

ADDITION TO
AUDI OF ROCHESTER HILLS
 45441 DEQUINDRE, ROCHESTER HILLS, MICHIGAN 48307

OWNER

EITEL DAHM PROPERTIES
 45550 DEQUINDRE ROAD
 SHELBY TOWNSHIP, MICHIGAN 48317

ARCHITECT

CHMP, INC.
 5198 TERRITORIAL ROAD
 GRAND BLANC, MI 48439
 (810) 695-5910
 (810) 695-0680 (FAX)

CIVIL ENGINEER

CHMP, INC.
 5198 TERRITORIAL ROAD
 GRAND BLANC, MI 48439
 (810) 695-5910
 (810) 695-0680 (FAX)

STRUCTURAL ENGINEER

SNYDER & STALEY ENGINEERING, P.L.C.
 3160 CHRISTY WAY, SUITE 6
 SAGINAW, MI 48603
 (989) 797-1710
 (989) 797-1715 (FAX)

ELECTRICAL ENGINEER

MACMILLAN ASSOCIATES, INC.
 714 EAST MIDLAND STREET
 BAY CITY, MI 48706
 (989) 894 4300

MECHANICAL ENGINEER

KAYSER CONSULTING, LLC
 16577 EDINBURGH STREET
 CLINTON TOWNSHIP, MI 48038
 (586) 709 6813

SHEET INDEX

SHEET No. TITLE

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CIVIL

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ARCHITECTURAL

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ELECTRICAL

SE-101 ELECTRICAL SITE PLAN
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BUILDING DATA

ALL WORK UNDER THE CONTRACT SHALL COMPLY WITH THE PROVISIONS OF THE SPECIFICATIONS AND DRAWINGS, AND SHALL SATISFY ALL APPLICABLE CODES, ORDINANCES, AND REGULATIONS OF ALL GOVERNING AGENCIES INVOLVED. ALL PERMITS AND LICENSES NECESSARY FOR THE PROPER EXECUTION OF THE WORK SHALL BE SECURED AND PAID FOR BY THE CONTRACTOR INVOLVED. APPLICABLE CODES INCLUDE, BUT NOT LIMITED TO THE FOLLOWING:

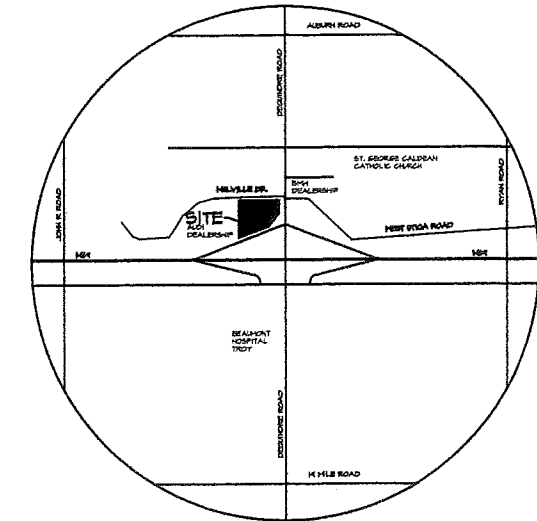
1. BUILDING & STRUCTURAL MICHIGAN BUILDING CODE (2012)
2. PLUMBING MICHIGAN PLUMBING CODE (2012)
3. MECHANICAL MICHIGAN MECHANICAL CODE (2012)
4. ELECTRICAL NATIONAL ELECTRICAL CODE (2011)
5. FIRE PROTECTION MICHIGAN FIRE CODE
6. BARRIER FREE ACCESS ACCESSIBLE AND USABLE BUILDING (ADA) (2010)

TYPE OF CONSTRUCTION II-B NON-COMBUSTIBLE

FIRE PROTECTION AUTOMATIC SPRINKLER SYSTEM THROUGHOUT

BUILDING USE GROUPS B-BUSINESS
 (NONSEPARATED) S-MOTOR VEHICLE REPAIR GARAGE

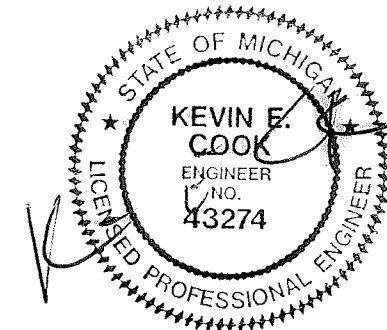
GROSS BUILDING AREA	EXISTING	ADDITION	TOTAL
	19,030 S.F.	25,448 S.F.	44,478 S.F.



LOCATION MAP
 N.T.S.

PLAN DISTRIBUTION

AGENCY	DEPARTMENT	CONTACT PERSON	PHONE NO.	DATE SENT	COMMENTS
CITY OF ROCHESTER HILLS	PLANNING AND ZONING	SARA ROEDIGER	248.841.2573	8-28-16	ISSUED FOR SITE PLAN REVIEW
CONSUMERS ENERGY		MICHAEL JABLONSKI		8-28-16	ISSUED FOR SITE PLAN REVIEW
DETROIT EDISON	MACOMB SERVICE CNTR	NANCY MOLNAR		8-28-16	ISSUED FOR SITE PLAN REVIEW
MDOT	METRO REGION	STACEY GOUGH	248.451.0125	7-13-16	ISSUED FOR SITE PLAN REVIEW
CITY OF ROCHESTER HILLS	PLANNING AND ZONING	SARA ROEDIGER	248.841.2573	8-10-16	ISSUED FOR SITE PLAN REVIEW
CITY OF ROCHESTER HILLS	PLANNING AND ZONING	SARA ROEDIGER	248.841.2573	9-9-16	ISSUED FOR SITE PLAN APPROVAL



DATE: 9-9-16
 ISSUED FOR SITE PLAN APPROVAL
 PROJECT No. 15000500
 CITY FILE NUMBER: 00-001.3

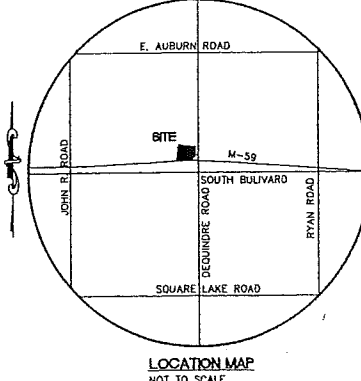
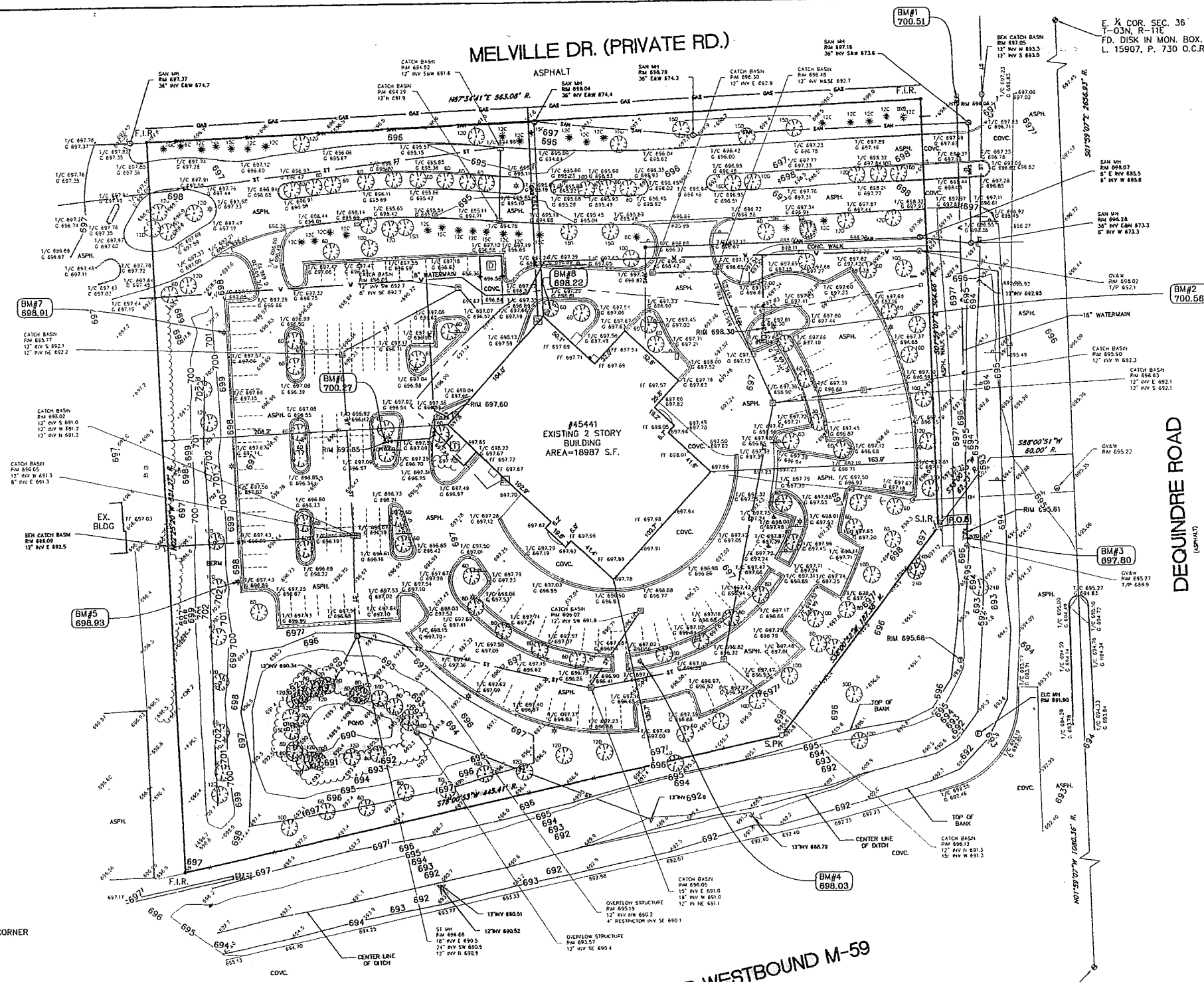


Know what's below.
 Call before you dig.

