSURE REQUIREMENTS. DESIGN TO SHOW ALL VALVES, PIPING, HEADS, BACKFLOW PREVENTION, METERS, CONTROLLERS, AND SLEEVES WITHIN HARDCAPE AREAS.

IRRIGATION NOTE:
ALL LANDSCAPE AREAS MUST BE IRRIGATED AND WATERING SHOULD OCCUR BETWEEN 12AM AND 5 AM

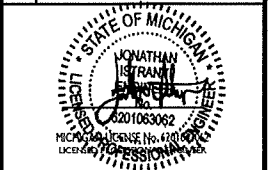
FORESTRY NOTES
PRIOR APPROVAL IS REQUIRED TO PLANT ANY TREE OR SHRUB ON THE PUBLIC RIGHT-OF-WAY. ALL TREES AND SHRUBS MUST BE PLANTED AT LEAST 10' FROM THE EDGE OF THE PUBLIC ROAD. (TREES MUST BE PLANTED AT LEAST 15' AWAY FROM CURB OR ROAD EDGE WHERE THE SPEED LIMIT IS MORE THAN 35 MPH). SHADE TREES AND SHRUBS MUST BE PLANTED AT LEAST 5' FROM THE EDGE OF THE PUBLIC WALKWAY. EVERGREEN AND ORNAMENTAL TREES MUST BE PLANTED AT LEAST 10' FROM THE EDGE OF THE PUBLIC WALKWAY. NO TREES OR SHRUBS MAY BE PLANTED WITHIN THE TRIANGULAR AREA FORMED AT THE INTERSECTION OF ANY DRIVEWAY WITH A PUBLIC WALKWAY AT A DISTANCE ALONG EACH LINE OF 15' FROM THEIR POINT OF INTERSECTION. ALL TREES AND SHRUBS MUST BE PLANTED AT LEAST 10' FROM ANY FIRE HYDRANT. SHADE AND EVERGREEN TREES MUST BE AT LEAST 15' AWAY FROM THE NEAREST OVERHEAD WIRE. TREES MUST BE PLANTED A MINIMUM OF 5' FROM AN UNDERGROUND UTILITY, UNLESS THE CITY'S LANDSCAPE ARCHITECT REQUIRES A GREATER DISTANCE.

PRIOR TO THE RELEASE OF THE PERFORMANCE BOND, THE CITY OF ROCHESTER HILLS FORESTRY DIVISION NEEDS TO INSPECT ALL TREES EXISTING OR PLANTED, TO IDENTIFY ANY THAT POSE A HAZARD TO THE SAFE USE OF THE PUBLIC RIGHT-OF-WAY. FORESTRY MAY REQUIRE THE DEVELOPER TO REMOVE, AND POSSIBLY REPLACE, ANY SUCH TREES.

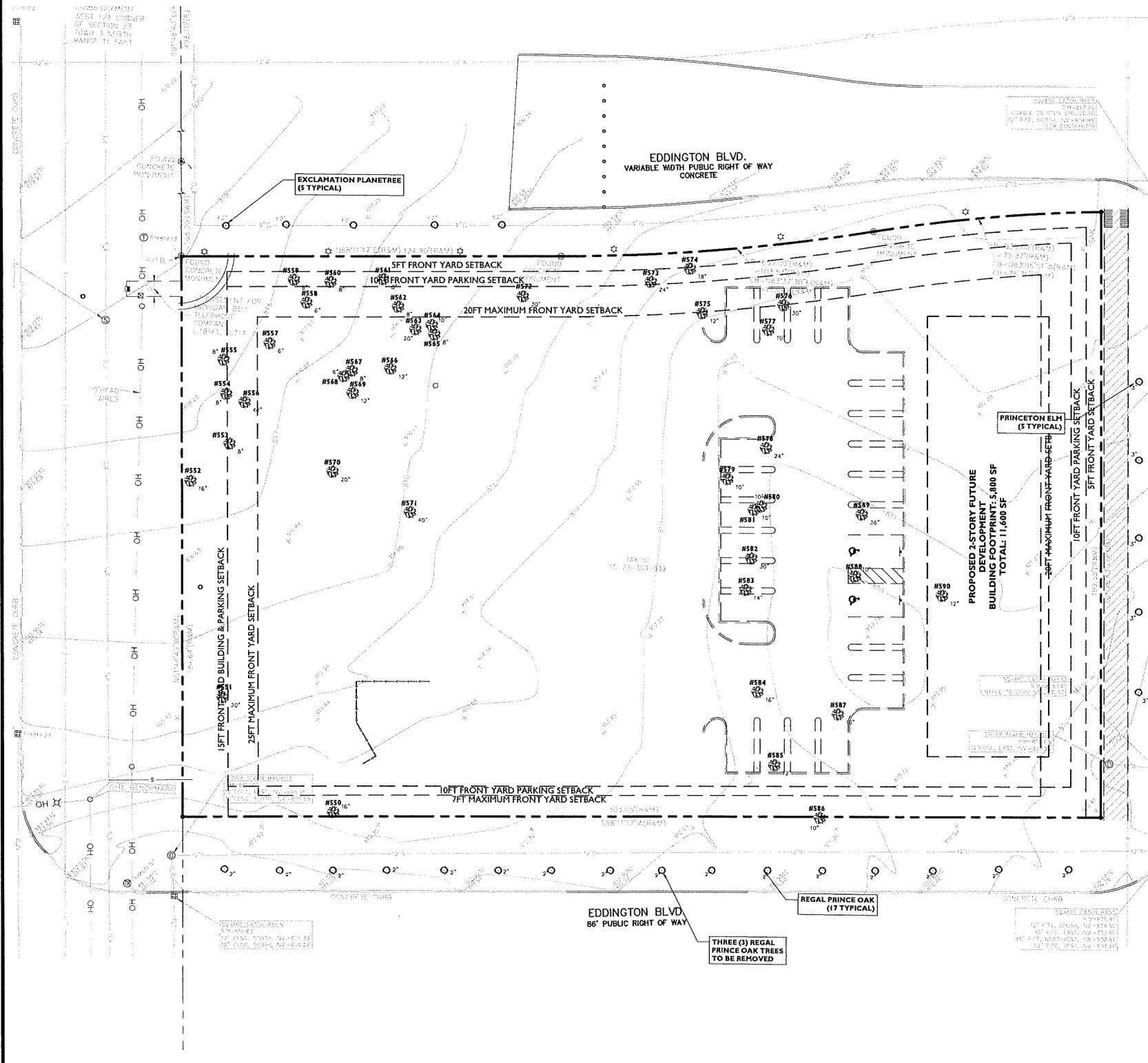
DATE	BY	DESCRIPTION
03/02/2016	MTP	FOR CITY COMMENTS
01/08/2016	MTP	SITE PLAN REVIEW
12/15/2017	MTP	FOR CLIENT REVIEW
ISSUE		

NOT APPROVED FOR CONSTRUCTION

SITE DEVELOPMENT PLANS
FIRST STATE BANK
PROPOSED BANK WITH DRIVE-UP ATM
PARCEL ID: 15-32-306-039
SOUTH ROCHESTER ROAD & EDDINGTON BOULEVARD
CITY OF ROCHESTER HILLS
OAKLAND COUNTY, MICHIGAN



SCALE: 1" = 20' PROJECT ID: M-17261
TITLE: LANDSCAPING PLAN
DRAWING: C-6
CITY FILE #: 18-003



TREE #	D.B.H	CANOPY RADIUS	BOTANICAL NAME	COMMON NAME	CONDITION	COMMENTS	(N) NOT REGULATED (S = SIZE C = CONDITION)	REMOVED
550	15	10	PICEA PUNGENS	COLORADO SPRUCE	FAIR	- THINNING CROWN		Y
551	21	25	ACER PLATANOIDES	NORWAY MAPLE	GOOD			Y
552	15	15	PICEA PUNGENS	COLORADO SPRUCE	FAIR	- THINNING CROWN AND UTILITY PRUNED		Y
553	8	10	MALUS SPP.	APPLE / CRABAPPLE	FAIR	- CONTORTED CROWN		Y
554	7	10	MALUS SPP.	APPLE / CRABAPPLE	FAIR	- CONTORTED CROWN		Y
555	7 / 5 / 5	10	MALUS SPP.	APPLE / CRABAPPLE	FAIR	- CONTORTED CROWN		Y
556	38	40	ACER SACCHARINUM	SILVER MAPLE	GOOD			Y
557	3 / 3 / 3 / 3	10	MALUS SPP.	APPLE / CRABAPPLE	FAIR	- CONTORTED CROWN	N (S)	Y
558	6 / 4	10	MALUS SPP.	APPLE / CRABAPPLE	FAIR	- CONTORTED CROWN		Y
559	4 / 4 / .	10	MALUS SPP.	APPLE / CRABAPPLE	FAIR	- CONTORTED CROWN	N (S)	Y
560	6 / 4 / 4 / .	10	MALUS SPP.	APPLE / CRABAPPLE	FAIR	- CONTORTED CROWN		Y
561	7 / 6 / .	10	MALUS SPP.	APPLE / CRABAPPLE	FAIR	- CONTORTED CROWN		Y
562	6 / 6	10	MORUS SPP.	MULBERRY	FAIR	- POOR CROTCH		Y
563	17	20	PICEA ABIES	NORWAY SPRUCE	FAIR	- THINNING CROWN		Y
564	10	10	ACER SACCHARUM	SUGAR MAPLE	GOOD			Y
565	9	10	ACER PLATANOIDES	NORWAY MAPLE	GOOD			Y
566	14	15	PICEA ABIES	NORWAY SPRUCE	FAIR	- THINNING CROWN		Y
567	7	10	MORUS SPP.	MULBERRY	FAIR	- CONTORTED CROWN		Y
568	7	10	MORUS SPP.	MULBERRY	FAIR	- CONTORTED CROWN		Y
569	8 / 7	10	MORUS SPP.	MULBERRY	FAIR	- POOR CROTCH		Y
570	19	20	PICEA ABIES	NORWAY SPRUCE	FAIR	- THINNING CROWN		Y
571	30	25	ACER PLATANOIDES	NORWAY MAPLE	POOR	- HALF DEAD AND FALLING APART	N (C)	Y
572	23	25	PICEA ABIES	NORWAY SPRUCE	GOOD			Y
573	22	25	PICEA ABIES	NORWAY SPRUCE	FAIR	- POOR CROTCH		Y
574	19	20	PICEA ABIES	NORWAY SPRUCE	GOOD			Y
575	11	10	PICEA PUNGENS	COLORADO SPRUCE	FAIR	- I-SIDED CROWN		Y
576	19 / 13	20	ACER PLATANOIDES	NORWAY MAPLE	FAIR	- POOR CROTCH		Y
577	9	10	TILIA AMERICANA	AMERICAN LINDEN	FAIR	- CONTORTED CROWN		Y
578	23	25	ACER PLATANOIDES	NORWAY MAPLE	GOOD			Y
579	12	15	JUGLANS SPP.	WALNUT	GOOD			Y
580	11	15	JUGLANS SPP.	WALNUT	GOOD			Y
581	11	15	JUGLANS SPP.	WALNUT	GOOD			Y
582	24	25	MALUS SPP.	APPLE / CRABAPPLE	FAIR	- DECLINING		Y
583	15	15	ACER PLATANOIDES	NORWAY MAPLE	FAIR	- SCARRED TRUNK		Y
584	13	15	MORUS SPP.	MULBERRY	FAIR	- POOR CROTCH		Y
585	3 / 3 / .	10	JUNIPERUS SPP.	JUNIPER	FAIR	- POOR CROTCH	N (S)	Y
586	8 / 4	10	JUGLANS REGIA	ENGLISH WALNUT	FAIR	- POOR CROTCH		Y
587	9	10	TILIA AMERICANA	AMERICAN LINDEN	FAIR	- VINE-CHOKED		Y
588	10	10	PYRUS DOMESTICA	PEAR	GOOD			Y
589	19 / 11 / 9 / 8	20	ACER PLATANOIDES	NORWAY MAPLE	FAIR	- POOR CROTCH		Y
590	5 / 5 / 4 / 4	10	ACER NEGUNDO	BOXELDER	FAIR	- POOR CROTCH	N (S)	Y
N/A	22"	N/A	PLATANUS ACERIFOLIA 'MORTON THORNHILL'	EXCLAMATION PLANETREE	GOOD	5 TOTAL TREES	N (S)	Y
N/A	3"	N/A	ULMUS AMERICAN 'PRINCETON'	PRINCETON ELM	GOOD	5 TOTAL TREES	N (S)	N
N/A	2"	N/A	QUERCUS X LONG	REGAL PRINCE OAK	GOOD	17 TOTAL TREES	N (S)	Y

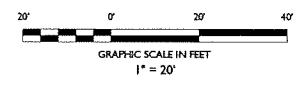
TREE REPLACEMENT REQUIREMENT

RIGHT-OF-WAY TREES REMOVED: 3

REGULATED TREES REMOVED (OVER 6" D.B.H): 32

TOTAL TREES REMOVED: 35

A MONETARY CONTRIBUTION TO CITY OF ROCHESTER HILLS TREE FUND WILL BE PROVIDED BY THE APPLICANT.