LOCATION OF ALL UNDERGROUND UTILITIES AS SHOWN ARE APPROXIMATE. ALL LOCATIONS MUST BE FIELD VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.

UTILITY NOTE:
 ALL WATER MAIN, STORM SEWER, SANITARY SEWER AND PUBLIC LIGHTING UTILITIES AS SHOWN HEREON ARE TAKEN FROM THE BEST AVAILABLE RECORDS AS DISCLOSED BY THE VARIOUS UTILITY COMPANIES AND/OR MUNICIPALITIES. NO GUARANTEE CAN BE GIVEN BY US AS TO THE ACCURACY OR COMPLETENESS THEREOF.

MELVILLE DR. (PRIVATE RD.)



PARCEL AREA
 NET AREA = 5.94 ACRES

PARKING
 SUBJECT PARCEL CONTAINS:
 164 STANDARD PARKING SPACES
 2 HANDICAP SPACES

BASIS OF BEARING
 BASIS OF BEARING IS N01°59'07"W, BEING THE EAST LINE OF SECTION 36 T.3N., R.11E.

SURVEYOR'S NOTES
 1- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA. OTHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES OTHER THAN THE STRUCTURE INVENTORY SHOWN HEREON.
 2- A CURRENT TITLE POLICY HAS NOT BEEN FURNISHED AT TIME OF SURVEY. THEREFORE EASEMENTS AND OR ENCUMBRANCES EFFECTING SUBJECT PARCEL MAY NOT BE SHOWN.

LEGAL DESCRIPTION

LAND SITUATED IN THE CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN.
 PART OF THE SOUTHEAST 1/4 OF SECTION 36, TOWN 3 NORTH, RANGE 11 EAST, AVON TOWNSHIP (NOW THE CITY OF ROCHESTER HILLS), OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A POINT WHICH IS NORTH 01 DEGREES 59 MINUTES 07 SECONDS WEST 100.00 FEET ALONG THE EAST LINE OF SECTION 36 AND SOUTH 88 DEGREES 00 MINUTES 53 SECONDS WEST 60.00 FEET AND SOUTH 38 DEGREES 00 MINUTES 53 SECONDS WEST 62.23 FEET TO THE P.O.B. AND ALONG THE NORTHERLY LINE OF M-59, SOUTH 38 DEGREES 00 MINUTES 53 SECONDS WEST 107.38 FEET FROM THE SOUTHEAST CORNER OF SECTION 36, TOWN 3 NORTH, RANGE 11 EAST; THENCE SOUTH 78 DEGREES 00 MINUTES 53 SECONDS WEST, 445.41 FEET; THENCE NORTH 02 DEGREES 25 MINUTES 20 SECONDS WEST 521.27 FEET; THENCE NORTH 87 DEGREES 34 MINUTES 41 SECONDS EAST 563.08 FEET; THENCE SOUTH 01 DEGREES 59 MINUTES 07 SECONDS EAST 304.66 FEET TO THE POINT OF BEGINNING AND CONTAINING 5.94 ACRES.

BOUNDARY CERTIFICATION

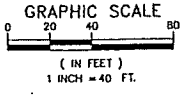
I hereby certify that I surveyed the above described property, for the purpose of establishing outline boundaries, and that the boundaries and corners of said property are as indicated hereon.
 Basis of bearings is the East Line of Section 36 T.03 N., R.11 E. which bears S01°59'07"W

LEGEND

- R. RECORD
- M. MEASURED
- F.I.R. FOUND IRON ROD
- S.P.K. SET PK NAIL
- S.I.R. SET IRON ROD
- FOUND SECTION CORNER
- ⊙ CATCH BASIN
- ⊙ CATCH BASIN
- ⊙ UTILITY POLE
- ⊙ SEWER MANHOLE
- CLEAN OUT
- FIRE HYDRANT
- TELEPHONE BOX
- GAS METER
- GUY WIRE
- SIGN
- LIGHT POLE
- WATER VALVE
- STORM MANHOLE
- GATE VALVE AND WELL
- TELEPHONE MANHOLE
- ELECTRIC MANHOLE
- 6" DECIDUOUS TREE / TAG NO. / CANOPY
- 12" CONIFER TREE / TAG NO. / CANOPY
- FIRE SPRINKLER VALVE
- MAIL BOX
- STEEL POST
- RAMP
- AIR CONDITION UNIT
- TRANSFORMER
- DUMPSTER
- UNDERGROUND ELECTRIC LINE
- OVERHEAD UTILITY LINES
- EXISTING FENCE LINE
- EXISTING GAS LINE
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- UNDERGROUND TELEPHONE LINE
- EXISTING WATERMAIN

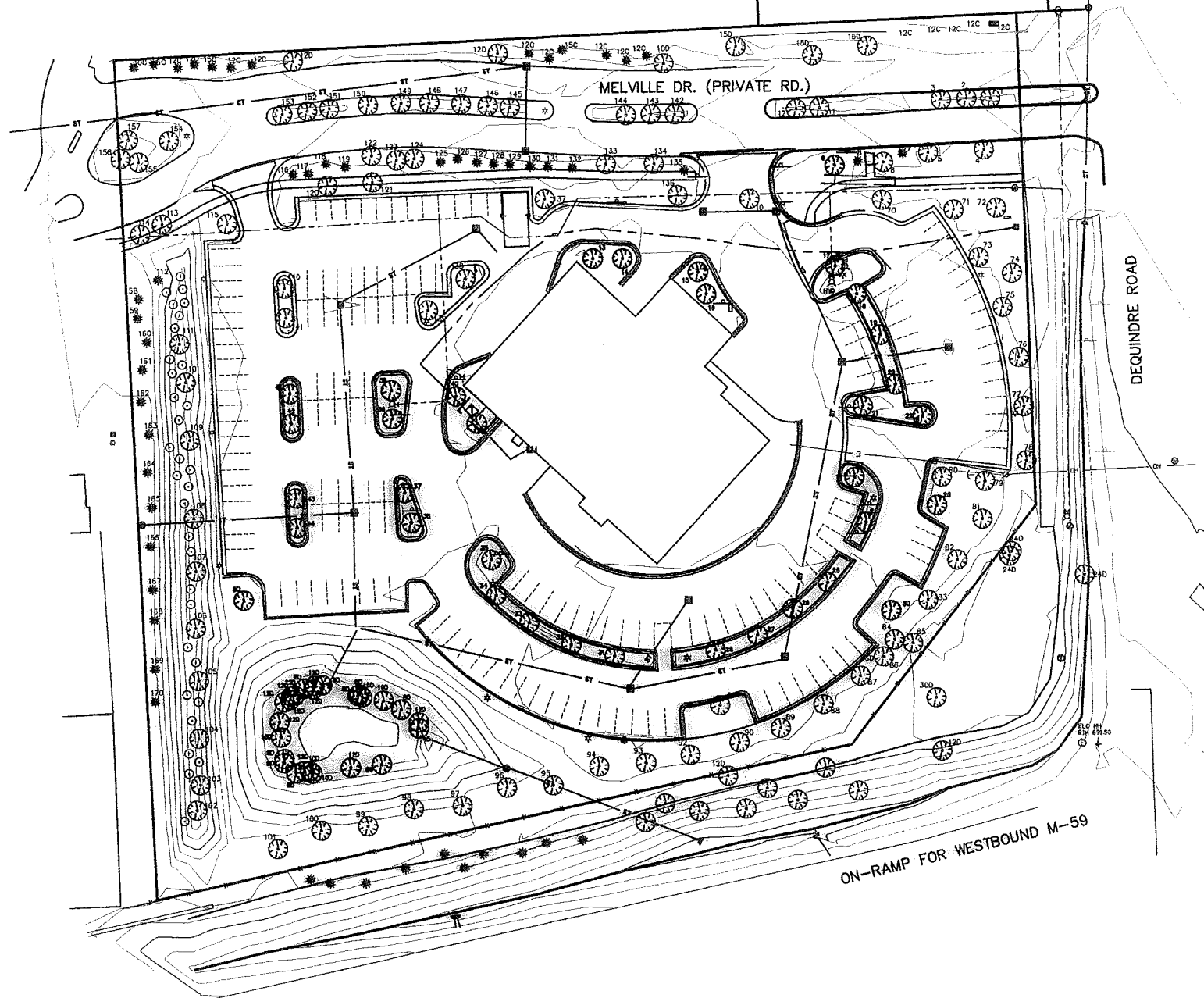
BENCHMARKS:

- NAVD-88 DATUM, FROM RTK OBSERVATION.
- BENCH MARK #1: ARROW ON HYDRANT AT THE NORTHEAST CORNER OF DEQUANDRE AND MELVILLE DR. ELEVATION: 700.51
- BENCH MARK #2: ARROW ON HYDRANT IN ISLAND IN PARKING LOT BY THE MAINTENANCE ENTRANCE. ELEVATION: 700.56
- BENCH MARK #3: ARROW ON HYDRANT WEST SIDE OF DEQUANDRE ROAD BY THE POINT OF BEGINNING. ELEVATION: 697.80
- BENCH MARK #4: CUT SQUARE IN NORTH END OF LIGHT POLE CONCRETE BASE BY BUILDING SOUTHERLY CORNER. ELEVATION: 698.03
- BENCH MARK #5: CUT SQUARE IN EAST END OF LIGHT POLE CONCRETE BASE AT THE SOUTHWEST CORNER OF PARKING LOT. ELEVATION: 698.93
- BENCH MARK #6: ARROW ON HYDRANT IN ISLAND BY THE BUILDING WESTERLY CORNER. ELEVATION: 700.27
- BENCH MARK #7: CUT SQUARE IN EAST END OF LIGHT POLE CONCRETE BASE AT THE NORTHWEST CORNER OF PARKING LOT. ELEVATION: 698.91
- BENCH MARK #8: SET PK NAIL IN NORTH FACE OF 6" TREE BY BUILDING WESTERLY CORNER. ELEVATION: 698.22



STATE OF MICHIGAN
 JUDICIAL
 PROFESSIONAL SURVEYOR
 NO. 55485
 ATYARI A. TAMIMI
 PROFESSIONAL SURVEYOR
 NO. 55485

ORDER NO. 15-097
 FIELD BOOK 15-
 SHEET 1 OF 1
 DATE 01-05-2016
 SCALE 1"=40'
 LAND SPECIALISTS
 2200 S. HUNLEY
 CLAYTON TWP., MI 48063 (483) 741-5897
 www.land-specialists.com
 BOUNDARY AND TOPOGRAPHIC SURVEY
 45441 DEQUANDRE RD., ROCHESTER HILLS, MI. 48307



TREE INVENTORY

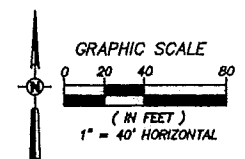
Tree No.	Size (dia @ b.h.)	Botanical / Common Name	Status
1	10"	Deciduous	Remove
2	10"	Deciduous	Remove
3	10"	Deciduous	Remove
4	12"	Acer / Maple	Remove
5	12"	Acer / Maple	Remove
6	6"	Acer / Maple	Remove
7	12"	Picea / Spruce	Remove
8	15"	Picea / Spruce	Remove
9	6"	Acer / Maple	Remove
10 *	12"	Crataegus / Thornless Hawthorn	Remove
11	10"	Deciduous	Remove
12	10"	Deciduous	Remove
13	6"	Acer / Maple	Remove
14	6"	Acer / Maple	Remove
15	6"	Acer / Maple	Remove
16	6"	Acer / Maple	Remove
17 *	6"	Acer / Maple	Remove
18	10"	Crataegus / Thornless Hawthorn	Remove
19	6"	Crataegus / Thornless Hawthorn	Remove
20	3"	Crataegus / Thornless Hawthorn	Remove
21	6"	Acer / Maple	Remove
22	6"	Acer / Maple	Remove
23	6"	Acer / Maple	Remove
24	6"	Crataegus / Thornless Hawthorn	Remove
25	6"	Crataegus / Thornless Hawthorn	Remove
26	6"	Crataegus / Thornless Hawthorn	Remove
27	6"	Crataegus / Thornless Hawthorn	Remove
28	6"	Crataegus / Thornless Hawthorn	Remove
29	6"	Crataegus / Thornless Hawthorn	Remove
30	10"	Crataegus / Thornless Hawthorn	Remove
31	6"	Crataegus / Thornless Hawthorn	Remove
32	6"	Crataegus / Thornless Hawthorn	Remove
33	6"	Crataegus / Thornless Hawthorn	Remove
34	6"	Crataegus / Thornless Hawthorn	Remove
35	6"	Acer / Maple	Remove
36	6"	Acer / Maple	Remove
37	6"	Acer / Maple	Remove
38	6"	Acer / Maple	Remove
39	6"	Acer / Maple	Remove
40	6"	Acer / Maple	Remove
41	6"	Acer / Maple	Remove
42	6"	Acer / Maple	Remove
43	6"	Acer / Maple	Remove
44	6"	Acer / Maple	Remove
45 - 69	6" - 15"	Cottonwoods and Willow	Remove
70	6"	Acer / Maple	Save
71	6"	Acer / Maple	Save
72	10"	Crataegus / Thornless Hawthorn	Save
73	6"	Crataegus / Thornless Hawthorn	Save
74	10"	Crataegus / Thornless Hawthorn	Save
75	10"	Crataegus / Thornless Hawthorn	Save
76	10"	Crataegus / Thornless Hawthorn	Save
77	12"	Crataegus / Thornless Hawthorn	Save
78	12"	Crataegus / Thornless Hawthorn	Save
79	6"	Acer / Maple	Save
80	6"	Acer / Maple	Save
81	6"	Crataegus / Thornless Hawthorn	Save
82	10"	Crataegus / Thornless Hawthorn	Save
83	6"	Crataegus / Thornless Hawthorn	Save
84	12"	Crataegus / Thornless Hawthorn	Save
85	12"	Ulmus / Elm	Save
86 *	6"	Crataegus / Thornless Hawthorn	Save
87	10"	Crataegus / Thornless Hawthorn	Save
88	10"	Crataegus / Thornless Hawthorn	Save
89	12"	Crataegus / Thornless Hawthorn	Save

90	6"	Crataegus / Thornless Hawthorn	Save
91 *	10"	Crataegus / Thornless Hawthorn	Remove
92 *	12"	Crataegus / Thornless Hawthorn	Save
93	12"	Crataegus / Thornless Hawthorn	Save
94	12"	Crataegus / Thornless Hawthorn	Save
95	12"	Crataegus / Thornless Hawthorn	Save
96	10"	Crataegus / Thornless Hawthorn	Save
97	6"	Crataegus / Thornless Hawthorn	Save
98	6"	Crataegus / Thornless Hawthorn	Save
99	6"	Crataegus / Thornless Hawthorn	Save
100	6"	Crataegus / Thornless Hawthorn	Save
101	10"	Crataegus / Thornless Hawthorn	Save
102	12" Multi Stem	Deciduous	Save
103	6"	Crataegus / Thornless Hawthorn	Save
104	10"	Crataegus / Thornless Hawthorn	Save
105	12"	Crataegus / Thornless Hawthorn	Save
106	6"	Crataegus / Thornless Hawthorn	Save
107	12"	Crataegus / Thornless Hawthorn	Save
108	12"	Crataegus / Thornless Hawthorn	Save
109	12"	Crataegus / Thornless Hawthorn	Save
110	12"	Crataegus / Thornless Hawthorn	Save
111	12"	Populus / Cottonwood	Save
112	10"	Picea / Spruce	Save
113	16"	Acer / Maple	Save
114	6"	Acer / Maple	Save
115 *	6"	Acer / Maple	Save
116	12"	Picea / Spruce	Save
117	12"	Picea / Spruce	Save
118	12"	Picea / Spruce	Save
119	12"	Picea / Spruce	Save
120	6"	Acer / Maple	Save
121	10"	Tilia / Linden	Save
122	6"	Deciduous	Save
123	12"	Acer / Maple	Save
124	15"	Acer / Maple	Save
125	12"	Picea / Spruce	Save
126	12"	Picea / Spruce	Save
127	12"	Picea / Spruce	Save
128	12"	Picea / Spruce	Save
129	15"	Picea / Spruce	Save
130	12"	Picea / Spruce	Save
131	12"	Picea / Spruce	Save
132	12"	Picea / Spruce	Save
133	15"	Acer / Maple	Save
134	15"	Acer / Maple	Save
135	6"	Picea / Spruce	Save
136	10"	Acer / Maple	Save
137 *	10"	Tilia / Linden	Save
138	6"	Acer / Maple	Save
139	6"	Acer / Maple	Save
140	6"	Acer / Maple	Save
141	6"	Acer / Maple	Save
142	6"	Ornamental Deciduous	Save
143	6"	Ornamental Deciduous	Save
144	10"	Ornamental Deciduous	Save
145	6"	Ornamental Deciduous	Save
146	6"	Ornamental Deciduous	Save
147	6"	Ornamental Deciduous	Save
148	6"	Tilia / Linden	Save
149	6"	Tilia / Linden	Save
150	6"	Tilia / Linden	Save
151	6"	Ornamental Deciduous	Save
152	6"	Ornamental Deciduous	Save
153	6"	Ornamental Deciduous	Save
154	12"	Tilia / Linden	Save
155	6"	Ornamental Deciduous	Save
156	12"	Acer / Maple	Save
157	12"	Ornamental Deciduous	Save
158-170 *	10" - 15"	Picea / Spruce	Save

*Indicates tree not found on recent survey done by others

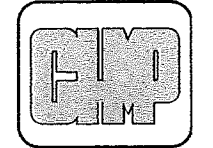
Notes:

- Tree numbers 1 through 44 are scheduled to be removed and are pink tags.
- Trees numbered 45 through 69 are scheduled to be removed by the field. They are located in the existing detention area.
- In addition to the trees identified along the west property line, the Korean Spruce Vibururn shrubs, 6'-8' high.



TREE SURVEY

CHMP INC.
8108 TERRITORIAL ROAD
GRAND BLANC, MI 48438
TELEPHONE 810/882-8810



ARCHITECTURE
ENGINEERING
LANDSCAPE ARCHITECTURE
SURVEYING

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ADDITION TO
Audi of Rochester Hills
45441 DEQUINDRE ROAD, ROCHESTER HILLS, MICHIGAN 48307

PROJECT NO. B000500
DATE 6-17-16
DATE REVISED
ISSUED FOR: DATE
60% SUBMITTAL, 6-20-16
SITE PLAN APPROVAL, 6-28-16
SITE PLAN APPROVAL, 8-10-16
SITE PLAN APPROVAL, 9-1-16

SHEET NO.
TS-2
OF
CITY FILE 900-0015



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REVISION INDEX	
1.	NO CHANGES