ISSUE	DATE	BY	DESCRIPTION
3	03/02/2018	MTP	FOR CITY COMMENTS
2	01/08/2018	MTP	SITE PLAN REVIEW
1	12/15/2017	MTP	FOR CLIENT REVIEW

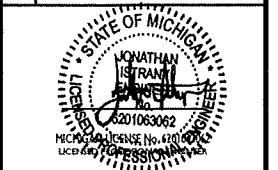
NOT APPROVED FOR CONSTRUCTION

SITE DEVELOPMENT PLANS

FIRST STATE BANK

PROPOSED BANK WITH DRIVE-UP ATM

PARCEL ID: 16-23-308-039
SOUTH ROCHESTER ROAD & EDDINGTON BOULEVARD
CITY OF ROCHESTER HILLS
OAKLAND COUNTY, MICHIGAN



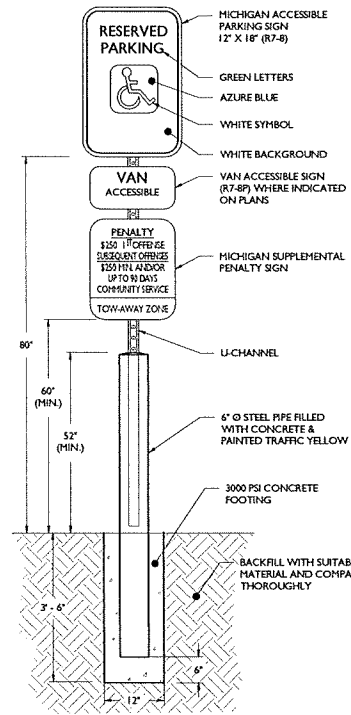
SCALE: 1" = 20'

PROJECT ID: M-17262

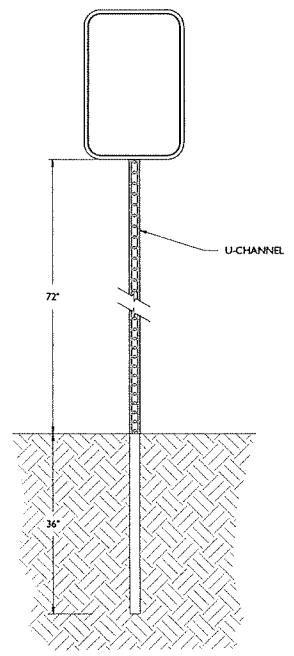
TITLE: **TREE SURVEY**

DRAWING: **C-7**

CITY FILE #: 18-001



ACCESSIBLE PARKING SIGN WITH BOLLARD DETAIL
NOT TO SCALE

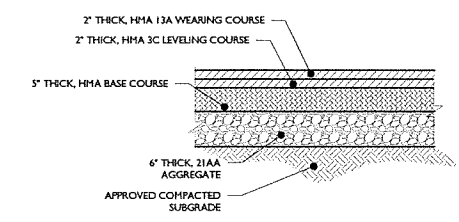


SIGN POST DETAIL
NOT TO SCALE

M.U.T.C.D. NUMBER	TEXT	COLOR		SIZE OF SIGN (WIDTH X HEIGHT)	TYPE OF MOUNT
		LEGEND	BACKGROUND		
STOP SIGN (R1-1)		RED	WHITE	36"x36"	GROUND
DO NOT ENTER (R5-1)		RED	WHITE	30"x30"	GROUND

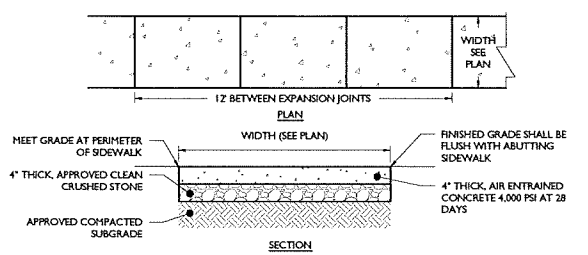
NOTE:
1. ALL SIGNS SHALL BE IN ACCORDANCE WITH THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), EXCEPT AS NOTED.
2. ALL SIGNS SHALL BE MOUNTED AS TO NOT OBSTRUCT THE SHAPE OF "STOP" (R1-1) AND "YIELD" (R1-2) SIGNS.

SIGN DATA TABLE
NOT TO SCALE



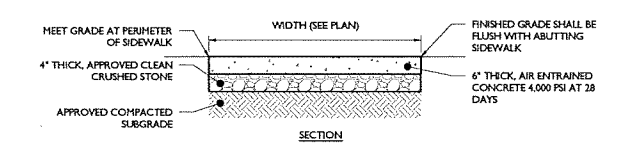
FULL DEPTH ASPHALT DRIVEWAY DETAIL
NOT TO SCALE

NOTE:
HMA MIX AND DENSE GRADED AGGREGATE SHALL CONFORM TO STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.



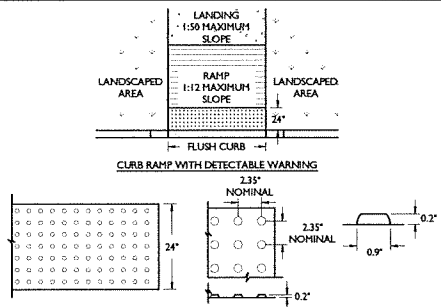
CONCRETE WALKWAY DETAIL
NOT TO SCALE

NOTES:
1. MAXIMUM CROSS SLOPE SHALL BE 1/4" PER FOOT.
2. 1/2" EXPANSION JOINTS SHALL BE PROVIDED AT 12' INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/2" FROM THE SURFACE.
3. 1" DEEP BY 1/2" WIDE, TOOLED CONTRACTION JOINTS SHALL BE PROVIDED AT 4' INTERVALS.
4. EXPANSION JOINT SHALL BE PROVIDED WHERE ADJACENT TO A BUILDING.



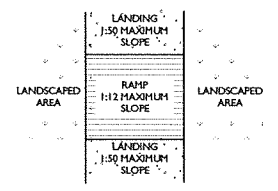
CONCRETE WALKWAY DETAIL (FOR USE AT RAMPS AND DRIVEWAYS)
NOT TO SCALE

NOTES:
1. MAXIMUM CROSS SLOPE SHALL BE 1/4" PER FOOT.
2. 1/2" EXPANSION JOINTS SHALL BE PROVIDED AT 12' INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/2" FROM THE SURFACE.
3. 1" DEEP BY 1/2" WIDE, TOOLED CONTRACTION JOINTS SHALL BE PROVIDED AT 4' INTERVALS.
4. EXPANSION JOINT SHALL BE PROVIDED WHERE ADJACENT TO A BUILDING.



CURB RAMP DETAIL
NOT TO SCALE

NOTES:
1. CROSS SLOPE ON RAMP SHALL NOT EXCEED 2%.
2. A FLUSH CURB SHALL HAVE A MINIMUM WIDTH OF 36". SEE PLAN FOR EXACT WIDTH.
3. DOMES SHALL BE ALIGNED ON A SQUARE GRID IN THE PREDOMINANT DIRECTION OF TRAVEL TO PERMIT WHEELS TO ROLL BETWEEN DOMES.
4. VISUAL CONTRAST: THERE SHALL BE A MINIMUM OF 70% CONTRAST IN LIGHT REFLECTANCE BETWEEN THE DETECTABLE WARNING AND AN ADJOINING SURFACE.
5. DETECTABLE WARNING STRIP REQUIRED WHERE RAMP DIRECTS PEDESTRIAN TRAFFIC TOWARDS VEHICLE TRAVEL WAY. WARNING STRIP SHALL BE CAST-IN-PLACE.
6. RAMP SHALL HAVE A MAXIMUM RISE OF 6" WITHOUT A HANDRAIL.



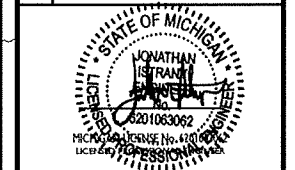
RAMP DETAIL
NOT TO SCALE

NOTES:
1. CROSS SLOPE ON RAMP SHALL NOT EXCEED 2%.
2. RAMP SHALL HAVE A MAXIMUM RISE OF 6" WITHOUT A HANDRAIL.

ISSUE	DATE	BY	DESCRIPTION
1	12/15/2017	MTP	FOR CLIENT REVIEW
2	01/09/2018	MTP	SITE PLAN REVIEW
3	03/02/2018	MTP	FOR CITY COMMENTS

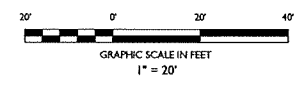
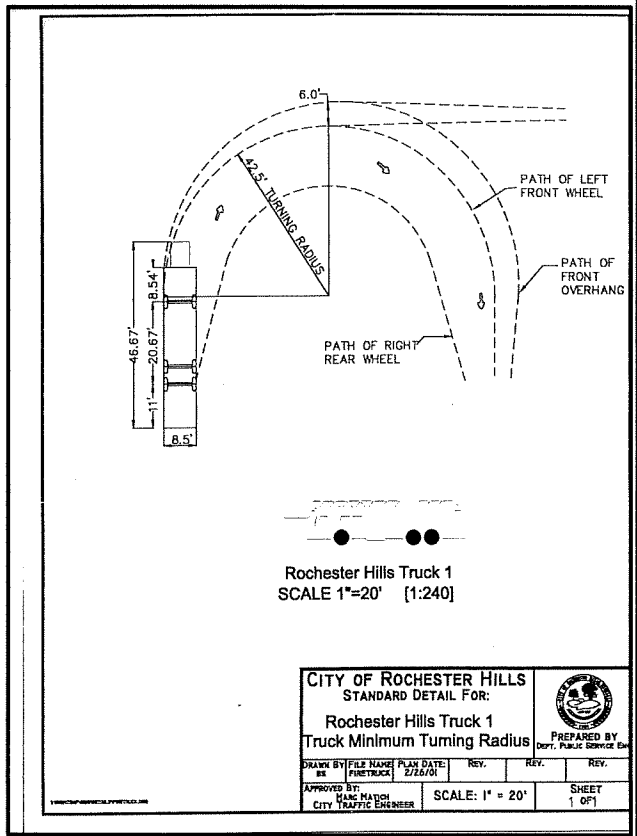
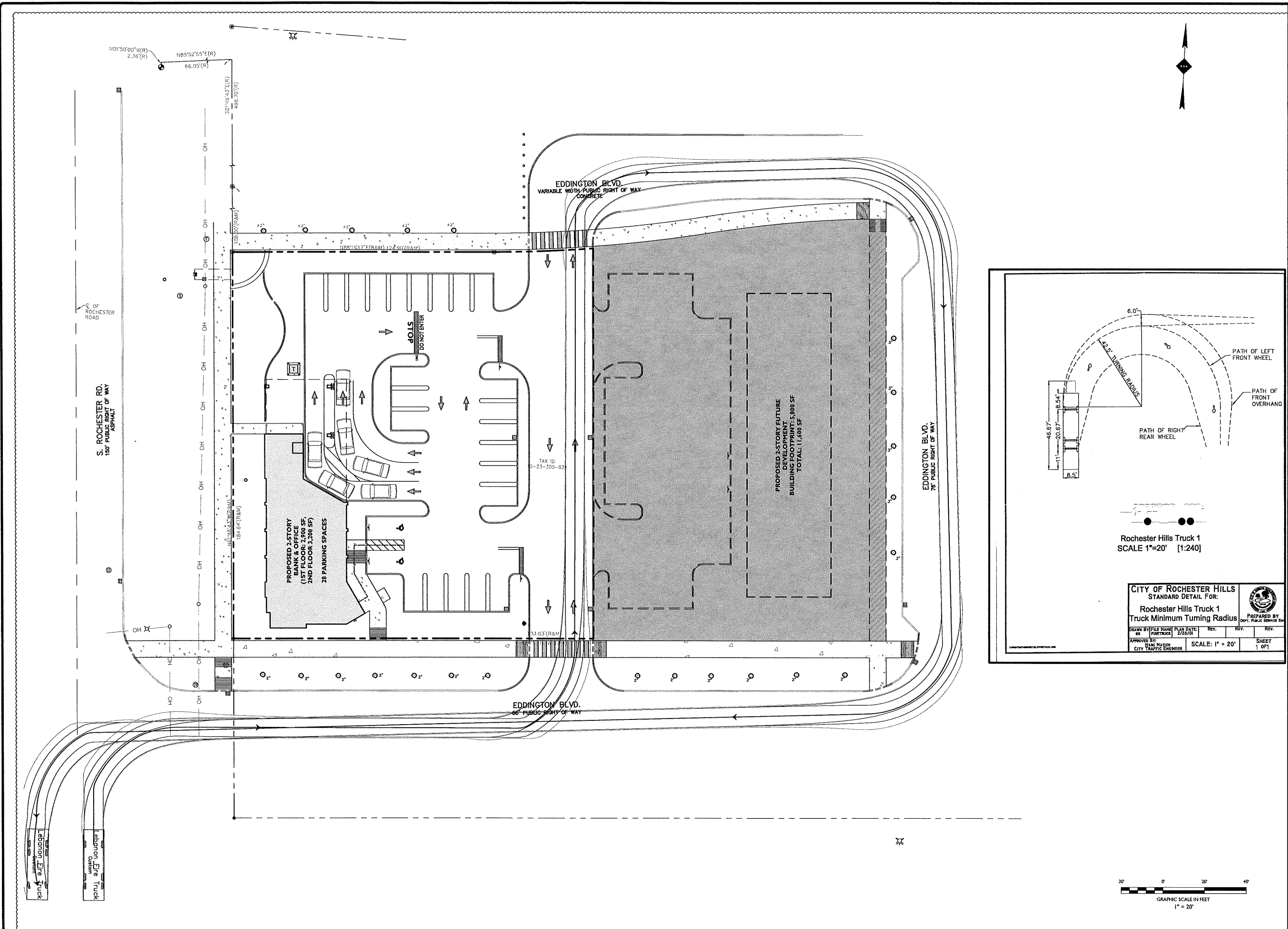
NOT APPROVED FOR CONSTRUCTION

SITE DEVELOPMENT PLANS
FIRST STATE BANK
PROPOSED BANK WITH DRIVE-UP ATM
PARCEL ID: 16-23-308-039
SOUTH ROCHESTER ROAD & EDDINGTON BOULEVARD
CITY OF ROCHESTER HILLS
OAKLAND COUNTY, MICHIGAN



SCALE: AS SHOWN PROJECT ID: M-17262
TITLE: **CONSTRUCTION DETAILS**
DRAWING: **C-8**
CITY FILE #: 18-003

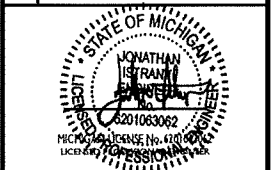
V:\2017\17-01-ROCHESTER RD AND EDDINGTON BLVD\DWG\17-01-ROCHESTER RD AND EDDINGTON BLVD\17-01-ROCHESTER RD AND EDDINGTON BLVD.dwg



ISSUE	DATE	BY	DESCRIPTION
3	03/02/2018	MTP	FOR CITY COMMENTS
2	01/09/2018	MTP	SITE PLAN REVIEW
1	12/15/2017	MTP	FOR CLIENT REVIEW

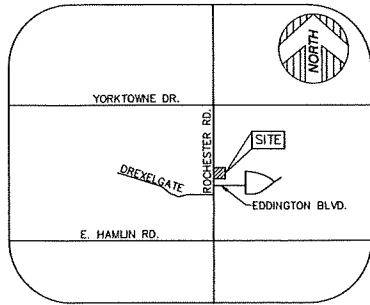
NOT APPROVED FOR CONSTRUCTION

SITE DEVELOPMENT PLANS
FIRST STATE BANK
PROPOSED BANK WITH DRIVE-UP ATM
 PARCEL ID: 15-23-106-029
 150' S. ROCHESTER RD. & EDDINGTON BOULEVARD
 CITY OF ROCHESTER HILLS
 OAKLAND COUNTY, MICHIGAN

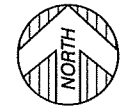


SCALE: 1" = 20' PROJECT ID: M-17261
 TITLE:
FIRE TRUCK CIRCULATION PLAN
 DRAWING:
C-9
 CITY FILE #: 18-003

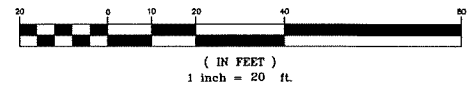
TOPOGRAPHIC SURVEY



VICINITY MAP
(NOT TO SCALE)



GRAPHIC SCALE



PARCEL AREA
±57,168 SQUARE FEET = ±1.31 ACRES

BASIS OF BEARING
NORTH 01°48'43" WEST, BEING THE WESTERLY LINE OF ROCHESTER ROAD, AS DESCRIBED.