ARCHITECTURE
 ENGINEERING
 LANDSCAPE ARCHITECTURE
 SURVEYING

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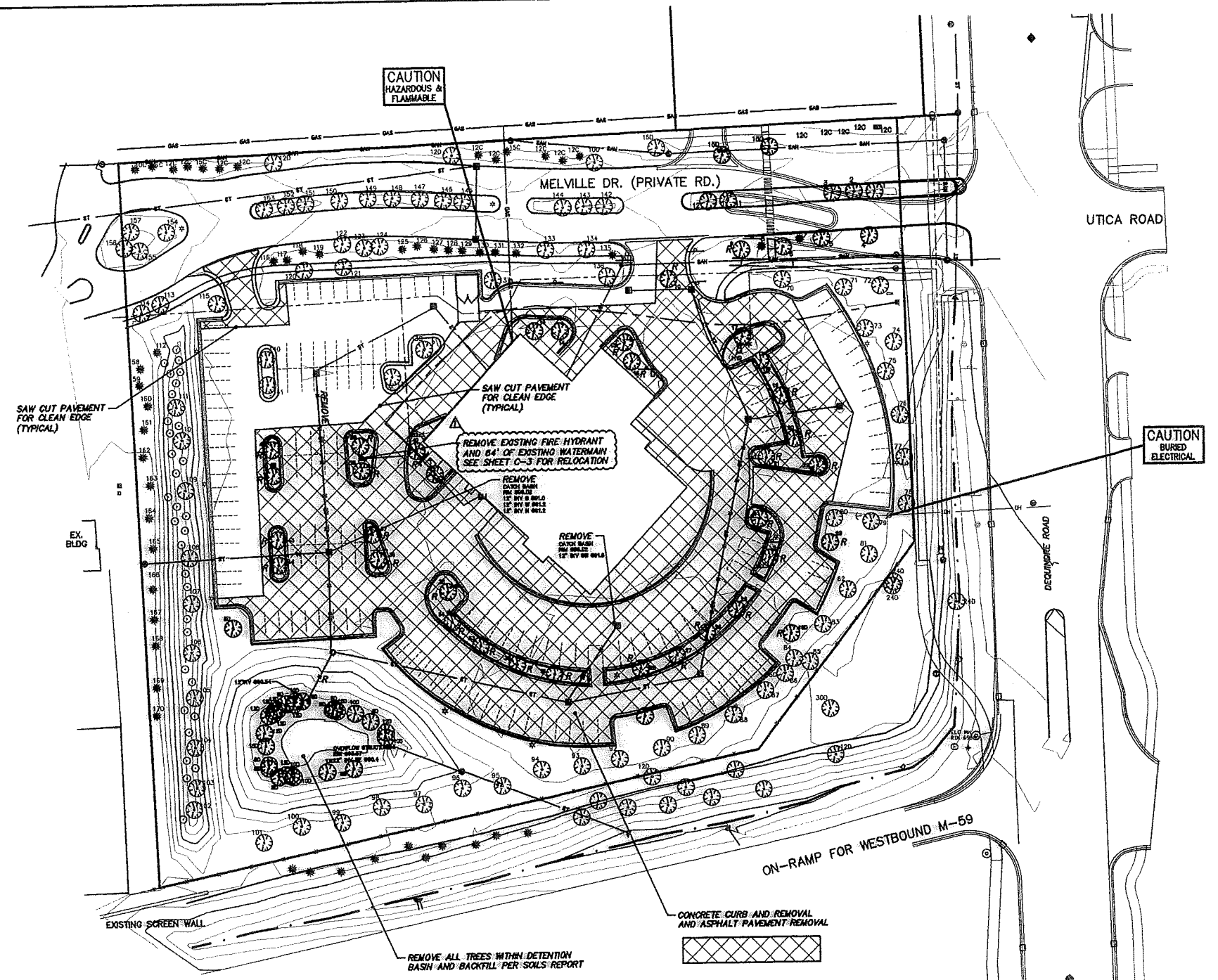
ADDITION TO
Audi of Rochester Hills
 45441 DEQUINDRE ROAD, ROCHESTER HILLS, MICHIGAN 48307

PROJECT NO. 15000800
 DATE 6-28-16
 DATE REVISION 8-8-16
 ISSUED FOR: DATE
 60% SUBMITTAL 6-22-16
 SITE PLAN APPROVAL 6-28-16
 SITE PLAN APPROVAL 8-10-16
 SITE PLAN APPROVAL 9-9-16

SHEET NO.
C-1
 OF X
 CITY FILE 900-0015

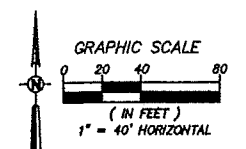
SITE DEMOLITION

1. THE WORK COMPRISES ALL DEMOLITION, REQUIRED PROTECTIVES AND DEBRIS REMOVAL AS ENUMERATED ON THE DRAWINGS AND RELATED WORK NOT SPECIFICALLY MENTIONED, BUT REQUIRED FOR A COMPLETE JOB.
2. THE CONTRACTOR SHALL PROCURE ALL PERMITS NECESSARY TO EXECUTE THE CONTRACT WORK.
3. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL SECURE CERTIFICATES OF COMPLETION FOR APPLICABLE GOVERNING AUTHORITIES AND FORWARD ONE (1) COPY OF EACH TO THE OWNER.
4. THE DEMOLITION CONTRACTOR SHALL BE LICENSED BY THE STATE OF MICHIGAN AND BY LOCAL GOVERNING AUTHORITIES AS MAY BE REQUIRED.
5. ALL WORK SHALL BE EXECUTED IN A SAFE MANNER AND CARE EXERCISED TO ASSURE NO DAMAGE TO PROPERTY AND ROADWAYS.
6. THE CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIMSELF COMPLETELY WITH THE EXISTING CONDITIONS AND THE EXTENT OF DEMOLITION WORK REQUIRED UNDER THIS CONTRACT.
7. IF TOXIC MATERIALS OR ASBESTOS ARE ENCOUNTERED, CEASE OPERATIONS AND NOTIFY OWNER IMMEDIATELY SO THAT PROPER DISPOSAL CAN BE ACCOMPLISHED.
8. DISCONNECT, REMOVE AND CAP ALL DESIGNATED UTILITY LINES AND CONDUIT WITHIN THE DEMOLISHED AREA AND AS SPECIFICALLY NOTED OUTSIDE THE DEMOLITION AREA.
9. PROVIDE SUCH TEMPORARY SHORING, BRACING OR OTHER RESTRAINTS AS MAY BE REQUIRED FACILITATE COMPLETION OF THE DEMOLITION WORK IN A SAFE AND PROPER MANNER, AND TO ASSURE THE INTEGRITY OF THE STRUCTURE THAT IS TO REMAIN.
10. THE CONTRACTOR SHALL PROVIDE BARRICADES, BLINKER LIGHTS, SIGNS, ETC. AS MAY BE REQUIRED TO CONTAIN DEMOLITION OPERATIONS AND DEBRIS AND TO PROTECT ALL PEDESTRIAN AND VEHICULAR TRAFFIC DURING THE DEMOLITION WORK. ALL BARRICADES SHALL BE OF THE TYPE REQUIRED BY AND CONSTRUCTED TO THE STANDARDS OF THE AGENCY OR MUNICIPALITY WITHIN WHOSE JURISDICTION THE WORK WILL BE COMPLETED.
11. CEASE OPERATIONS AND NOTIFY MUNICIPALITY IMMEDIATELY IF ADJACENT STRUCTURES APPEAR TO BE ENDANGERED. DO NOT RESUME OPERATIONS UNTIL CORRECTIVE MEASURES HAVE BEEN TAKEN.
12. DO NOT BURN OR BURY MATERIALS ON SITE.
13. REMOVE CONCRETE SLABS ON GRADE.
14. ALL DEMOLISHED MATERIAL SHALL BE REMOVED FROM THE SITE UNLESS SPECIFICALLY DIRECTED TO THE CONTRARY AND SHALL BE DISPOSED OF IN A PROPER AND LEGAL MANNER. THE SELECTION OF THE DUMP SITE IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
15. ADJACENT STREETS AND DRIVES SHALL BE KEPT FREE OF WASTE MATERIAL RESULTING FROM TRUCKING. TRUCK BEDS SHALL BE TIGHT AND TRIMMED TO INSURE MINIMUM SPILLAGE. STREETS AND DRIVES SHALL BE CLEANED AS REQUIRED WHEN DIRECTED TO ELIMINATE ANY DEBRIS DEPOSITED.
16. ALL EXISTING ON-SITE TREES SHALL BE REMOVED AS A PART OF THE SITE DEMOLITION PROCESS. REFER TO SHEET 06 FOR REPLACEMENT TREE CALCULATIONS.
17. CONTRACTOR SHALL REMOVE ALL ON-SITE DIRECTIONAL SIGNS AS REQUIRED TO COMPLETE SITE RENOVATIONS.



LEGEND

- TYPICAL TREE & MANHOLE
- SHIELD SIGN & MANHOLE
- WATERMAIN, HYDRANT & VALVE
- GAS MAIN & VALVE
- SANITARY SEWERING & MANHOLE
- UNDER GROUND ELECTRIC & MANHOLE
- OVERHEAD ELECTRIC POLE & GUY WIRE
- CATCH BASIN (CURB & POLLS)
- WATER MANHOLE
- TYPICAL CURTAIN LINE
- FENCE
- GUARD RAIL
- LIGHT POLE
- SIGN
- STREET BOX
- MANHOLE
- POWER WELL
- R-REMOVE



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REVISION INDEX	
1.	PER CITY OF ROCHESTER HILLS COMMENTS, 7-26-16

DEMOLITION PLAN



ARCHITECTURE
ENGINEERING
LANDSCAPE ARCHITECTURE
SURVEYING

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ADDITION TO
Audi of Rochester Hills
45441 DEQUINDRE ROAD, ROCHESTER HILLS, MICHIGAN 48307