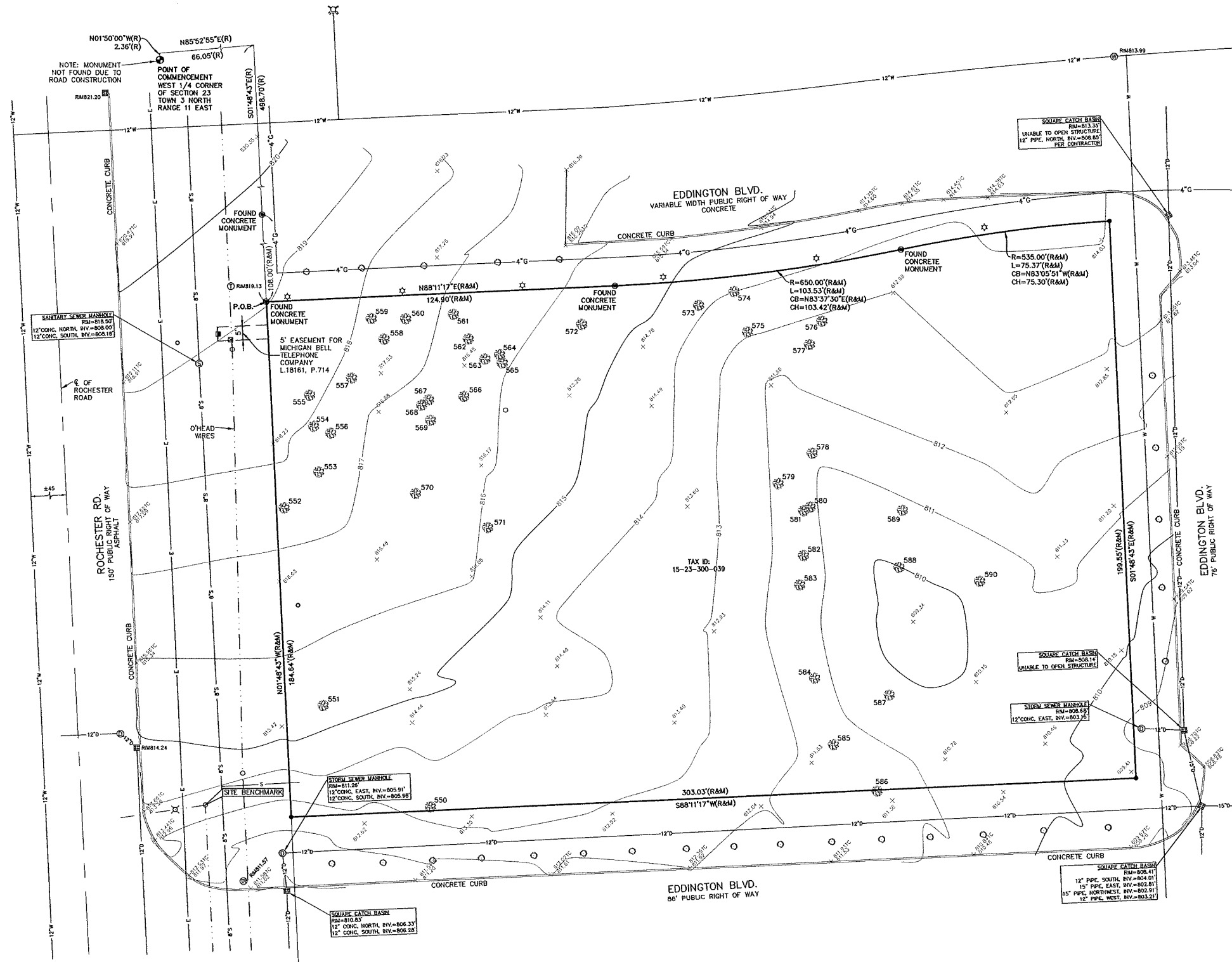
BENCHMARK
NORTHEAST BOLT ON STRAIN POLE NEAR THE SOUTHWEST PROPERTY CORNER
ELEVATION = 813.95 (NAVD88)

SURVEYOR'S NOTES

- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES OTHER THAN THE STRUCTURE INVENTORY SHOWN HEREON.
- EDDINGTON BOULEVARD UNDER CONSTRUCTION AT TIME OF SURVEY.

LEGEND

●	SET 1/2" REBAR WITH CAP P.S. 47976
⊙	FOUND MONUMENT (AS NOTED)
⊙	FOUND SECTION CORNER (AS NOTED)
(R&M)	RECORD AND MEASURED DIMENSION
(R)	RECORD DIMENSION
(M)	MEASURED DIMENSION
⊙	GROUND POINT
⊙	ELECTRIC METER
⊙	UTILITY POLE
⊙	TELEPHONE MANHOLE
⊙	TELEPHONE RISER
⊙	TRAFFIC SIGNAL
⊙	TRAFFIC SIGNAL MANHOLE
⊙	SQUARE CATCH BASIN
⊙	STORM DRAIN MANHOLE
⊙	LIGHTPOST/LAMP POST
⊙	TREE
⊙	STREET TREES
⊙	UNDERGROUND FIBER OPTIC MARKER
---	PARCEL BOUNDARY LINE
---	ADJOINER PARCEL LINE
---	SECTION LINE
---	CENTERLINE ROAD
---	CONCRETE CURB
---	EDGE OF CONCRETE (CONC.)
---	OVERHEAD UTILITY LINE
G	GAS LINE
S	SANITARY LINE
D	STORM LINE
W	WATER LINE
---	CONTOUR MAJOR
---	CONTOUR MINOR



PROPERTY DESCRIPTION

LAND SITUATED IN THE CITY OF ROCHESTER HILLS, COUNTY OF OAKLAND, STATE OF MICHIGAN, AND DESCRIBED AS FOLLOWS:
TOWN 3 NORTH, RANGE 11 EAST, SECTION 23. PART OF THE SOUTHWEST 1/4 BEGINNING AT POINT DISTANCE NORTH 01 DEGREES 50 MINUTES 00 SECONDS WEST 2.36 FEET AND NORTH 85 DEGREES 52 MINUTES 55 SECONDS EAST 66.05 FEET AND SOUTH 01 DEGREES 48 MINUTES 43 SECONDS EAST 498.70 FEET FROM WEST 1/4 CORNER, THENCE NORTH 88 DEGREES 11 MINUTES 17 SECONDS EAST 124.90 FEET, THENCE ALONG CURVE TO LEFT, RADIUS 650 FEET, CHORD BEARS NORTH 83 DEGREES 37 MINUTES 30 SECONDS EAST 103.42 FEET, DISTANCE OF 103.53 FEET, THENCE ALONG CURVE TO RIGHT, RADIUS 535 FEET, CHORD BEARS NORTH 83 DEGREES 05 MINUTES 51 SECONDS EAST 75.30 FEET, DISTANCE OF 75.37 FEET, THENCE SOUTH 01 DEGREES 48 MINUTES 43 SECONDS EAST 199.55 FEET, THENCE SOUTH 88 DEGREES 11 MINUTES 17 SECONDS WEST 303.03 FEET, THENCE NORTH 01 DEGREES 48 MINUTES 43 SECONDS WEST 184.64 FEET TO BEGINNING.

TITLE REPORT NOTE

ONLY THOSE EXCEPTIONS CONTAINED WITHIN THE ATA NATIONAL TITLE GROUP, LLC, FILE NO. 63-17527726-GOM, DATED JULY 12, 2017, AND LISTED BELOW WERE CONSIDERED FOR THIS SURVEY. NO OTHER RECORDS RESEARCH WAS PERFORMED BY THE CERTIFYING SURVEYOR.
9. AGREEMENT AND THE TERMS AND CONDITIONS THEREOF BETWEEN 1001 SERVICES, INC., A MICHIGAN CORPORATION, AND EDDINGTON PROPERTY OWNERS ASSOCIATION, A MICHIGAN NON-PROFIT CORPORATION, RECORDED IN LIBER 12925, PAGE 29 AND IN LIBER 13982, PAGE 285, OAKLAND COUNTY RECORDS. NOTE: THIS ITEM WILL BE DELETED UPON CONFIRMATION THAT EDDINGTON BLVD. HAS BEEN RELOCATED. (SEE DOCUMENTS FOR TERMS AND CONDITIONS)
14. EASEMENT GRANTED TO MICHIGAN BELL TELEPHONE COMPANY RECORDED IN LIBER 8161, PAGE 714, OAKLAND COUNTY RECORDS. (AS SHOWN)
23. TERMS, CONDITIONS AND PROVISIONS RECITED IN ROAD RIGHT-OF-WAY CONVEYANCE, REALIGNMENT AND CONSTRUCTION AGREEMENT RECORDED IN LIBER 50223, PAGE 872, OAKLAND COUNTY RECORDS. (SEE DOCUMENT FOR TERMS AND CONDITIONS)
24. TERMS, CONDITIONS AND PROVISIONS RECITED IN RESTRICTIVE COVENANT RECORDED IN LIBER 50223, PAGE 885, OAKLAND COUNTY RECORDS. (SEE DOCUMENTS FOR TERMS AND CONDITIONS)

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT I HAVE SURVEYED THE PROPERTY HEREIN DESCRIBED. THE ELEVATIONS SHOWN HEREON ARE BASED ON A FIELD SURVEY AND THE DRAWING HEREON DELINEATED IS A CORRECT REPRESENTATION OF THE SAME.
ANTHONY T. SYCKO, JR., P.S.
PROFESSIONAL SURVEYOR
MICHIGAN LICENSE NO. 47976

REVISED DECEMBER 29, 2017 - TREE SURVEY UPDATE

KEM-TEC & ASSOCIATES
PROFESSIONAL SURVEYORS - PROFESSIONAL ENGINEERS
22556 GRATIOT AVE • EASTPONTE, MICHIGAN 48021
(586)772-2222 • (800)295-7222 • FAX (586)772-4048

CERTIFIED TO: FIRST STATE BANK AND ATA NATIONAL TITLE GROUP, LLC	
DATE: NOVEMBER 02, 2017	JOB #: 17-04145
SCALE: 1" = 20'	SHEET: 1 OF 1
DRAWN BY: BA SJG JDM	REV: DECEMBER 29, 2017

FIRST STATE BANK ROCHESTER BRANCH

N ROCHESTER RD. ROCHESTER HILLS, MI 48307

ARCHITECT:
STUCKY VITALE ARCHITECTS
27172 WOODWARD AVENUE
ROYAL OAK, MICHIGAN 48067
(248) 546-6700

MEP ENGINEER:
STRATEGIC ENERGY SOLUTIONS INC.
4000 W ELEVEN MILE RD
BERKLEY, MI 48072
(248) 399-1900

STRUCTURAL ENGINEER
PARADIS ASSOCIATES, INC
604 W. UNIVERSITY DR.
ROCHESTER, MI 498307
CONTACT: MICHAEL PARADIS
PHONE: 248.650.4905

CIVIL ENGINEER
STONEFIELD ENGINEERING + DESIGN
28454 WOODWARD AVENUE,
ROYAL OAK, MI 48067
PHONE: 248.247.1115

PROJECT DATA
BUILDING CODE AUTHORITY:
CITY OF ROCHESTER HILLS

OWNER:
FIRST STATE BANK
24300 LITTLE MACK
ST. CLAIR SHORES, MI 48090

TYPE OF CONSTRUCTION:
V B

USE GROUP:
B (BUSINESS) - (BANK)

PROJECT AREA:
FIRST LEVEL 3038 GSF / 2695 NSF
SECOND LEVEL 4462 GSF / 3345 NSF
TOTAL 7500 GSF / 6040 NSF

OCCUPANT LOAD:
75 (CALCULATED)

EGRESS WIDTH:
REQUIRED (2" PER OCCUPANT) = 15"
PROVIDED = 36" x 2 DOORS = 72"

PLUMBING FIXTURE COUNTS:
SEE TABLE BELOW.

APPLICABLE CODES: (COMMERCIAL):
BUILDING CODE:
2015 MICHIGAN REHABILITATION FOR EXISTING BUILDING
2015 MICHIGAN BUILDING CODE (MBC) AS AMENDED

MECHANICAL CODE:
2015 MICHIGAN MECHANICAL CODE AS AMENDED

PLUMBING CODE:
2015 MICHIGAN PLUMBING CODE AS AMENDED

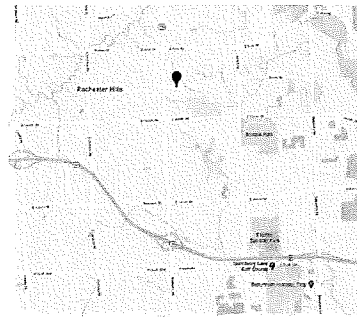
ELECTRICAL CODE:
2014 NATIONAL ELECTRIC CODE (NEC) AS AMENDED & MICHIGAN
AMMENDMENTS PART 8.

ENERGY CODE:
2015 MICHIGAN BUILDING CODE (CHAPTER 13)
2009 MICHIGAN UNIFORM ENERGY CODE
ASHRAE 90.1-2013 ENERGY STANDARDS FOR BUILDINGS

FIRE CODE:
2015 INTERNATIONAL FIRE CODE REFERENCED IN 2015 MICHIGAN
BUILDING CODE

BARRIER FREE REQUIREMENTS:
2010 ADA STANDARDS FOR ACCESSIBLE DESIGN (DOJ)
MBC-2012 (CHAPTER 11)
ICC / ANSI 117.1 - 2009, EXCEPT SECTION 611 & 707

LIFE SAFETY CODES:
2015 NFPA 101 LIFE SAFETY CODE
2013 NFPA 13 STANDARD FOR INSTALLATION OF SPRINKLER SYSTEMS
2013 NFPA 72 NATIONAL FIRE ALARM CODE

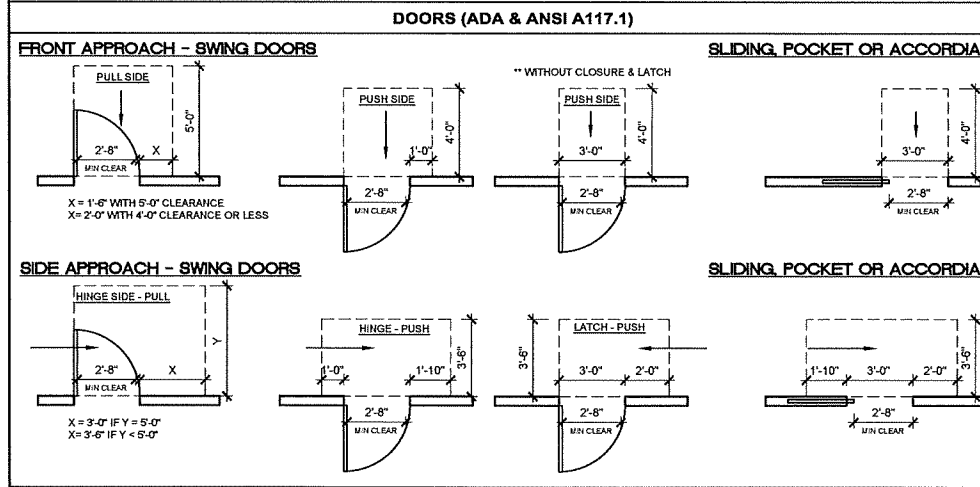


VICINITY MAP
SCALE: N.T.S.

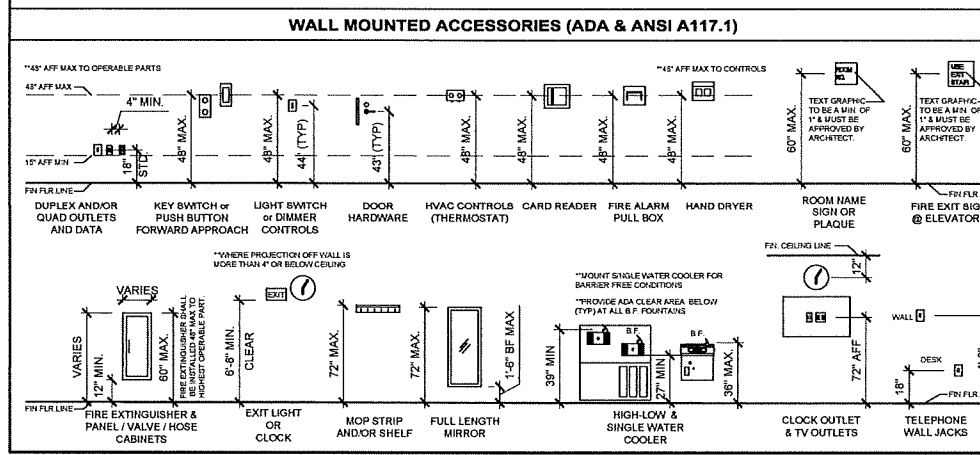
SHEET INDEX		ISSUED FOR
DRAWING INDEX KEY:		
□	NOT ISSUED	12-15-17 SITE PLAN REVIEW 03.02.18 CITY COMMENTS
◻	PREVIOUSLY ISSUED	
■	ISSUED	
⊠	REFERENCE	
GENERAL		
TS1.1	TITLE SHEET AND SHEET INDEX AND LOCATOR PLAN	
ARCHITECTURAL		
SP1.1	ARCHITECTURAL SITE PLAN	
A1.1	FIRST LEVEL FLOOR PLAN	
A1.2	SECOND LEVEL FLOOR PLAN	
A3.1	EXTERIOR ELEVATIONS	
A3.2	EXTERIOR RENDERINGS	
1 of 1	PHOTOMETRIC PLAN	

NOTE:
THESE CONSTRUCTION DRAWINGS WERE PREPARED FOR COMPLIANCE WITH THE MICHIGAN CONSTRUCTION CODES IN EFFECT AT THE TIME OF PERMIT SUBMITTAL. ALL ENGINEERS, CONTRACTORS AND SUPPLIERS INVOLVED WITH THIS PROJECT SHALL COMPLY WITH THE SAME CODES, ISSUED AND APPROVED CODE MODIFICATIONS AND/OR CITY CODE AUTHORITY CONSTRUCTION BOARDS OF APPEALS RULINGS AND WHENEVER REQUIRED SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS CLEARLY DESCRIBING COMPLIANCE TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR REVIEW AND APPROVAL.

MINIMUM CLEARANCES FOR MANUAL DOORS



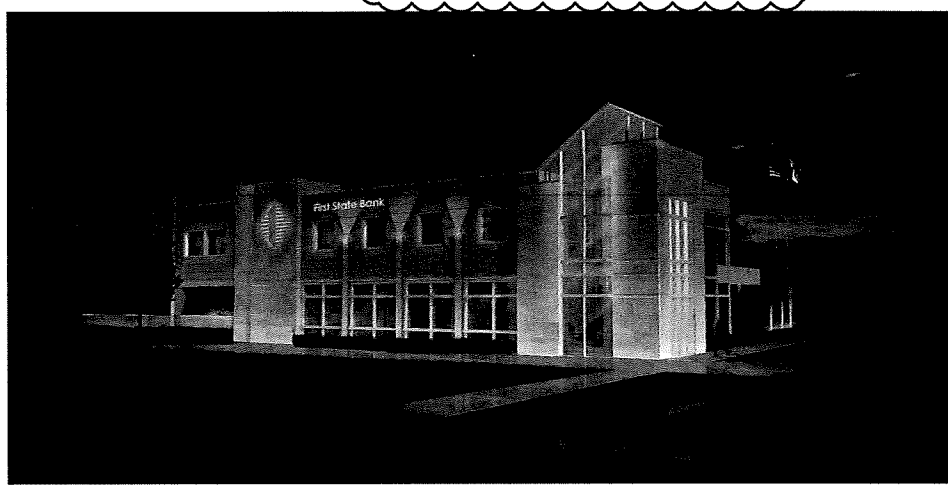
TYPICAL MOUNTING HEIGHT SCHEDULE



SYMBOL LEGEND		ABBREVIATION
◊	DARKENED ARROW INDICATES ELEVATED SECTION	@ ACCOUST. ACoustical
—	ELEVATION NUMBER	A.C.T. ADJACENT
A-X	SHEET NUMBER WHERE ELEVATION IS LOCATED	A.F.F. ABOVE FINISH FLOOR
—	ELEVATION NUMBER	ALUM. ALUMINUM
A-X	SHEET NUMBER WHERE ELEVATION IS LOCATED	ANOD. ANODIZED
—	ELEVATION NUMBER	B.D. BOARD
A-X	SHEET NUMBER WHERE ELEVATION IS LOCATED	BLOG. BLOCK
—	ELEVATION NUMBER	BLKG. BLOCKING
A-X	SHEET NUMBER WHERE ELEVATION IS LOCATED	CEM. CEMENT
—	ELEVATION NUMBER	C.I. CONTROL JOINT
A-X	SHEET NUMBER WHERE ELEVATION IS LOCATED	CLG. CEILING
—	ELEVATION NUMBER	☉ CENTER LINE
A-X	SHEET NUMBER WHERE ELEVATION IS LOCATED	C.O. CLEAN OUT
—	ELEVATION NUMBER	COL. COLUMN
A-X	SHEET NUMBER WHERE ELEVATION IS LOCATED	CONC. CONCRETE
—	ELEVATION NUMBER	C.G. CORNER GUARD
A-X	SHEET NUMBER WHERE ELEVATION IS LOCATED	CONST. CONSTRUCTION
—	ELEVATION NUMBER	CONT. CONTINUOUS
A-X	SHEET NUMBER WHERE ELEVATION IS LOCATED	CORR. CORRUGATED
—	ELEVATION NUMBER	CPT. CARPET
A-X	SHEET NUMBER WHERE ELEVATION IS LOCATED	C.T. CERAMIC TILE
—	ELEVATION NUMBER	DET. DETAIL
A-X	SHEET NUMBER WHERE ELEVATION IS LOCATED	DIA. DIAMETER
—	ELEVATION NUMBER	DM. DIMENSION
A-X	SHEET NUMBER WHERE ELEVATION IS LOCATED	DN. DOWN
—	ELEVATION NUMBER	D.O. DOOR OPENING
A-X	SHEET NUMBER WHERE ELEVATION IS LOCATED	DR. DRAWING
—	ELEVATION NUMBER	DWG. DRAWING
A-X	SHEET NUMBER WHERE ELEVATION IS LOCATED	EA. EACH
—	ELEVATION NUMBER	ELEV. ELEVATION
A-X	SHEET NUMBER WHERE ELEVATION IS LOCATED	E.W. EACH WAY
—	ELEVATION NUMBER	EXG. EXISTING
A-X	SHEET NUMBER WHERE ELEVATION IS LOCATED	EXIST. EXISTING
—	ELEVATION NUMBER	EXP. EXPANSION, EXPOSED
A-X	SHEET NUMBER WHERE ELEVATION IS LOCATED	EXT. EXTERIOR
—	ELEVATION NUMBER	F.D. FLOOR DRAIN
A-X	SHEET NUMBER WHERE ELEVATION IS LOCATED	FDN. FOUNDATION
—	ELEVATION NUMBER	F.R.P. FIBER REINFORCED PANELS
A-X	SHEET NUMBER WHERE ELEVATION IS LOCATED	FIN. FINISH
—	ELEVATION NUMBER	FLR. FLOOR
A-X	SHEET NUMBER WHERE ELEVATION IS LOCATED	F.O. FACE OF
—	ELEVATION NUMBER	F.O.S. FACE OF STUD
A-X	SHEET NUMBER WHERE ELEVATION IS LOCATED	FR. FRAME
—	ELEVATION NUMBER	FTG. FOOTING
A-X	SHEET NUMBER WHERE ELEVATION IS LOCATED	FV. FIELD VERIFY
—	ELEVATION NUMBER	GA. GALVANIZED
A-X	SHEET NUMBER WHERE ELEVATION IS LOCATED	GYP. GYPSUM
—	ELEVATION NUMBER	HDW. HARDWARE
A-X	SHEET NUMBER WHERE ELEVATION IS LOCATED	H.M. HOLLOW METAL
—	ELEVATION NUMBER	HORIZ. HORIZONTAL
A-X	SHEET NUMBER WHERE ELEVATION IS LOCATED	HT. HEIGHT
—	ELEVATION NUMBER	I.D. INSIDE DIAMETER
A-X	SHEET NUMBER WHERE ELEVATION IS LOCATED	INSUL. INSULATION
—	ELEVATION NUMBER	INT. INTERIOR
A-X	SHEET NUMBER WHERE ELEVATION IS LOCATED	JOINT JOINT
—	ELEVATION NUMBER	LAV. LAVATORY
A-X	SHEET NUMBER WHERE ELEVATION IS LOCATED	LG. LONG LEG OUTSTANDING
—	ELEVATION NUMBER	L.L.V. LONG LEG VERTICAL
A-X	SHEET NUMBER WHERE ELEVATION IS LOCATED	LL.V. LONG LEG VERTICAL
—	ELEVATION NUMBER	MAX. MAXIMUM
A-X	SHEET NUMBER WHERE ELEVATION IS LOCATED	MECH. MECHANICAL
—	ELEVATION NUMBER	MET. METAL
A-X	SHEET NUMBER WHERE ELEVATION IS LOCATED	MEZZ. MEZZANINE
—	ELEVATION NUMBER	M.I. MISCELLANEOUS IRON
A-X	SHEET NUMBER WHERE ELEVATION IS LOCATED	MINI. MINIMUM
—	ELEVATION NUMBER	MISC. MISCELLANEOUS
A-X	SHEET NUMBER WHERE ELEVATION IS LOCATED	M.O. MASONRY OPENING
—	ELEVATION NUMBER	NOT IN CONTR. NOT IN CONTRACT
A-X	SHEET NUMBER WHERE ELEVATION IS LOCATED	N.T.S. NOT TO SCALE
—	ELEVATION NUMBER	O.C. ON CENTER
A-X	SHEET NUMBER WHERE ELEVATION IS LOCATED	O.D. OUTSIDE DIAMETER
—	ELEVATION NUMBER	OPIG. OPENING
A-X	SHEET NUMBER WHERE ELEVATION IS LOCATED	OPP. OPPOSITE
—	ELEVATION NUMBER	PL. G. PLATE GLASS
A-X	SHEET NUMBER WHERE ELEVATION IS LOCATED	PL. S. PLATE STEEL
—	ELEVATION NUMBER	P.LAM. PLASTIC LAMINATE
A-X	SHEET NUMBER WHERE ELEVATION IS LOCATED	PLAS. PLASTER
—	ELEVATION NUMBER	PREFAB. PREFABRICATED
A-X	SHEET NUMBER WHERE ELEVATION IS LOCATED	PROJ. PROJECTION
—	ELEVATION NUMBER	P.S.F. POUNDS PER SQUARE FOOT
A-X	SHEET NUMBER WHERE ELEVATION IS LOCATED	PT. PAINT, POINT
—	ELEVATION NUMBER	R. RISER
A-X	SHEET NUMBER WHERE ELEVATION IS LOCATED	R.A. RETURN AIR
—	ELEVATION NUMBER	R.B. RUBBER BASE
A-X	SHEET NUMBER WHERE ELEVATION IS LOCATED	R.C. ROOF CONDUCTOR
—	ELEVATION NUMBER	R.C.P. REFLECTED CEILING PLAN
A-X	SHEET NUMBER WHERE ELEVATION IS LOCATED	R.D. ROOF DRAIN
—	ELEVATION NUMBER	R.F. RUBBER FLOORING
A-X	SHEET NUMBER WHERE ELEVATION IS LOCATED	REIN. REINFORCED, REINFORCING
—	ELEVATION NUMBER	REQD. REQUIRED
A-X	SHEET NUMBER WHERE ELEVATION IS LOCATED	RFG. ROOFING
—	ELEVATION NUMBER	RM. ROOM
A-X	SHEET NUMBER WHERE ELEVATION IS LOCATED	R.S. ROOM SUMP
—	ELEVATION NUMBER	R.T. RUBBER TILE
A-X	SHEET NUMBER WHERE ELEVATION IS LOCATED	SAN. SANITARY
—	ELEVATION NUMBER	SCHED. SCHEDULE
A-X	SHEET NUMBER WHERE ELEVATION IS LOCATED	SHT. SHEET
—	ELEVATION NUMBER	SIM. SIMILAR
A-X	SHEET NUMBER WHERE ELEVATION IS LOCATED	SPEC. SPECIFICATION
—	ELEVATION NUMBER	S.S. SERVICE SINK
A-X	SHEET NUMBER WHERE ELEVATION IS LOCATED	STL. STEEL
—	ELEVATION NUMBER	STD. STANDARD
A-X	SHEET NUMBER WHERE ELEVATION IS LOCATED	STOR. STORAGE
—	ELEVATION NUMBER	STRUCT. STRUCTURAL
A-X	SHEET NUMBER WHERE ELEVATION IS LOCATED	SUSP. SUSPENDED
—	ELEVATION NUMBER	SW. SWITCH
A-X	SHEET NUMBER WHERE ELEVATION IS LOCATED	SYM. SYMMETRICAL
—	ELEVATION NUMBER	T. TREAD
A-X	SHEET NUMBER WHERE ELEVATION IS LOCATED	T&B TOP AND BOTTOM
—	ELEVATION NUMBER	TEL. TELEPHONE
A-X	SHEET NUMBER WHERE ELEVATION IS LOCATED	TERR. TERRAZZO
—	ELEVATION NUMBER	T&G TONGUE AND GROOVE
A-X	SHEET NUMBER WHERE ELEVATION IS LOCATED	THK. THICK, THICKNESS
—	ELEVATION NUMBER	THRESH. THRESHOLD
A-X	SHEET NUMBER WHERE ELEVATION IS LOCATED	T.O.S. TOP OF STEEL
—	ELEVATION NUMBER	TYP. TYPICAL
A-X	SHEET NUMBER WHERE ELEVATION IS LOCATED	UNCUT UNDERCUT
—	ELEVATION NUMBER	UNO. UNLESS NOTED OTHERWISE
A-X	SHEET NUMBER WHERE ELEVATION IS LOCATED	V.B. VINYL BASE
—	ELEVATION NUMBER	V.C.T. VINYL COMPOSITION TILE
A-X	SHEET NUMBER WHERE ELEVATION IS LOCATED	V.I.F. VERIFY IN FIELD
—	ELEVATION NUMBER	W. WIDE
A-X	SHEET NUMBER WHERE ELEVATION IS LOCATED	VERT. VERTICAL
—	ELEVATION NUMBER	WARRIS. WATER CLOSET
A-X	SHEET NUMBER WHERE ELEVATION IS LOCATED	WD.WN. WOOD WINDOW
—	ELEVATION NUMBER	WT. WEIGHT
A-X	SHEET NUMBER WHERE ELEVATION IS LOCATED	WW.F. WELDED WIRE FABRIC