GENERAL NOTES

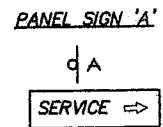
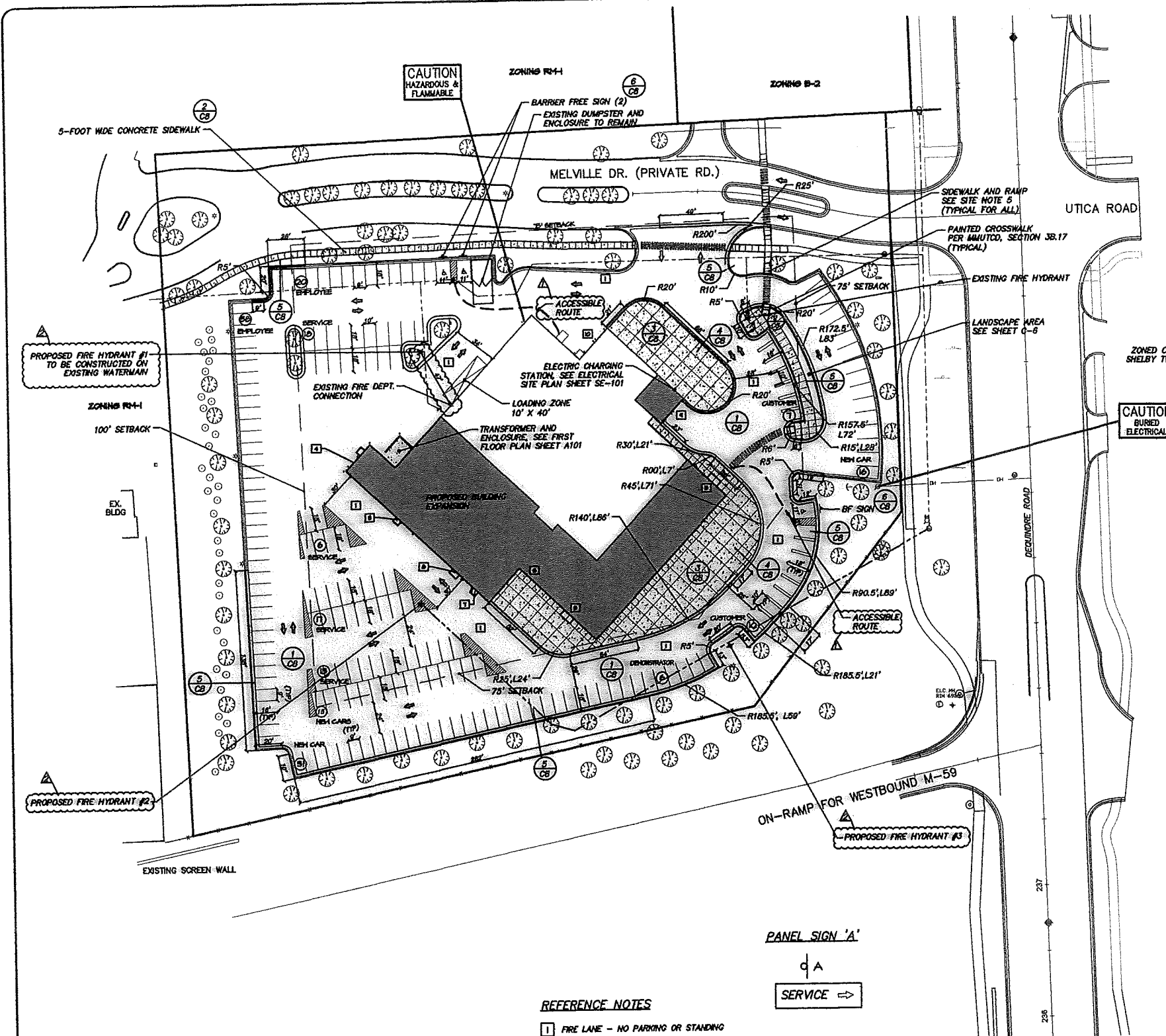
1. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE CITY OF ROCHESTER HILLS, OAKLAND COUNTY ROAD COMMISSION, OAKLAND COUNTY DEPARTMENT OF TRANSPORTATION, AND THE MICHIGAN DEPARTMENT OF ENVIRONMENTAL QUALITY (MDEQ) WHERE APPLICABLE. REFER TO CITY OF ROCHESTER HILLS FOR ALL NOTES AND DETAILS RELATED TO PAVING, SANITARY SEWER, STORM SEWER AND WATERMAIN CONSTRUCTION.
2. CHMP, INC. SHALL NOT BE RESPONSIBLE FOR MEANS, METHODS, PROCEDURES, TECHNIQUES, OR SEQUENCES OF CONSTRUCTION, NOR THE SAFETY ON THE JOB SITE, NOR SHALL CHMP, INC. BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THESE DOCUMENTS.
3. THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER, ENGINEER, CITY OF ROCHESTER HILLS, OAKLAND COUNTY, AND THE STATE OF MICHIGAN FROM ALL LIABILITIES FOR INJURY TO PERSONS, OR DAMAGE TO OR LOSS OF PROPERTY OR ANY OTHER LOSS, COST OR EXPENSE, AS A RESULT OF THE ACTIONS OF THE CONTRACTOR, HIS EMPLOYEES, AGENTS, OR SUBCONTRACTORS.
4. THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND ELEVATION OF EXISTING UTILITIES AND PROPOSED UTILITY CROSSINGS IN THE FIELD PRIOR TO CONSTRUCTION. FURTHER, THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
5. THREE (3) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL TELEPHONE MISS DIG (800-482-7171) FOR THE LOCATION OF UNDERGROUND GAS AND CABLE FACILITIES AND SHALL NOTIFY REPRESENTATIVES OF OTHER UTILITIES LOCATED IN THE VICINITY OF THE WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY AND/OR OBTAIN ANY INFORMATION NECESSARY REGARDING THE PRESENCE OF UNDERGROUND UTILITIES THAT AFFECT THIS JOB.
6. PRIOR TO CONSTRUCTION, ALL EXISTING UTILITIES AT PROPOSED CONNECTIONS AND CROSSINGS SHALL BE FIELD EXCAVATED TO VERIFY LOCATION AND ELEVATION. FIELD INFORMATION SHALL BE SUPPLIED TO THE ENGINEER SO THAT THE ENGINEER MAY CONFIRM, ADJUST OR REVISE DESIGN ELEVATIONS OF PROPOSED UTILITIES.
7. ALL NECESSARY PERMITS, BONDS, INSURANCES, ETC., SHALL BE OBTAINED AND PAID FOR BY THE CONTRACTOR REQUIRING SUCH PERMITS, BONDS, ETC.
8. THE CONTRACTOR SHALL ARRANGE FOR A PRE-CONSTRUCTION MEETING TWO (2) WEEKS PRIOR TO THE START OF CONSTRUCTION TO BE ATTENDED BY REPRESENTATIVES OF ALL PERMIT ISSUING AGENCIES TO COORDINATE THE WORK, INSPECTIONS AND TIMING OF ALL PARTIES.
9. THE CONTRACTOR SHALL NOTIFY THE PERMIT ISSUING AGENCIES THREE (3) DAYS PRIOR TO CONSTRUCTION FOR REQUIRED INSPECTIONS. THE CONTRACTOR SHALL PAY FOR ALL NECESSARY PERMITS, BONDS, AND INSURANCE.

SITE NOTES

1. WORKMANSHIP AND MATERIALS FOR ALL BITUMINOUS PAVING SHALL BE IN ACCORDANCE WITH MDT STANDARD SPECIFICATIONS, 2012 EDITION.
2. CONCRETE PAVING SHALL BE REINFORCED IN ACCORDANCE WITH DETAILS 2 AND 3 ON SHEET C-8. PROVIDE EXPANSION AND CONTROL JOINTS IN ACCORDANCE WITH DETAIL R-22-1 AND DETAILS 2 AND 3 ON SHEET C-8. COORDINATE SIDEWALK CONTROL JOINT LOCATIONS WITH CONCRETE STOOP FOOTINGS.
3. STRIPE PARKING SPACES AS INDICATED IN ACCORDANCE WITH MDT SPECIFICATION, SECTION 811. LINE PAINT FOR PARKING SPACE STRIPING SHALL BE YELLOW, 4" WIDE. BARRIER FREE STRIPING, AISLES AND SYMBOLS SHALL BE BLUE.
4. BARRIER FREE PARKING SPACE AND ACCESS AISLE SHALL HAVE A MAXIMUM SLOPE OF 1:50 (2%). PROVIDE SIGN AND PAINT STRIPING TO MEET AMERICANS WITH DISABILITIES ACT (ADA) REQUIREMENTS. MOUNT SIGN ON POST, 5'-0" ABOVE GROUND. ONE SIGN SHALL BE DESIGNATED AS "VAN ACCESSIBLE".
5. ALL PEDESTRIAN FACILITIES WHERE NOTED SHALL COMPLY WITH ADA REQUIREMENTS. MAXIMUM RAMP SLOPE SHALL BE 1:12 (8.33%) MAXIMUM SLOPE ON SIDE FLARES SHALL BE 1:10 (10%). REFER TO MDT STANDARD DETAIL R-22-1 (SLOPE) FOR SIDEWALK RAMP AND DETECTABLE WARNING DETAILS. REFER TO MDT STANDARD DETAIL R-22-1 FOR DRIVEWAY OPENINGS AND APPROACHES AND CONCRETE SIDEWALK DETAILS.
6. ALL PAVED PARKING AREAS SHALL BE ILLUMINATED.
7. SEE ARCHITECTURAL DRAWINGS FOR COMPLETE BUILDING DIMENSIONS.
8. THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL, COUNTY, STATE, AND LOCAL REGULATIONS FOR ALL WORK THAT TAKES PLACE ON THE SITE.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING UP THE PREMISES, AND UPON COMPLETION OF THE PROJECT, LEAVE THE SITE IN AN ACCEPTABLE CONDITION AS DETERMINED BY THE LOCAL JURISDICTION.
10. THE CONTRACTOR SHALL OBTAIN A PERMIT FROM THE OAKLAND COUNTY ROAD COMMISSION AND/OR MICHIGAN DEPARTMENT OF TRANSPORTATION FOR WORK PERFORMED WITHIN THE PUBLIC ROAD RIGHT-OF-WAY, INCLUDING APPLICATION, FEES, BONDS, AND INSURANCE.
11. THE CONTRACTOR SHALL PAY FOR AND OBTAIN ALL PERMITS REQUIRED BY FEDERAL, STATE, LOCAL, OR PRIVATE AGENCIES AND PAY ALL CHARGES FOR INSPECTION AND TESTING.
12. CONTRACTOR SHALL COORDINATE UTILITY SERVICES (GAS, ELECTRIC, TELEPHONE, CABLE, ETC.) WITH LOCAL AGENCIES. SEE CONTACT LIST ON COVER SHEET.
13. ALL SIGNS SHALL MEET THE REQUIREMENTS OF SECTION 138-8.603 AND CHAPTER 134 OF THE CITY CODE OF ROCHESTER HILLS AND BE UNDER A SEPARATE PERMIT ISSUED BY THE BUILDING DEPARTMENT AND COMPLY WITH AUDI STANDARDS.
14. ALL ASPHALT PAVEMENT AREAS OUTSIDE THE AREA OF NEW CONSTRUCTION SHALL BE SEAL COATED AND STRIPED AT THE END OF THE PROJECT.

FIRE DEPARTMENT NOTES

1. FIRE LANES SHALL BE DESIGNATED BY THE FIRE CODE OFFICIAL, AND SHALL BE CONSPICUOUSLY POSTED ON BOTH SIDES OF THE FIRE LANE, WITH FIRE LANE SIGNS SPACED NOT MORE THAN 100 FEET APART. FIRE LANE SIGNS SHALL READ "NO STOPPING, STANDING, PARKING, FIRE LANE", AND SHALL CONFORM TO THE MICHIGAN MANUAL OF UNIFORM TRAFFIC.
2. CONSTRUCTION SITES SHALL BE SAFEGUARDED IN ACCORDANCE WITH IFC 2006 CHAPTER 14.
3. OPEN BURNING IS NOT PERMITTED INCLUDING THE BURNING OF TRASH, DEBRIS OR LAND CLEARING MATERIALS. OPEN BURNING FOR WARMING OF SAND AND/OR WATER FOR THE PREPARATION OF MORTAR SHALL BE WITHIN THE CITY OF ROCHESTER HILLS BURN PERMIT GUIDELINES.
4. PLACE "NO PARKING FIRE DEPARTMENT CONNECTION" SIGN OVER FIRE DEPARTMENT CONNECTION.



REFERENCE NOTES

- 1 FIRE LANE - NO PARKING OR STANDING
- 2 SERVICE ENTRY
- 3 CAR WASH EXIT
- 4 SHOWROOM ENTRY
- 5 VEHICLE HANDOVER EXIT
- 6 PARTS STORAGE ENTRY
- 7 OIL STORAGE ENTRY
- 8 SERVICE RECEPTION ENTRY
- 9 SERVICE RECEPTION EXIT

SITE DATA

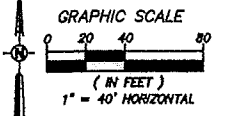
ZONING B-3 WITH FB-2 OVERLAY
PARCEL AREA 5.04 AC
EXISTING LAND USE AUTO DEALER
PROPOSED LAND USE AUTO DEALER
BUILDING COVERAGE 15%
BUILDING CONSTRUCTION TYPE 2B

PARKING SCHEDULE

PARKING TYPE	REQUIRED	PROVIDED
CUSTOMER	AUDI DESIGN INTENT 17 (1 BARRIER FREE)	17
EMPLOYEE	1 / EMPLOYEE (2 BARRIER FREE)	58
SERVICE	2.5 / SERVICE STALL	54
NEW CAR	AUDI DESIGN INTENT 62	62
DEMONSTRATOR	AUDI DESIGN INTENT 6	6

LEGEND

- FROM OWNER & MANUFACTURER
- EXISTING SEWER & MANHOLE
- SANITARY SEWER & MANHOLE
- GAS MAIN & VALVE
- WATER TELEPHONE & MANHOLE
- OVERHEAD ELECTRIC & MANHOLE
- OVERHEAD ELECTRIC POLE & GUY WIRE
- UNDER GROUND ELECTRIC & MANHOLE
- UNDER GROUND ELECTRIC POLE & GUY WIRE
- UNDER GROUND WATER MAIN
- CONTOUR LINE
- FENCE
- CURB BAL
- LIGHT POLE
- SIGN
- STREET BOX
- MANHOLE
- WATER WELL



SITE PLAN



LOCATION OF ALL UNDERGROUND UTILITIES AS SHOWN ARE APPROXIMATE. ALL LOCATIONS MUST BE FIELD VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.

REVISION INDEX

NO.	DESCRIPTION
1	PER CITY OF ROCHESTER HILLS COMMENTS, 7-26-16
2	PER FIRE DEPARTMENT COMMENTS, 8-24-16

PROJECT NO. 16000000
DATE 8-28-16
DATE REVISED 8-24-16
ISSUED FOR: DATE
60% SUBMITTAL 8-20-16
SITE PLAN APPROVAL 8-23-16
SITE PLAN APPROVAL 8-10-16
SITE PLAN APPROVAL 8-1-16

DRAWN BY: [blank]
CHECKED BY: [blank]
DATE: [blank]

PROJECT NO. **C-2**
OF [blank] X
CITY FILE #00-0013



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ADDITION TO
Audi of Rochester Hills
 45441 DEQUINDRE ROAD, ROCHESTER HILLS, MICHIGAN 48307

PROJECT NO. 15000900
 DATE 6-28-16
 DATE REVISION 8-24-16
 ISSUED FOR: DATE
 60% SUBMITTAL 8-30-16
 SITE PLAN APPROVAL 8-28-16
 SITE PLAN APPROVAL 8-10-16
 SITE PLAN APPROVAL 8-4-16

SHEET NO.
C-3
 OF
 CITY FILE 000-0018

UTILITY NOTES

- REFER TO CITY OF ROCHESTER HILLS STANDARD DETAILS FOR ALL NOTES AND DETAILS RELATED TO PAVING AND STORM SEWER CONSTRUCTION.
- ALL CATCH BASINS SHALL HAVE UNDERDRAIN IN ACCORDANCE WITH CITY OF ROCHESTER HILLS STANDARD, SEE DETAIL.
- STORMWATER PRETREATMENT DEVICE SHALL BE PROVIDED IN ACCORDANCE WITH CITY OF ROCHESTER HILLS SPECIFICATIONS TO ACCOMMODATE THE 1-YEAR STORM EVENT (INTENSITY=1.8 INCHES PER HOUR) BASED UPON THE RATIONALE METHOD.
 WATER TREATMENT FLOW RATE = 5.0 ACRES x (C=0.75) x 1.8 IN/HR = 6.75 CFS
 STORMWATER TREATMENT DEVICE DETAILS CONFORMING TO THE ABOVE STANDARDS SHALL BE PROVIDED AS A PART OF THE ENGINEERING REVIEW PROCESS.
- NO SANITARY SEWER/WATER MAINS OF SERVICE LEADS ARE PROPOSED. EXISTING SERVICES WITHIN THE BUILDING SHALL BE UTILIZED.

UTILITY STATEMENT

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING RECORD DRAWINGS. THE ENGINEER MAKES NO GUARANTEE THAT THE UTILITIES COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE ENGINEER FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THE ENGINEER DOES CERTIFY THAT THE UTILITIES ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE.

UTILITY SERVICES

CONTRACTOR SHALL COORDINATE UTILITY SERVICES (GAS, ELECTRIC, TELEPHONE, CABLE, ETC.) WITH LOCAL AGENCIES. SEE CONTACT LIST ON COVER SHEET.

NPDES STATEMENT

NPDES STORM WATER DISCHARGE PERMIT: THE OWNER OF THE PROPERTY SHALL OBTAIN A NPDES STORM WATER DISCHARGE PERMIT FOR CONSTRUCTION ACTIVITIES FROM IDEQ AS REQUIRED UNDER PUBLIC ACT 451. THE NOTICE OF COVERAGE SHALL BE SUBMITTED THROUGH GDD-WNS WITH SOIL EROSION SOIL PERMIT APPLICATION. ALL IDEQ FEES SHALL ACCOMPANY THE NOTICE OF COVERAGE. EVIDENCE OF THIS PERMIT MAY BE REQUIRED PRIOR TO PLAN APPROVAL BY THE CITY OF ROCHESTER HILLS.

THE GROSS ACREAGE OF AREA DISTURBED IS 3 ACRES.
 A NPDES STORMWATER DISCHARGE PERMIT IS NOT REQUIRED.

DETENTION CALCULATIONS

Total Project Area (A)	=	5.00	acres
Total Area (A ₂) to MDOT R/W prior to 2000 building construction (per GW plans)	=	3.05	acres
Hard Surface Area	=	3.10	acres
Grass Area	=	1.90	acres
Net C	=	0.65	
Q _A = (A ₂) (0.2 cfs/acre)	=	0.61	cfs
Q ₀ = Q _A /AC	=	0.19	cfs/acre
Storage time for 25-year storm			
T ₂₅ = 25 + (80(62.5 Q ₀)) ^{1.2}			
T ₂₅	=	182.74	minutes
V ₅ = 12,900 (T ₂₅) (T ₂₅ +25) - 40(Q ₀) (T ₂₅)			
V ₅	=	9,982	cubic feet/acre-impervious
V _T = V ₅ AC	=	32,591	cubic feet
V _T	=	0.75	acre-feet

STORM SEWER STRUCTURE SCHEDULE

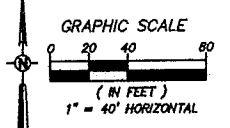
NUMBER	DIA. & TYPE	COVER	FLOATABLE TRAP/SUMP
CB #1	4" CB	E/W 7045, M1 GRATE, 7050 T1 BACK	BMP 12R/SUMP=36"
CB #2	4" CB	E/W 7045, M1 GRATE, 7050 T1 BACK	BMP 12R/SUMP=36"