MATERIAL LEGEND

	ACOUSTICAL CEILING
	BATT/LOOSE INSULATION
	BLOCKING/ROUGH LUMBER - CONTINUOUS
	BLOCKING/ROUGH LUMBER
	CONCRETE
	FINISHED WOOD
	GLASS
	GYPSUM WALLBOARD
	MASONRY
	PARTICLE BOARD
	PLYWOOD



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STATE OF MICHIGAN
JOHN ANTHONY VITALE
ARCHITECT
No. 29086
LICENSED ARCHITECT

Project:
FIRST STATE BANK
ROCHESTER ROAD
BRANCH BANK + OFFICE

Issued for:
SITE PLAN REVIEW 12.15.17
CITY COMMENTS 03.02.18

Drawn by:
SMB

Checked by:
AJD

Sheet Title:
TITLE SHEET,
SHEET INDEX, +
LOCATOR PLAN

Project No.:
2017.039

Sheet No.:
TS1.1

DO NOT SCALE DRAWINGS

PARCEL INFORMATION:

PARCEL B: 1.31 ACRES
ZONED - FLEX BUSINESS - 2

MAX HEIGHT: 2 STORIES OR 30 FEET. THE MAXIMUM BUILDING HEIGHT SHALL BE 3 STORIES OR 45 FEET FOR DEVELOPMENT OR REDEVELOPMENT IN FB-2 AREAS WITH AT LEAST 100 FEET OF FRONTAGE ON ROCHESTER ROAD, PROVIDED THAT BUILDINGS EXCEEDING 2 STORIES IN HEIGHT ARE SET BACK AT LEAST 100 FEET FROM ANY SINGLE-FAMILY RESIDENTIAL ZONING DISTRICT LOCATED OUTSIDE OF A FORM-BASED OVERLAY DISTRICT AND 50 FEET FROM ANY OTHER CONVENTIONAL ZONING DISTRICT LOCATED OUTSIDE OF A FORM-BASED OVERLAY DISTRICT.

PARKING INFORMATION:

FLEX BUSINESS - 400 SF / PARKING SPACE PROVIDED
28 PARKING SPACES PROVIDED
11,200 SF ALLOWED
3 STACKING SPACES/ DRIVE THROUGH LANE
2 ACCESSIBLE SPACES PROVIDED
200% MAX PARKING FOR SF ALLOWANCE

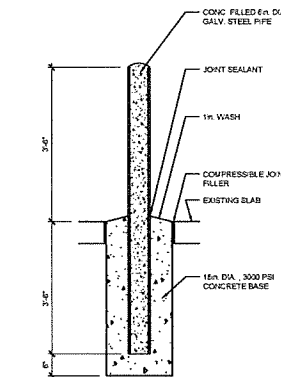
SET BACK INFORMATION:

ARTERIAL RD (ROCHESTER RD) - 15'-25' OR 70' SIDE AND REAR - 0'
MINIMUM 10' GREENBELT
2 DECIDUOUS TREES / 100 LINEAR FEET FOR 15 FT SETBACK
3 DECIDUOUS TREES FOR 70' SETBACK
40% BUILD TO LINE FACADE COVERAGE

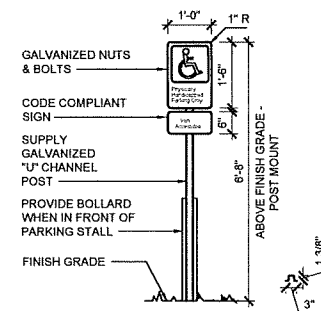
BUILDING INFORMATION:

2 STORY BANK AND OFFICE BUILDING
1ST FLOOR BANKING CENTER - 2700 NSF WITH DOUBLE HIGH LOBBY AREA
2ND FLOOR OFFICE AREA - 3,350 NSF

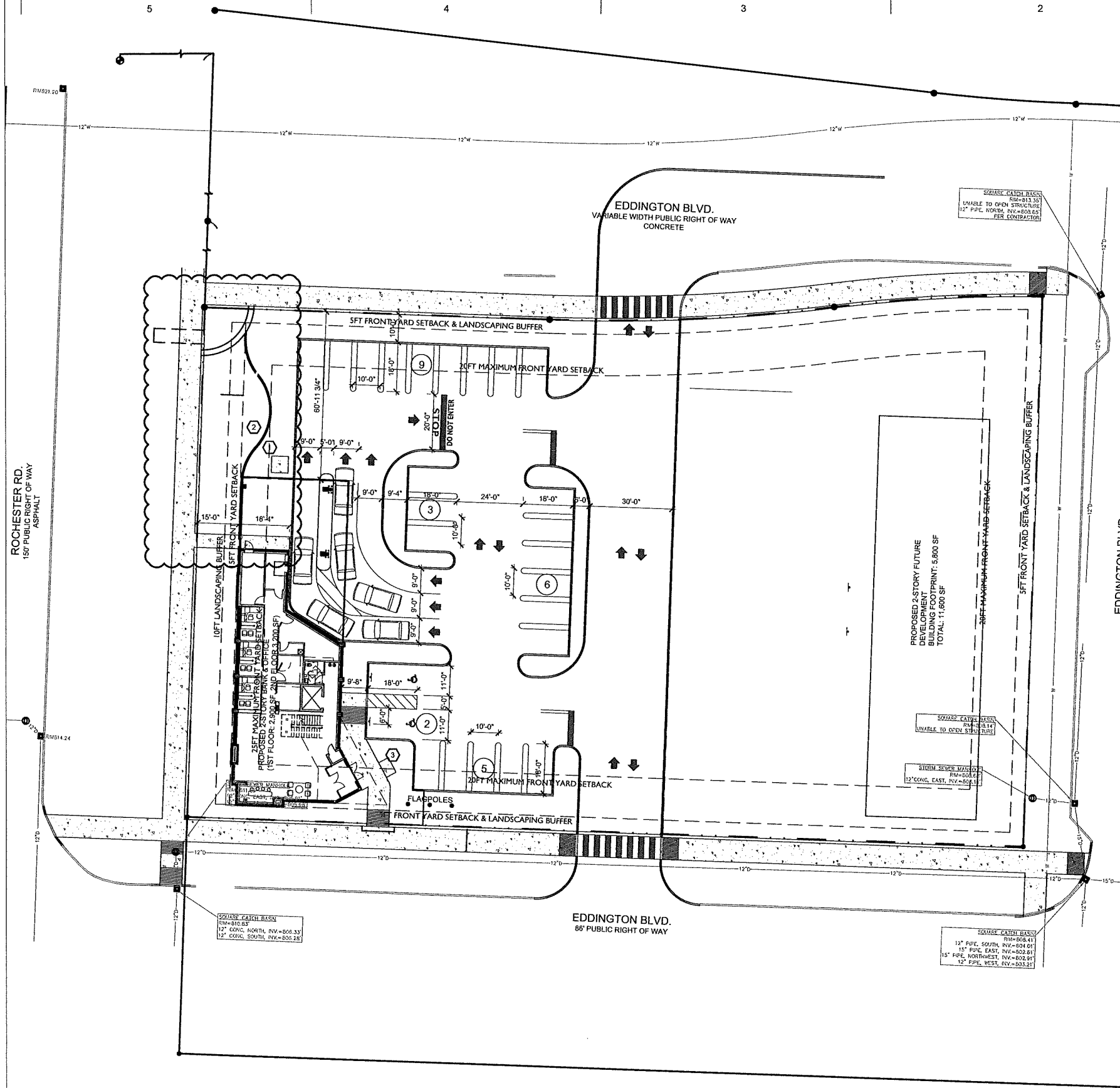
SHADED AREA - FUTURE DEVELOPMENT



GUARD POST
AX.X SCALE: 1/2" = 1'-0"



SIGNAGE DETAIL
AX.X SCALE: 1/2" = 1'-0"



GENERAL SITE PLAN NOTES:

- PAVEMENT SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTION AS INDICATED ON THE PLANS AND AS FOLLOWS:
- CONCRETE: PORTLAND CEMENT TYPE IA (AIR-ENTRAINED) WITH A MINIMUM CEMENT CONTENT OF SIX SACKS PER CUBIC YARD, MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI AND A SLUMP OF 1 1/2 TO 3 INCHES.
- ASPHALT: BASE COURSE - MDT BITUMINOUS MIXTURE NO. 1100L, 20AA; SURFACE COURSE - MDT BITUMINOUS MIXTURE NO. 1100T, 20AA; ASPHALT CEMENT PENETRATION GRADE 85-100, BOND COAT - MDT SS-1H EMULSION AT 0.10 GALLON PER SQUARE YARD; MAXIMUM 2 INCH LIFT.
- PAVEMENT BASE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT. EXISTING SUB-BASE SHALL BE PROOF-ROLLED IN THE PRESENCE OF THE ENGINEER TO DETERMINE STABILITY.
- ALL CONCRETE PAVEMENT, DRIVEWAYS, CURB & GUTTER, ETC. SHALL BE SPRAY CURED WITH WHITE MEMBRANE CURING COMPOUND IMMEDIATELY FOLLOWING FINISHING OPERATION.
- ALL CONCRETE PAVEMENT JOINTS SHALL BE FILLED WITH HOT POURED RUBBERIZED ASPHALT JOINT SEALING COMPOUND IMMEDIATELY AFTER SAWCUT OPERATION. FEDERAL SPECIFICATION SS-S164.
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, CURRENT EDITION.
- ALL TOP OF CURB ELEVATIONS, AS SHOWN ON THE PLANS, ARE CALCULATED FOR A 6" CONCRETE CURB UNLESS OTHERWISE NOTED.
- ALL SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1993, SHALL BE INSTALLED AS INDICATED ON THE PLANS.
- CONSTRUCTION OF A NEW OR RECONSTRUCTED DRIVE APPROACH CONNECTING TO AN EXISTING STATE OR COUNTY ROADWAY SHALL BE ALLOWED ONLY AFTER AN APPROVED PERMIT HAS BEEN SECURED FROM THE AGENCY HAVING JURISDICTION OVER SAID ROADWAY.
- FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR AND SECURE ALL NECESSARY PERMITS AND LIKewise ARRANGE FOR ALL INSPECTION.
- EXISTING TOPSOIL, VEGETATION AND ORGANIC MATERIALS SHALL BE STRIPPED AND REMOVED FROM PROPOSED PAVEMENT AREA PRIOR TO PLACEMENT OF BASE MATERIALS.
- EXPANSION JOINTS SHOULD BE INSTALLED AT THE END OF ALL INTERSECTION RADII.
- SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1973, SHALL BE INSTALLED AS SHOWN AT ALL STREET INTERSECTIONS AND AT ALL BARRIER FREE PARKING AREAS AS INDICATED ON THE PLANS.
- ALL PAVEMENT AREAS SHALL BE PROOF-ROLLED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER PRIOR TO THE PLACEMENT OF BASE MATERIALS AND PAVING MATERIALS.
- FILL AREAS SHALL BE MACHINE COMPACTED IN UNIFORM LIFTS NOT EXCEEDING 9 INCHES THICK TO 98% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT.
- ALL LANDSCAPED AREAS TO BE PROVIDED W/ SPRINKLER SYSTEMS FOR 100% COVERAGE.