SANITARY SEWER BASIS OF DESIGN

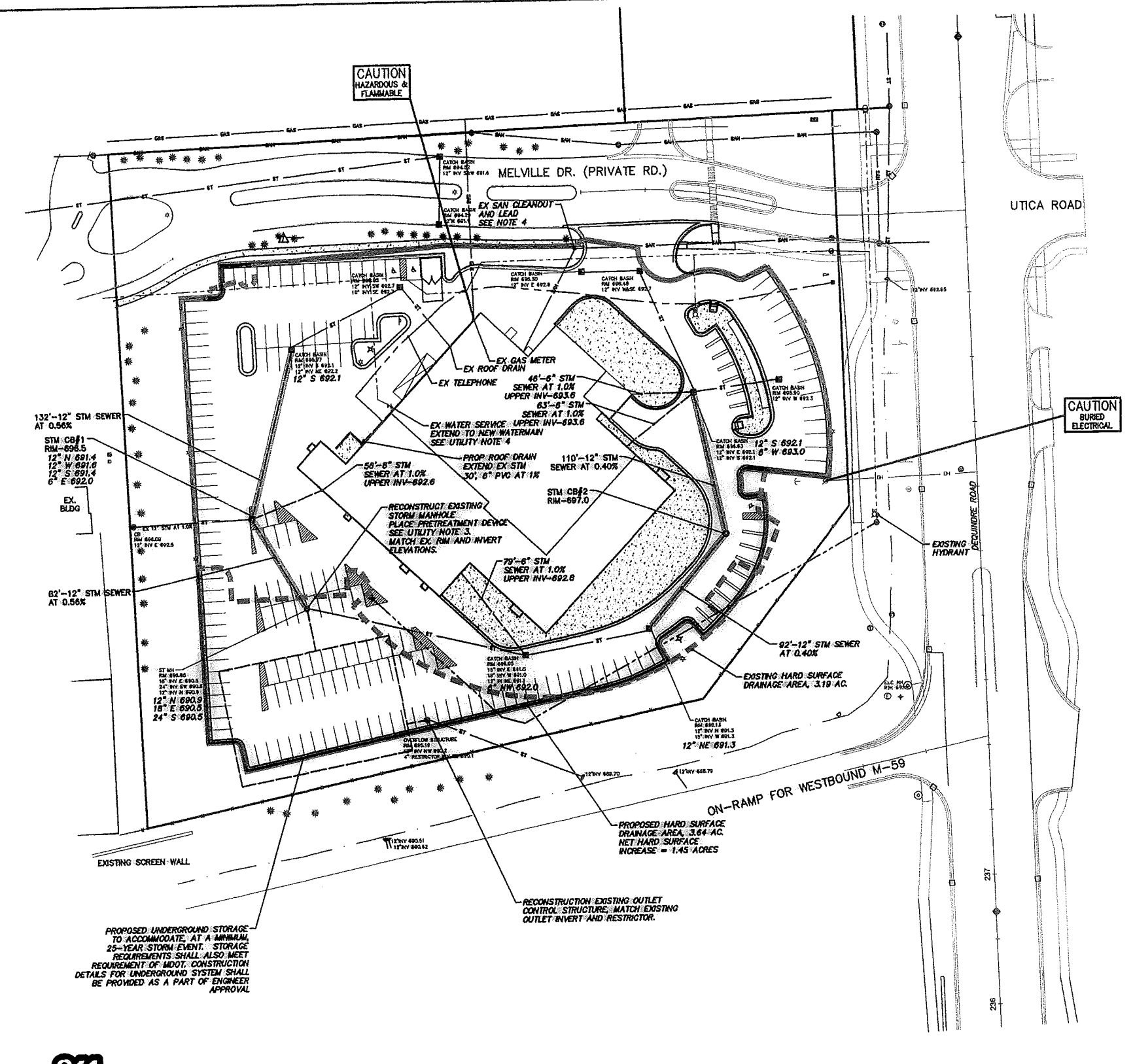
DESIGN SERVICE AREA = 44,500 SQUARE FEET
 USAGE FACTOR = 0.3 RESIDENTIAL EQUIVALENT UNITS (REU'S) PER 1,000 SF
 TOTAL REU'S = 13.35
 THE DESIGN PER CAPITA SEWAGE CONTRIBUTION PER REU IS 100 GALLONS PER DAY.
 WASTEWATER FLOW RATES:
 AVERAGE FLOW = 1,335 GALLONS PER DAY
 PEAK FLOW = 5,340 GALLONS PER DAY (0.03 CFS)
 EXISTING SANITARY CAPACITY, 36" AT 0.2% = 29.82 CFS.
 PEAK FLOW IS LESS THAN 1% OF OUTLET SEWER CAPACITY.

LEGEND

- STORM SEWER & MANHOLE
- SEWAGE TRENCH & MANHOLE
- UNDERGROUND HYDRANT & VALVE
- GAS MAIN & VALVE
- UNDERGROUND TELEPHONE & MANHOLE
- UNDERGROUND ELECTRIC & MANHOLE
- OVERHEAD ELECTRIC POLE & GUY WIRE
- CATCH BASIN (CUBIC & ROUND)
- WATER MANHOLE
- CONTOUR LINE
- 705
- FIELD
- BLIND PILE
- LIGHT POLE
- EXISTING PAVEMENT
- EXISTING ROAD
- WATER MAIN
- WATER MAIN
- SHAD BANDS/PILES CONTACTED TO FOR MOVED PROJECT



UTILITY PLAN

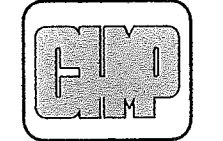


Know what's below.
 Call before you dig.

LOCATION OF ALL UNDERGROUND UTILITIES AS SHOWN ARE APPROXIMATE. ALL LOCATIONS MUST BE FIELD VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.

REVISION INDEX

1.	PER CITY OF ROCHESTER HILLS COMMENTS, 7-26-16
2.	PER CITY OF ROCHESTER HILLS COMMENTS, 8-24-16



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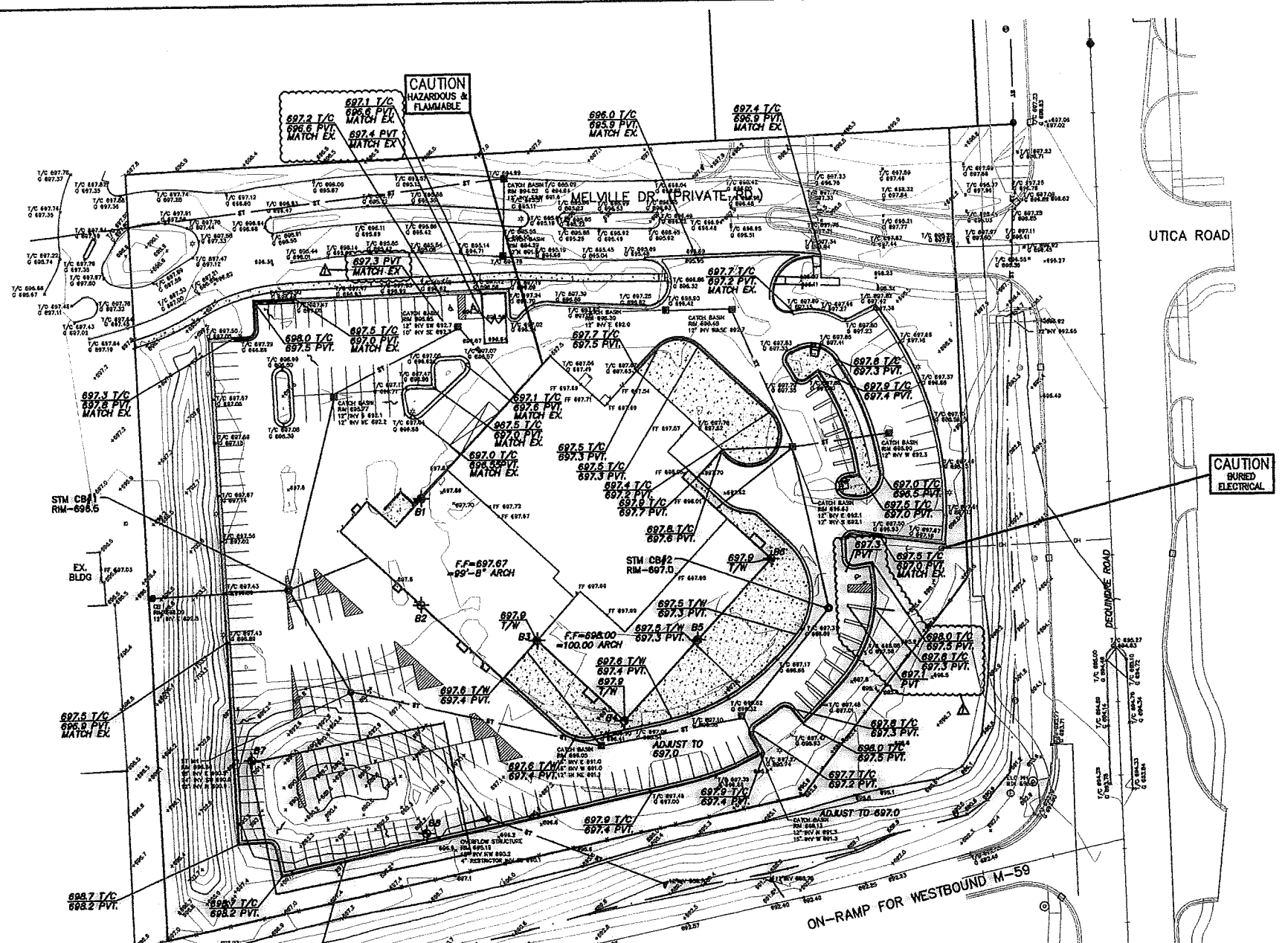
PROJECT NO. 15000800
DATE 6-24-16
DATE REVISED 8-10-16
ISSUED FOR: DATE
SUN 6:58-FTAL, 6-30-16
SITE PLAN APPROVAL, 8-30-16
SITE PLAN APPROVAL, 8-10-16
SITE PLAN APPROVAL, 9-14-16
SHEET NO. C-4
OF CITY FILE 800-0015