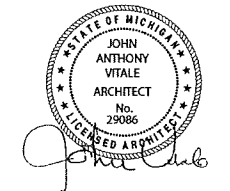
SITE PLAN KEY NOTES:

- (TYPICAL THIS SHEET ONLY)
- ELECTRICAL PAD MOUNTED TRANSFORMER, PROVIDE CONCRETE SLAB AND BOLLARDS FOR PROTECTION
 - MASONRY SCREEN WALL ALONG PROPERTY LINE, CAST STONE VENEER TO MATCH BUILDING WITH CAP.
 - PROVIDE NEW STAINLESS STEEL BIKE RACK

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ROCHESTER ROAD
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Issued for:
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Drawn by:
SVA
Checked by:
JAV, MJB
Sheet Title:
SITE PLAN DETAILS

Project No.:
2017.039
Sheet No.:
SP1.1

ARCHITECTURAL SITE PLAN
SCALE: 1" = 20'

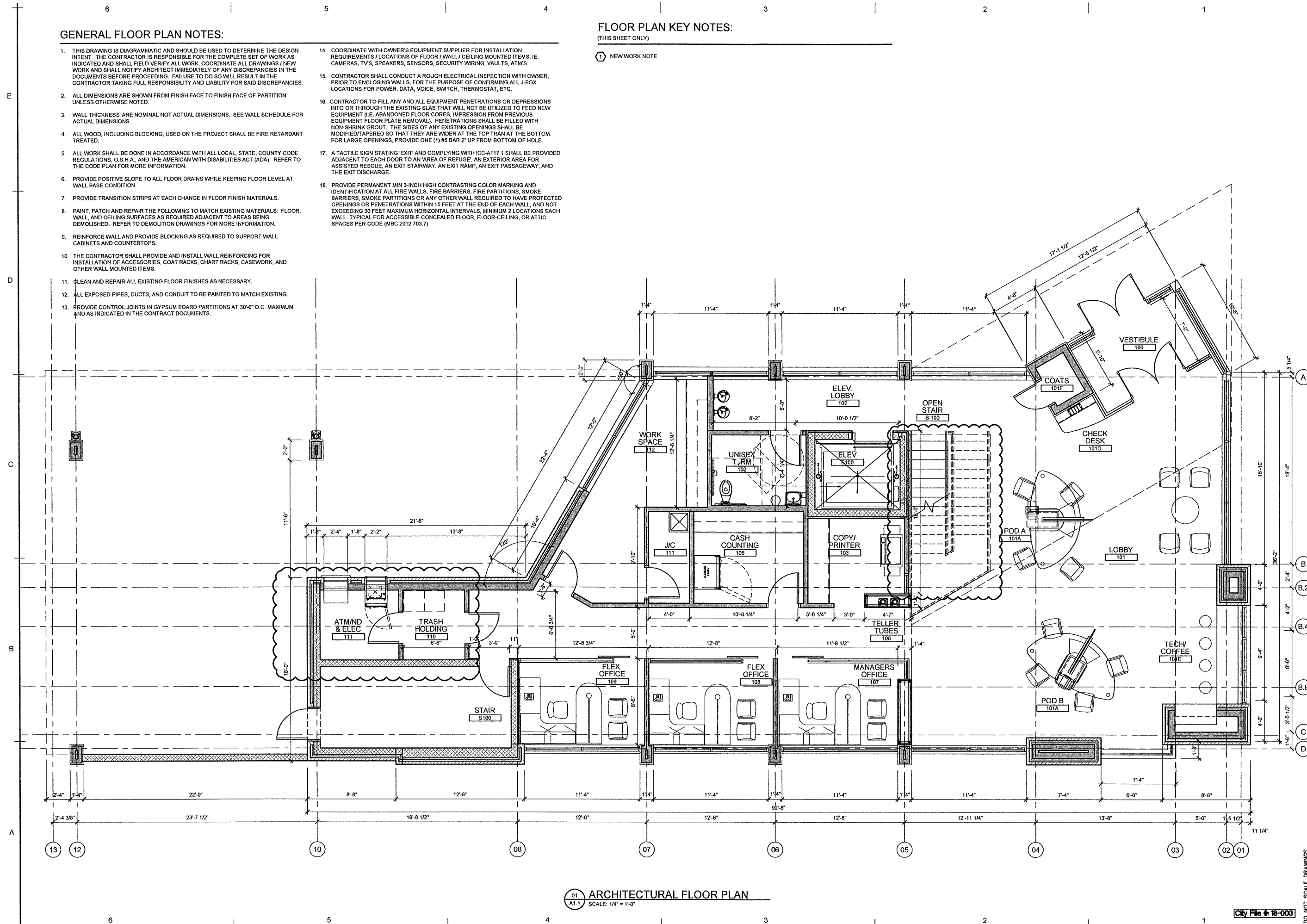
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- ALL DIMENSIONS ARE SHOWN FROM FINISH FACE TO FINISH FACE OF PARTITION UNLESS OTHERWISE NOTED.
- WALL THICKNESS ARE NOMINAL NOT ACTUAL DIMENSIONS. SEE WALL SCHEDULE FOR ACTUAL DIMENSIONS.
- ALL WOOD, INCLUDING BLOCKING, USED ON THE PROJECT SHALL BE FIRE RETARDANT TREATED.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL, STATE, COUNTY CODE REGULATIONS, O.S.H.A., AND THE AMERICAN WITH DISABILITIES ACT (ADA). REFER TO THE CODE PLAN FOR MORE INFORMATION.
- PROVIDE POSITIVE SLOPE TO ALL FLOOR DRAINS WHILE KEEPING FLOOR LEVEL AT WALL BASE CONDITION.
- PROVIDE TRANSITION STRIPS AT EACH CHANGE IN FLOOR FINISH MATERIALS.
- PAINT, PATCH AND REPAIR THE FOLLOWING TO MATCH EXISTING MATERIALS: FLOOR, WALL, AND CEILING SURFACES AS REQUIRED ADJACENT TO AREAS BEING DEMOLISHED. REFER TO DEMOLITION DRAWINGS FOR MORE INFORMATION.
- REINFORCE WALL AND PROVIDE BLOCKING AS REQUIRED TO SUPPORT WALL CABINETS AND COUNTERTOPS.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL WALL REINFORCING FOR INSTALLATION OF ACCESSORIES, COAT RACKS, CHART RACKS, CASEWORK, AND OTHER WALL MOUNTED ITEMS.
- CLEAN AND REPAIR ALL EXISTING FLOOR FINISHES AS NECESSARY.
- ALL EXPOSED PIPES, DUCTS, AND CONDUIT TO BE PAINTED TO MATCH EXISTING.
- PROVIDE CONTROL JOINTS IN GYPSUM BOARD PARTITIONS AT 30'-0" O.C. MAXIMUM AND AS INDICATED IN THE CONTRACT DOCUMENTS.
- COORDINATE WITH OWNER'S EQUIPMENT SUPPLIER FOR INSTALLATION REQUIREMENTS / LOCATIONS OF FLOOR / WALL / CEILING MOUNTED ITEMS; I.E. CAMERAS, TV'S, SPEAKERS, SENSORS, SECURITY WIRING, VAULTS, ATM'S.
- CONTRACTOR SHALL CONDUCT A ROUGH ELECTRICAL INSPECTION WITH OWNER, PRIOR TO ENCLOSING WALLS, FOR THE PURPOSE OF CONFIRMING ALL J-BOX LOCATIONS FOR POWER, DATA, VOICE, SWITCH, THERMOSTAT, ETC.
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- A TACTILE SIGN STATING 'EXIT' AND COMPLYING WITH ICC-A117.1 SHALL BE PROVIDED ADJACENT TO EACH DOOR TO AN 'AREA OF REFUGE', AN EXTERIOR AREA FOR ASSISTED RESCUE, AN EXIT STAIRWAY, AN EXIT RAMP, AN EXIT PASSAGEWAY, AND THE EXIT DISCHARGE.
- PROVIDE PERMANENT MIN 3-INCH HIGH CONTRASTING COLOR MARKING AND IDENTIFICATION AT ALL FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS, SMOKE PARTITIONS OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS WITHIN 15 FEET AT THE END OF EACH WALL, AND NOT EXCEEDING 30 FEET MAXIMUM HORIZONTAL INTERVALS, MINIMUM 2 LOCATIONS EACH WALL. TYPICAL FOR ACCESSIBLE CONCEALED FLOOR, FLOOR-CEILING, OR ATTIC SPACES PER CODE (MBC 2012 703.7)

FLOOR PLAN KEY NOTES:

(THIS SHEET ONLY)

- NEW WORK NOTE



01 ARCHITECTURAL FLOOR PLAN
A1.1 SCALE: 1/4" = 1'-0"

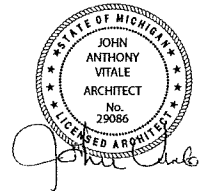
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FIRST LEVEL FLOOR PLAN

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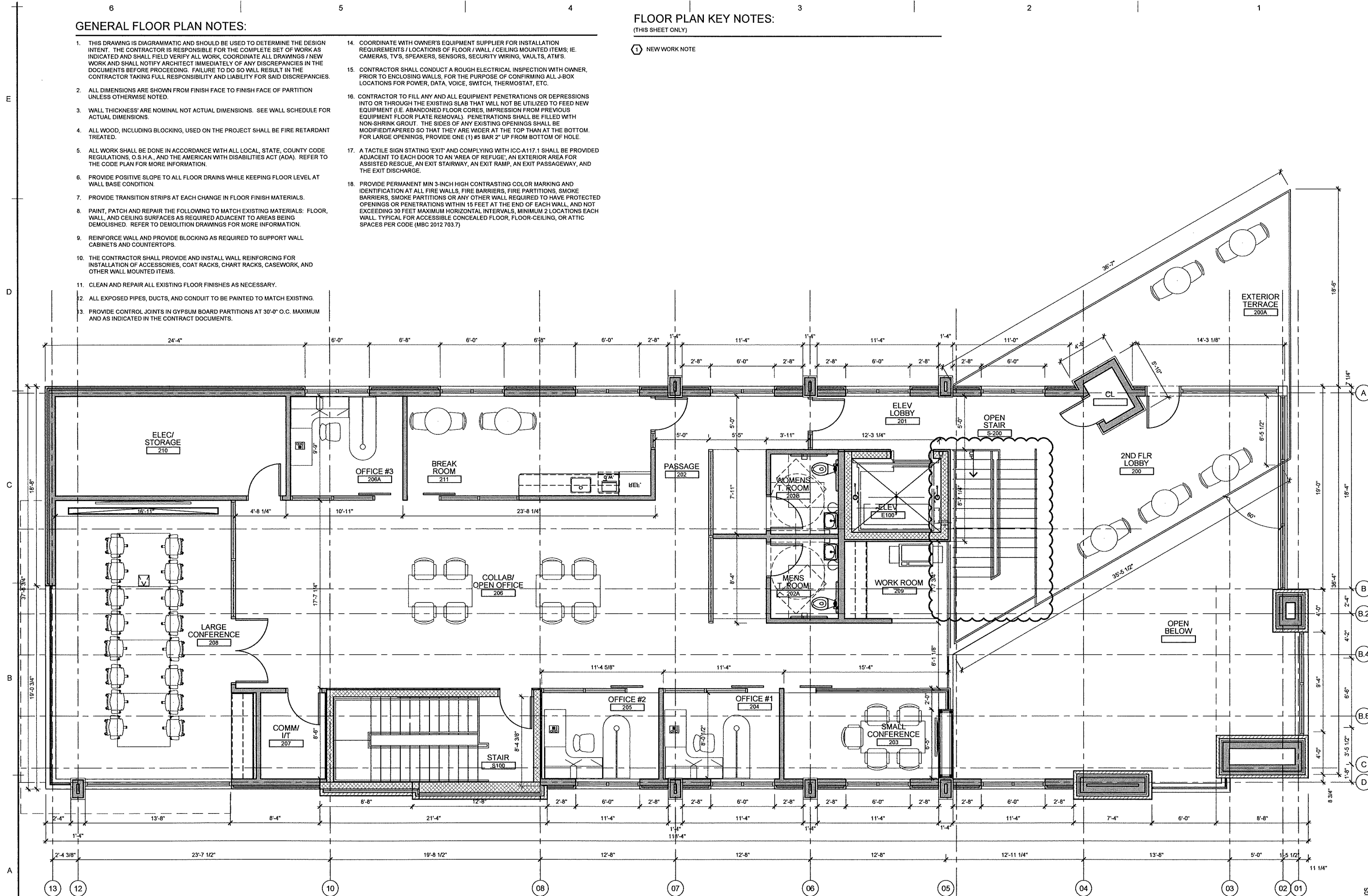
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FLOOR PLAN KEY NOTES:
(THIS SHEET ONLY)

① NEW WORK NOTE



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SECOND LEVEL
FLOOR PLAN

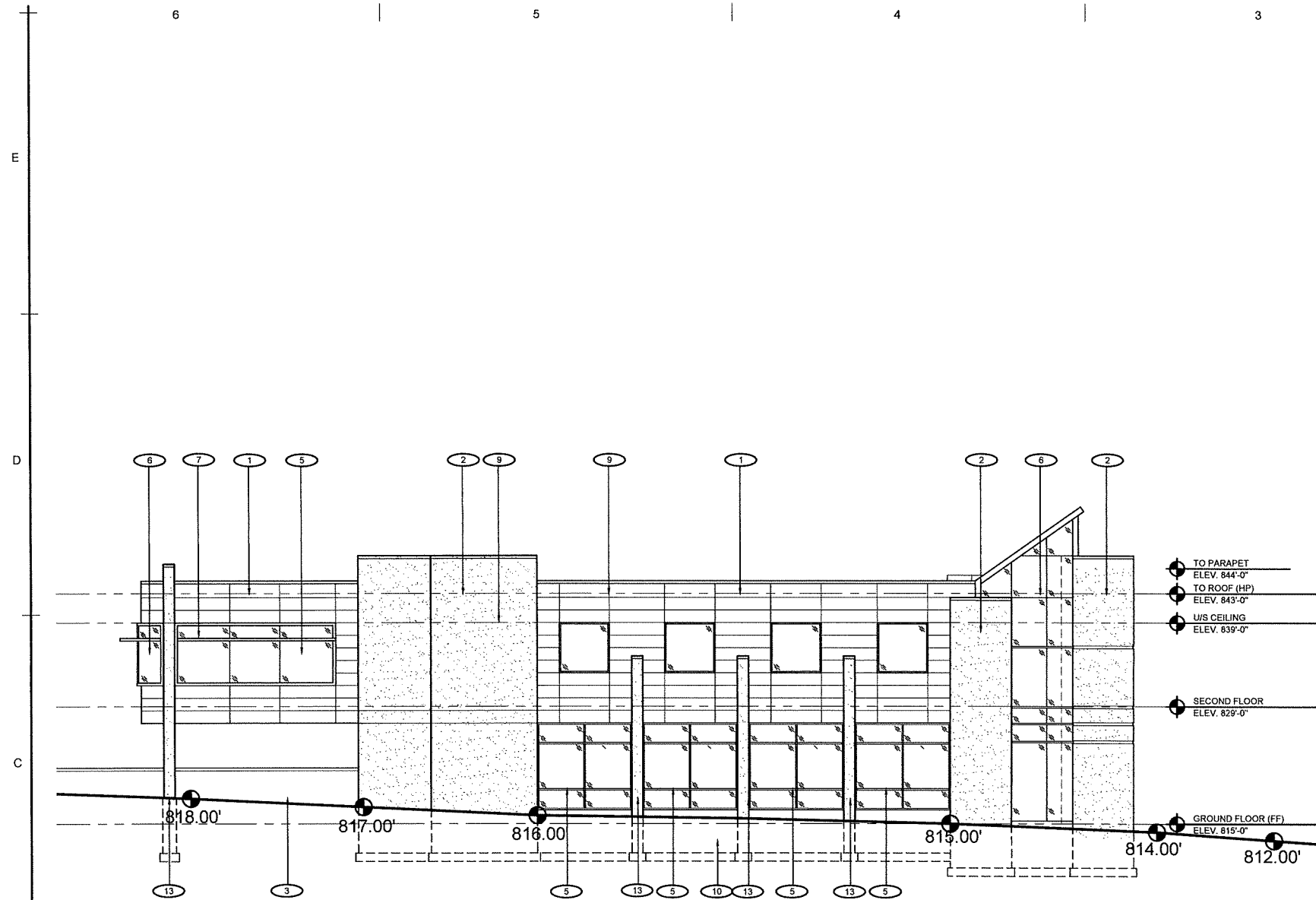
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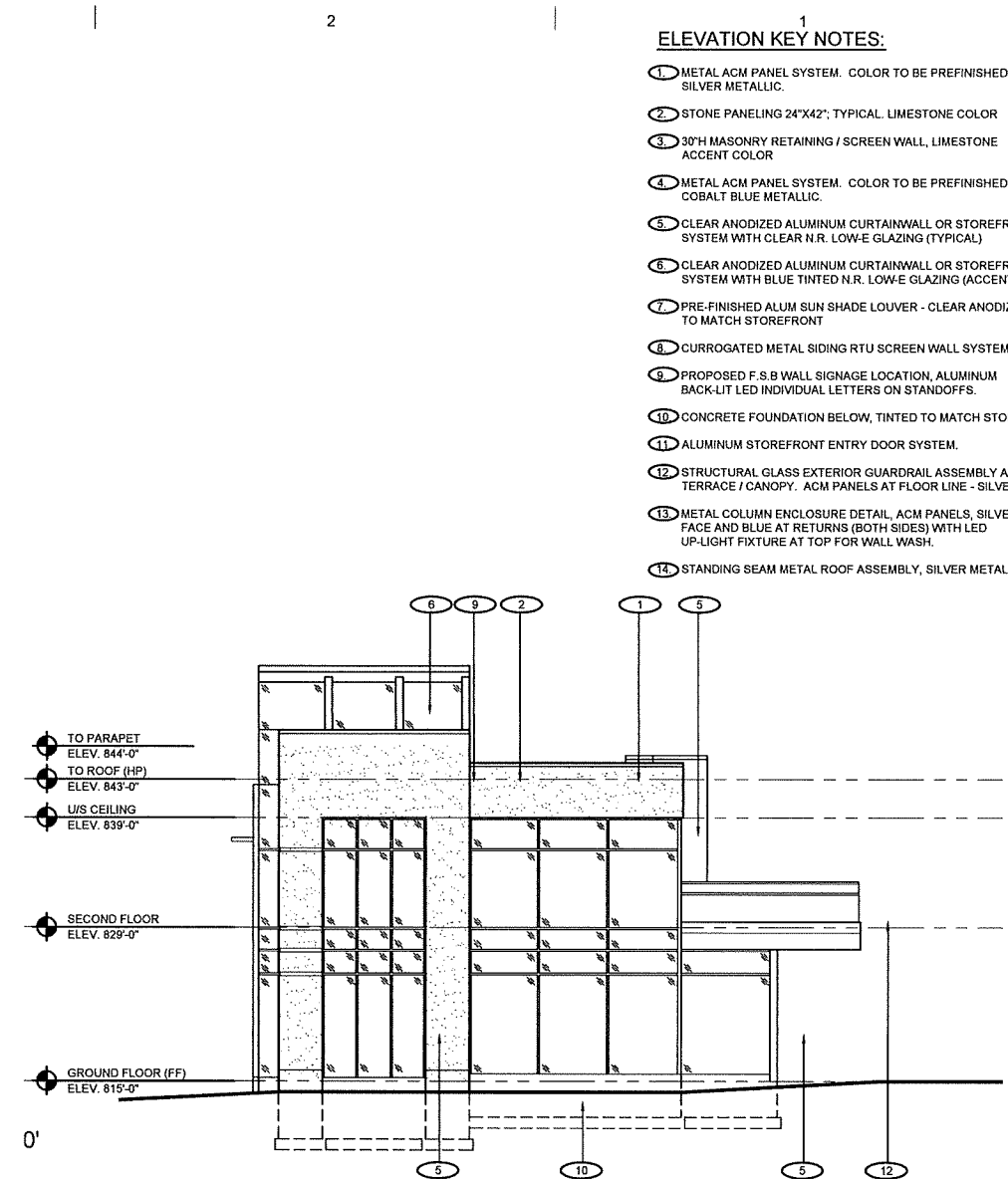
01 ARCHITECTURAL SECOND FLOOR PLAN
A1.2 SCALE: 1/4" = 1'-0"

City File # 18-003

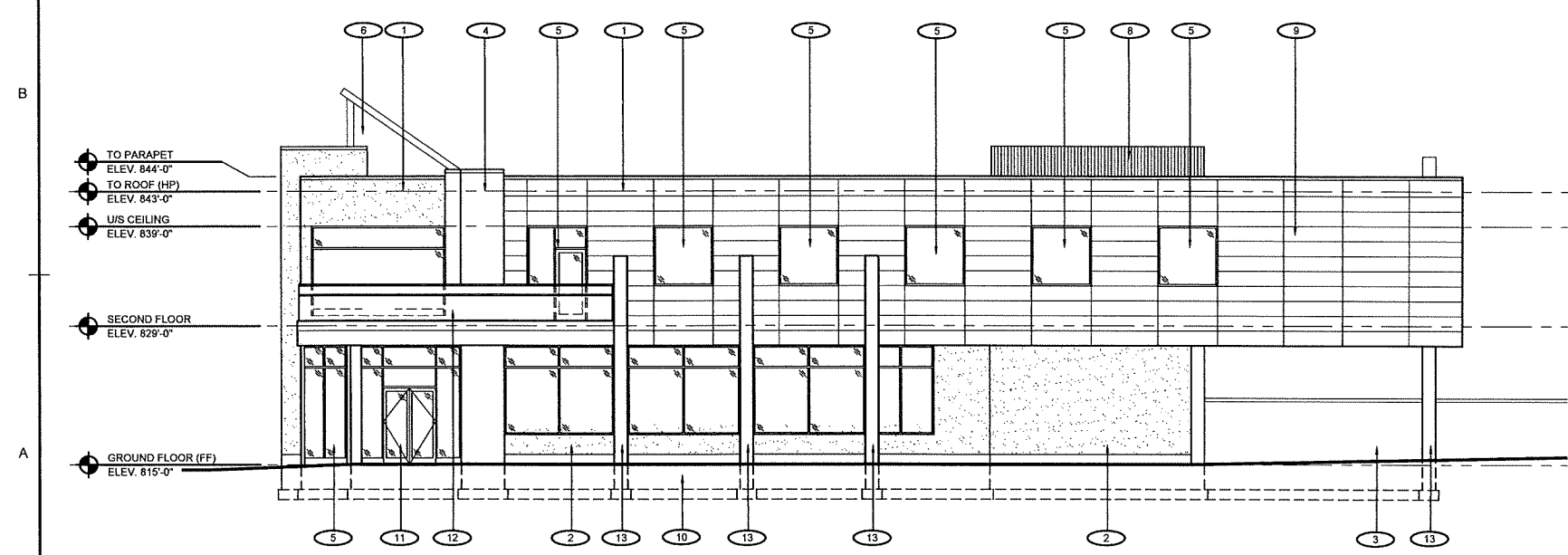
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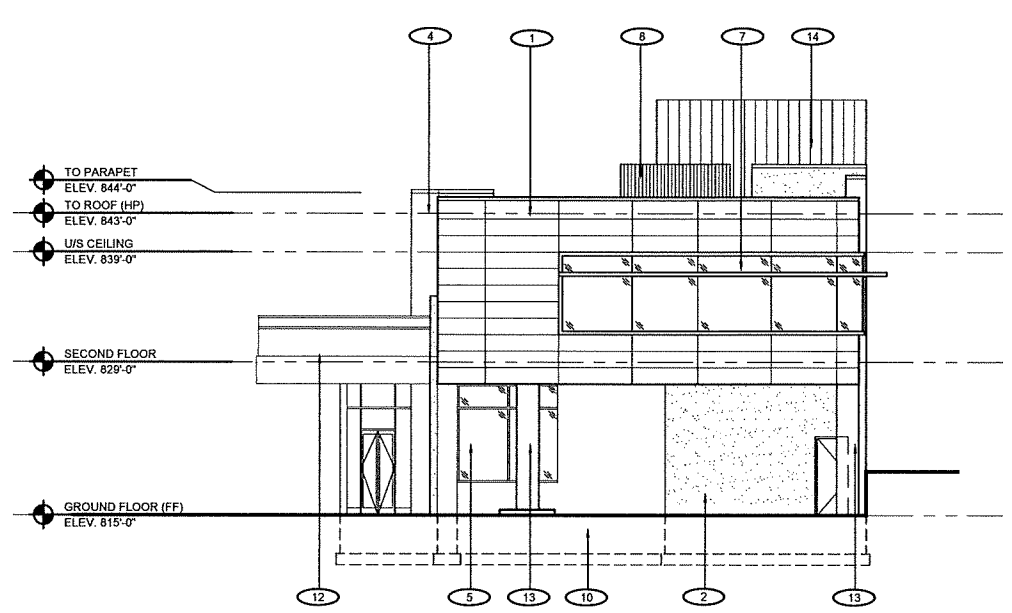
01 WEST ELEVATION
A3.1 SCALE: 1/8" = 1'-0"



02 SOUTH ELEVATION
A3.1 SCALE: 1/8" = 1'-0"



03 EAST ELEVATION
A3.1 SCALE: 1/8" = 1'-0"



04 NORTH ELEVATION
A3.1 SCALE: 1/8" = 1'-0"

- ELEVATION KEY NOTES:**
- 1 METAL ACM PANEL SYSTEM. COLOR TO BE PREFINISHED SILVER METALLIC.
 - 2 STONE PANELING 24"x42"; TYPICAL LIMESTONE COLOR
 - 3 30"H MASONRY RETAINING / SCREEN WALL, LIMESTONE ACCENT COLOR
 - 4 METAL ACM PANEL SYSTEM. COLOR TO BE PREFINISHED COBALT BLUE METALLIC.
 - 5 CLEAR ANODIZED ALUMINUM CURTAINWALL OR STOREFRONT SYSTEM WITH CLEAR N.R. LOW-E GLAZING (TYPICAL)
 - 6 CLEAR ANODIZED ALUMINUM CURTAINWALL OR STOREFRONT SYSTEM WITH BLUE TINTED N.R. LOW-E GLAZING (ACCENT)
 - 7 PREFINISHED ALUM. SUN SHADE LOUVER - CLEAR ANODIZED TO MATCH STOREFRONT
 - 8 CORRUGATED METAL SIDING RTU SCREEN WALL SYSTEM
 - 9 PROPOSED F.S.B WALL SIGNAGE LOCATION, ALUMINUM BACK-LIT LED INDIVIDUAL LETTERS ON STANDOFFS.
 - 10 CONCRETE FOUNDATION BELOW, TINTED TO MATCH STONE
 - 11 ALUMINUM STOREFRONT ENTRY DOOR SYSTEM.
 - 12 STRUCTURAL GLASS EXTERIOR GUARDRAIL ASSEMBLY AT TERRACE / CANOPY. ACM PANELS AT FLOOR LINE - SILVER.
 - 13 METAL COLUMN ENCLOSURE DETAIL, ACM PANELS, SILVER AT FACE AND BLUE AT RETURNS (BOTH SIDES) WITH LED UP-LIGHT FIXTURE AT TOP FOR WALL WASH.
 - 14 STANDING SEAM METAL ROOF ASSEMBLY, SILVER METALLIC

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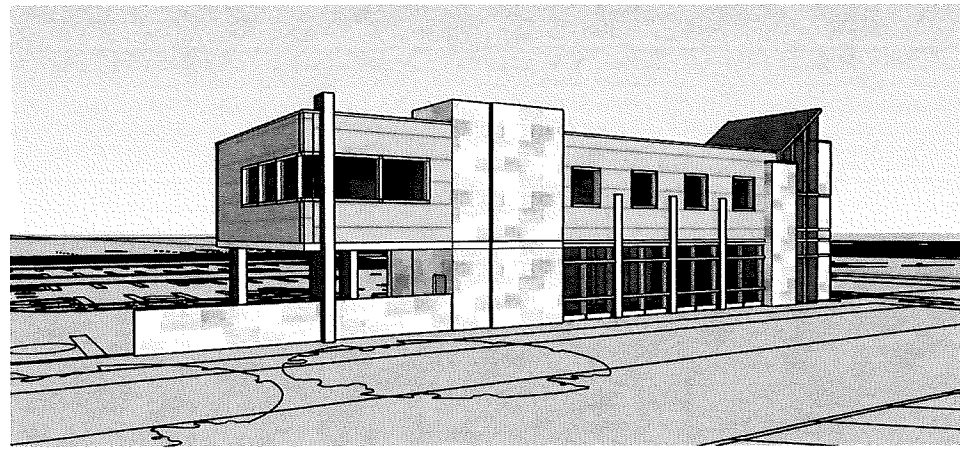
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EXTERIOR ELEVATIONS

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A3.1

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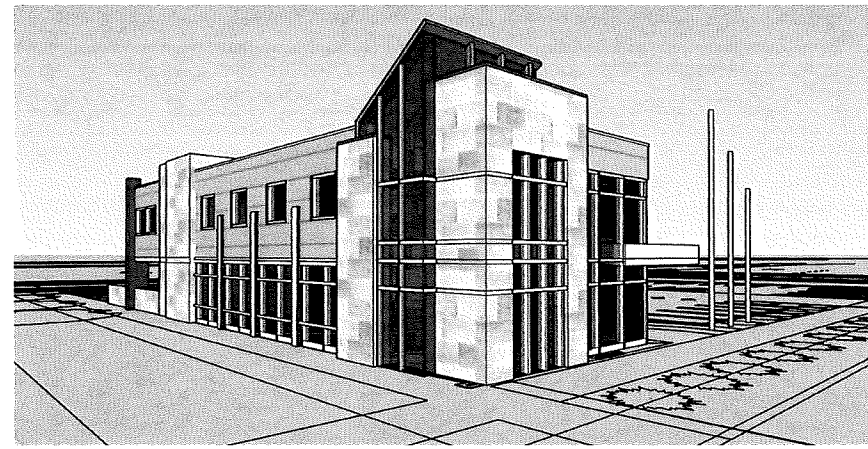
City File # 18-003



04 CONCEPTUAL 3D VIEW
A3.2 SCALE: NO SCALE



03 CONCEPTUAL 3D VIEW
A3.2 SCALE: NO SCALE



02 CONCEPTUAL 3D VIEW
A3.2 SCALE: NO SCALE



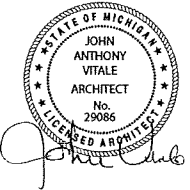
01 ARCHITECTURAL RENDERING
A3.2 SCALE: NO SCALE



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Consultants:



Project :
FIRST STATE BANK
ROCHESTER ROAD
BRANCH BANK + OFFICE

Issued for :
SITE PLAN REVIEW 12.15.17
CITY COMMENTS 03.02.18

Drawn by :
SVA
Checked by :
JAV, MJB, AJD

Sheet Title :
EXTERIOR
CONCEPTUAL
RENDERING

Project No. :
2017.039

Sheet No. :
A3.2

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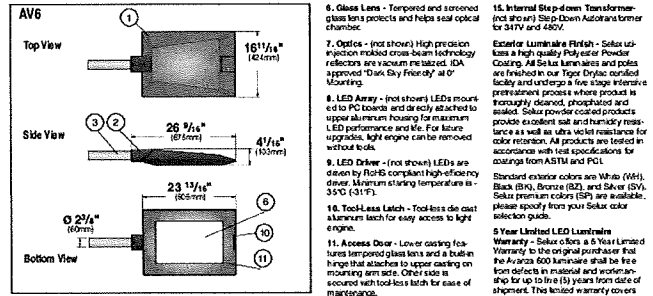
Avanza 600

selux

Project: _____
 Type: _____ Qty: _____

Series	Mounting	Tilt of Mounting	Light Engine	Optics	CCT	Power Cord Length (ft.)	Finish	Voltage	Options
AV6	AV6	0°	L105 1050 mA 107W	R3W Type II Dist. Distribution	30 3000°K	12	WH White	120	HLS* H.L.S. Beaming angle as a % of beam
					40 4000°K	15	BK Back	208	
						18	BZ Bronze	240	
						20	SV Specify	277	
						25	SP Premium Color	347	
							XX*	480*	

Series	Mounting	Tilt of Mounting	Light Engine	Optics	CCT	Power Cord Length (ft.)	Finish	Voltage	Options
Avanza 600	S1 Single Pole Adapter	0°	L105 1050 mA 107W	R3W Type II Dist. Distribution	30 3000°K	12	WH White	120	HLS* H.L.S. Beaming angle as a % of beam
	S2 Double Shot Arm @180°	5°	L700 700mA 72W	R3H Type II Dist. Distribution	40 4000°K	15	BK Back	208	
	L1 Single Long Arm					18	BZ Bronze	240	
	L2 Double Long Arm @180°					20	SV Specify	277	
	L4 Quad Long Arm					25	SP Premium Color	347	
	SW Short Arm Wall Mount						XX*	480*	



- Luminaire Housing - made from high pressure die cast, low copper aluminum alloy.
- Riser - Part of upper aluminum housing for direct connection to standard 2" x 2" (50mm) steel and long arms, as well as specially designed die cast pole adapter.
- Mounting Arm - Welded steel with powder coat finish. To fit 3" NEMA aluminum alloy.
- Pole Adapter - (not shown) Made from high pressure die cast, low copper aluminum alloy. To fit 3" NEMA.
- Quacking - (not shown) UV and Ozone Resistant Epoxy painted protective seal at door and glass opening.
- Glass Lens - Tempered and chrome glass lens protects and helps seal optical chamber.
- Optics - (not shown) High precision injection molded cross beam technology reflectors are vacuum metacized. ICA approved "Dark Sky Friendly" as of 2017.
- LED Array - (not shown) LEDs mounted on PCB carrier and directly attached to upper aluminum housing for maximum LED performance and life. For future upgrades, light engine can be removed without tools.
- LED Driver - (not shown) LEDs are driven by RoHS compliant high efficiency driver. Minimum starting temperature is -35°C (-31°F).
- Tool-less Latch - Tool-less die cast aluminum latch for easy access to light engine.
- Access Door - Lower casting features tempered glass lens and a built-in hinge that attaches to upper casting on mounting arm side. Other side is secured with tool-less latch for ease of maintenance.
- Burge Protection - (not shown) Designed to protect luminaire from electrical surge (up to 10kA).
- UL-Lo Switching Option - (not shown) Please see p. 7 for details.
- Photocell Option - (not shown) Photocell is available for all pole and arm mounting configurations except Wall Mount (SW) and Single Pole Adapter (SA). Available in 120V through 277V. For 347V please consult factory. See p. 5 for details.

LED pole-top luminaires with symmetrical light distribution

Housing/Filter: Die-cast aluminum construction. The luminaire fits a 3" O.D. pole top or terrain and is secured by six (6) socket head stainless steel screws threaded into stainless steel inserts. Die casting use marine grade, copper free (is 0.3% copper content) A360.0 aluminum alloy.

Enclosure: Clear acrylic diffuser held in place by die-cast aluminum frame. Fully gasketed for weather tight operation using a molded silicone gasket.

Electrical: 32 (1) LED luminaires, 38.5 total system watts, -30°C start temperature, integral 120V through 277V electronic LED driver, 0-10V dimming. LED module(s) are available from factory for easy replacement. Standard LED color temperature is 4000K with a >80 CRI. Available in 3000K (>80 CRI), add suffix K3 to order.

Note: LEDs supplied with luminaire. Due to the dynamic nature of LED technology, LED luminaire data on this sheet is subject to change at the discretion of BEGA-US. For the most current technical data, please refer to www.bega-us.com.

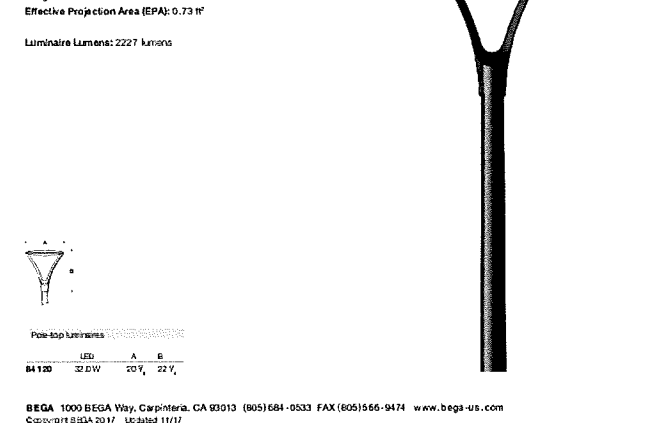
Finish: All BEGA standard finishes are polyester powder coat with minimum 3 mil thickness. Available in four standard BEGA colors: Black (BK), White (WH), Bronze (BRZ), Silver (SLV). To specify, add appropriate suffix to catalog number. Custom colors supplied on special order.

CSA certified to U.S. and Canadian standards, suitable for wet locations. Protection class IP65

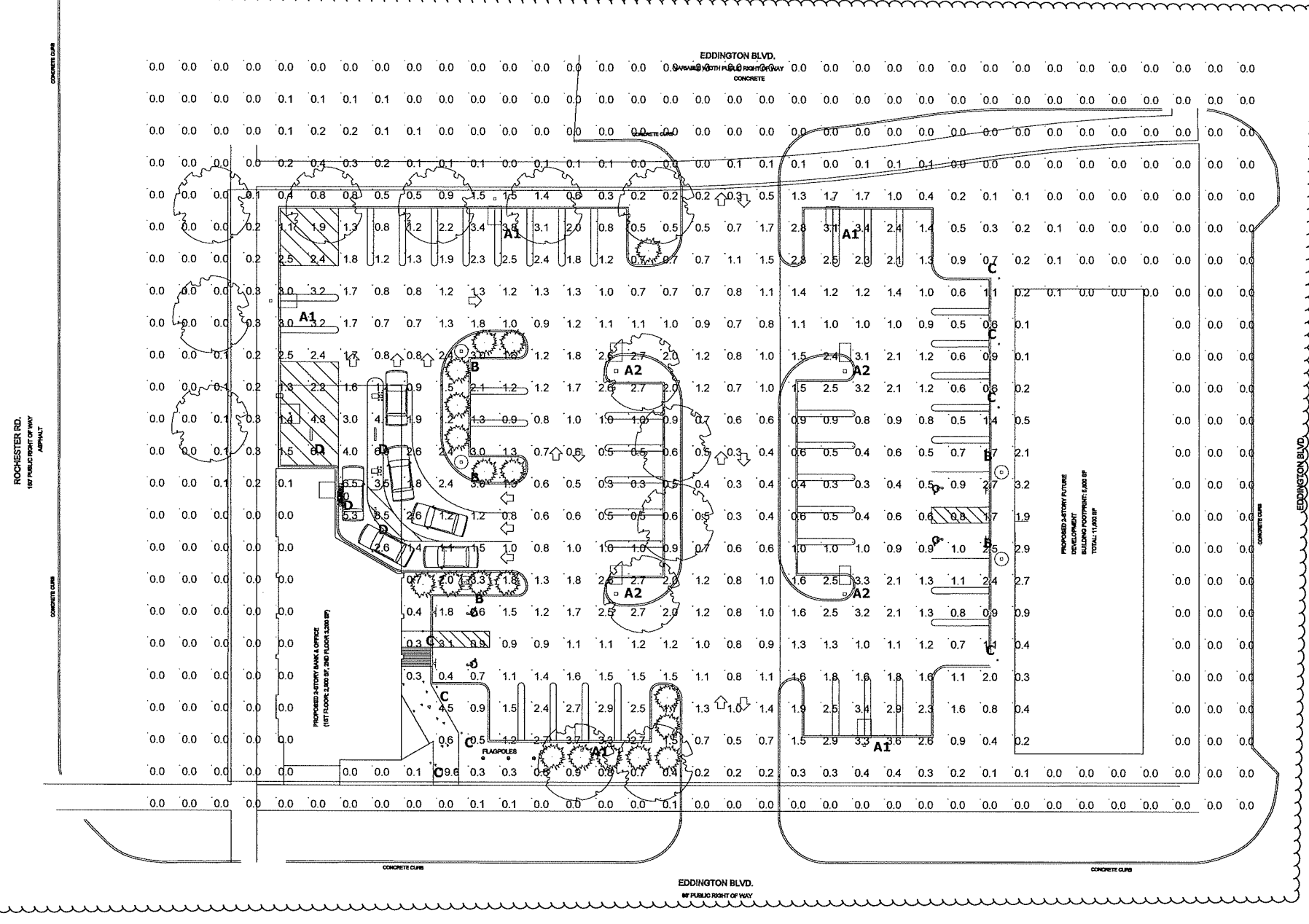
Weight: 21.4 lbs

Effective Projection Area (EPA): 0.73 ft²

Luminaire Lumens: 2227 lumens



BEGA 1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0533 FAX (805) 686-9474 www.bega-us.com
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GENERAL NOTE

- SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
- SEE LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTOR.
- CALCULATIONS ARE SHOWN IN FOOTCANDLES AT GRADE.

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
ATM Face	X	6 fc	10 fc	4 fc	2.5:1	1.5:1	0.6:1
NEW PARKING AREA	X	1.3 fc	3.8 fc	0.3 fc	12.7:1	4.3:1	0.3:1
UNDER SOFFIT	X	3.9 fc	8.5 fc	1.4 fc	6.1:1	2.8:1	0.5:1

Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens per Lamp	LLF	Wattage	Mounting Height
□	A1	5	SELUX	AV6-S1-0-L700-R3W-40-120	Avanza 600, 700mA 72W, Type V	LED	1	AV6-S1-0-L700-R3W-40-120.les	5605	0.9	71	15'-0"
□	A2	4	SELUX	AV6-S1-0-L700-R5-40-120 SX 934 42-9	Avanza 600, 700mA 72W, Type III	LED	1	AV6-S1-0-L700-R5-40-120.les	4952	0.9	72	15'-0"
○	B	5	BEGA LIGHTING	84120	LED pole-top luminaires with symmetrical light distribution	LED	1	84120 (1).les	2228	0.9	39	12'-0"
○	C	8	Louis Poulsen Lighting	FLINDT-B	Flint Bollard 4000K (Pro-rated)	LED	1	91608_US_LITHS_FLINDT-B_LED_40K_V00 B0100.les	587,0521	0.9	14	2'-6"
○	D	4	Selux Corporation	SURSL-1040-40-LI-X-XX-04-XX-UVV	Survivor 9 LED, Surface Mounted, 958lm/10.4W per foot, 40K, Polycarbonate Prismatic Spherical Lens with LED optimized lens, 4ft. (dimmed to 50% output)	LED	1	SURSL-2035-40-LI-X-XX-04-XX-UVV.les	6720	0.3	73,5671	10'-0"

GBA

FIRST STATE BANK - ROCHESTER HILLS
 PHOTOMETRIC SITE PLAN
 PREPARED FOR: STUCKY VITALE ARCHITECTS
 GASSER BUSH ASSOCIATES
 WWW.GASSERBUSH.COM

Designer
 LLB/AAM
 Date
 3/8/2018
 Scale
 Not to Scale
 Drawing No.
 #17-84073 V2
 1 of 1