GRADING NOTES

1. REFER TO GEOTECHNICAL REPORT PREPARED BY SNYDER AND STALEY ENGINEERING, DATED MARCH 1, 2016.
2. SLOPE ALL PAVED SURFACES TO DRAIN TO STORM STRUCTURES. MINIMUM SLOPE ON NEW PAVED AREAS SHALL BE 1.0%, MAXIMUM SHALL BE 3.0%.
3. CHECK LOCATION OF ALL UTILITY LINES PRIOR TO DIGGING. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES TO UTILITIES AND/OR THE OWNER'S PROPERTY AND SHALL REPAIR, REPLACE OR RESTORE SAME AT THE CONTRACTOR'S EXPENSE. CALL MISS DIG (3) WORKING DAYS BEFORE DIGGING AT 1-800-482-7171.
4. SLOPE ALL SITE WORK UNIFORMLY BETWEEN NEW GRADES OR BETWEEN NEW GRADES AND EXISTING GRADES. THIS INCLUDES SLOPING ALL SITE WORK BETWEEN NEW GRADES AND RIM ELEVATION GRADES AT CATCH BASINS. TRANSITIONS BETWEEN CHANGE IN GRADES SHALL BE CONSTRUCTED WITH A MINIMUM 25 FOOT VERTICAL CURVE. PLAN GRADES INDICATE POINT OF INTERSECTION ELEVATIONS. AVOID ABRUPT GRADE CHANGES AT CATCH BASINS AND HIGH POINTS.
5. AREA OF BUILDINGS, WALKS, AND PAVING SHALL BE STRIPPED OF TOPSOIL. TOPSOIL SHALL BE STORED ON THIS CONSTRUCTION SITE FOR RE-USE. EXCESS EXCAVATED MATERIAL SHALL BE REMOVED FROM THIS CONSTRUCTION SITE.
6. ALL FILL NECESSARY TO PROVIDE SUBGRADES FOR INTERIOR CONCRETE FLOOR SLABS AND CONCRETE APRONS SHALL BE MICHIGAN DEPARTMENT OF TRANSPORTATION, CLASS II.
7. THE OWNER SHALL SUBMIT A DETAILED EROSION CONTROL PLAN IN ACCORDANCE WITH PART 91 OF ACT 451 SOIL EROSION AND SEDIMENT CONTROL FOR APPROVAL. THE CONTRACTOR SHALL OBTAIN SOIL EROSION CONTROL PERMIT FROM APPROVED PLAN, INCLUDING THE PAYMENT OF FEES AND THE PROVIDING OF NECESSARY BONDS. NO EARTH CHANGES OR EXCAVATION SHALL BE STARTED PRIOR TO THE ISSUANCE OF THIS PERMIT.
8. CONTRACTOR SHALL PROVIDE SOIL EROSION AND SEDIMENTATION CONTROL MEASURES IN ACCORDANCE WITH THE CITY OF ROCHESTER HILLS AND/OR OAKLAND COUNTY REQUIREMENTS. THE CONTRACTOR SHALL PROTECT ALL EXISTING AND PROPOSED STORM SEWER FACILITIES ON AND ADJACENT TO THE SITE DURING EXCAVATION AND CONSTRUCTION. ALL SEDIMENT SHALL BE CONTAINED ON-SITE. ANY SILT IN COUNTY DRAINS, AS A RESULT OF THIS PROJECT SHALL BE REMOVED BY THE CONTRACTOR.

BENCHMARKS

- NAVD-88 DATUM, FROM RTK OBSERVATION
- BENCH MARK #1:**
ARROW ON HYDRANT AT THE NORTHEAST CORNER OF DEQUINDRE AND MELVILLE DR. ELEVATION: 700.51
- BENCH MARK #2:**
ARROW ON HYDRANT IN ISLAND IN PARKING LOT BY THE MAINTENANCE ENTRANCE. ELEVATION: 700.56
- BENCH MARK #3:**
ARROW ON HYDRANT WEST SIDE OF DEQUINDRE ROAD BY THE POINT OF BEGINNING. ELEVATION: 697.60
- BENCH MARK #4:**
OUT SQUARE IN NORTH END OF LIGHT POLE CONCRETE BASE BY BUILDING SOUTHERLY CORNER. ELEVATION: 698.03
- BENCH MARK #5:**
OUT SQUARE IN EAST END OF LIGHT POLE CONCRETE BASE AT THE SOUTHWEST CORNER OF PARKING LOT. ELEVATION: 698.93
- BENCH MARK #6:**
ARROW ON HYDRANT IN ISLAND BY THE BUILDING WESTERLY CORNER. ELEVATION: 700.27
- BENCH MARK #7:**
OUT SQUARE IN EAST END OF LIGHT POLE CONCRETE BASE AT THE NORTHWEST CORNER OF PARKING LOT. ELEVATION: 698.91
- BENCH MARK #8:**
SET PK. NAIL IN NORTH FACE OF 6" TREE BY BUILDING WESTERLY CORNER. ELEVATION: 698.22



CAUTION
BURIED
ELECTRICAL

CAUTION
HAZARDOUS &
FLAMMABLE

PROPOSED UNDERGROUND STORAGE TO ACCOMMODATE, AT A MINIMUM, 25-YEAR STORM EVENT. STORAGE REQUIREMENTS SHALL ALSO MEET REQUIREMENT OF MDOT. CONSTRUCTION DETAILS FOR UNDERGROUND SYSTEM SHALL BE PROVIDED AS A PART OF ENGINEER APPROVAL.



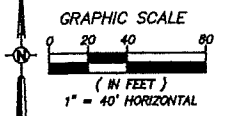
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SOIL BORINGS																									
<p>SNYDER & STALEY ENGINEERING, P.L.C. SOIL BORING LOG Project Name: Audi of Rochester Hills, 45-441 Dequindre Rd, Rochester Hills, MI 48307 Drawing No.: 15000800</p> <table border="1"> <thead> <tr> <th>Description of Material</th> <th>Depth (ft)</th> <th>Soil Type</th> <th>Moisture (%)</th> <th>Specific Gravity</th> <th>Notes</th> </tr> </thead> <tbody> <tr> <td>...</td> <td>...</td> <td>...</td> <td>...</td> <td>...</td> <td>...</td> </tr> </tbody> </table>	Description of Material	Depth (ft)	Soil Type	Moisture (%)	Specific Gravity	Notes	<p>SNYDER & STALEY ENGINEERING, P.L.C. SOIL BORING LOG Project Name: Audi of Rochester Hills, 45-441 Dequindre Rd, Rochester Hills, MI 48307 Drawing No.: 15000800</p> <table border="1"> <thead> <tr> <th>Description of Material</th> <th>Depth (ft)</th> <th>Soil Type</th> <th>Moisture (%)</th> <th>Specific Gravity</th> <th>Notes</th> </tr> </thead> <tbody> <tr> <td>...</td> <td>...</td> <td>...</td> <td>...</td> <td>...</td> <td>...</td> </tr> </tbody> </table>	Description of Material	Depth (ft)	Soil Type	Moisture (%)	Specific Gravity	Notes
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...																				

LEGEND

- TOTAL SEWER & MANHOLE
- SANITARY SEWER & MANHOLE
- TELEPHONE, POWER, & CABLE
- GAS MAIN & VALVE
- BURIED TELEPHONE & MANHOLE
- OVERHEAD TELEPHONE & MANHOLE
- OVERHEAD ELECTRIC, POLE, & GUY WIRE
- CATCH BASIN (FORM & ROAD)
- WALKER MANHOLE
- CONTOUR LINE
- FINISH
- EXISTING EAL
- LIGHT POLE
- SIGN
- STREET SIGN
- MANHOLE
- WALKER WELL



GRADING PLAN

- BZ SOIL BORING
- DRAINAGE FLOW
- EXISTING CONTOURS
- PROPOSED CONTOURS
- PVT. - TOP OF PAVEMENT
- T/C - TOP OF CURB
- T/W - TOP OF WALK



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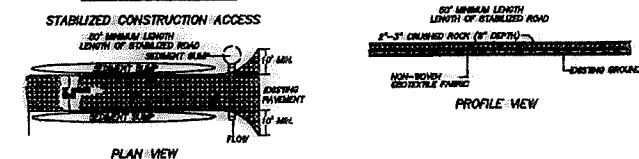
PROJECT NO. 1000800
DATE 6-28-16
DATE REVISED
ISSUED FOR: DATE
FOR SUBMITTAL 6-22-16
SITE PLAN APPROVAL 6-28-16
SITE PLAN APPROVAL 8-10-16
SITE PLAN APPROVAL 9-14-16

SHEET NO.
C-5
OF X
CITY FILE 800-0015

SOIL EROSION/SEDIMENT CONTROL NOTES

- CONSTRUCTION OPERATION SHALL BE SCHEDULED AND PERFORMED SO THAT PREVENTATIVE SOIL EROSION CONTROL MEASURES ARE IN PLACE PRIOR TO EXCAVATION IN CRITICAL AREAS AND TEMPORARY STABILIZATION MEASURES ARE IN PLACE IMMEDIATELY FOLLOWING BACKFILLING OPERATIONS.
- SPECIAL PRECAUTIONS SHALL BE TAKEN IN THE USE OF CONSTRUCTION EQUIPMENT TO PREVENT SITUATIONS THAT PROMOTE EROSION.
- CLEANUP SHALL BE DONE IN A MANNER TO ENSURE THAT EROSION CONTROL MEASURES ARE NOT DISTURBED.
- THE PROJECT SHALL CONTINUALLY BE INSPECTED FOR SOIL EROSION AND SEDIMENT CONTROL COMPLIANCE. DEFICIENCIES SHALL BE CORRECTED BY THE CONTRACTOR WITHIN 24 HOURS.
- PERMANENT STABILIZATION SHALL BE COMPLETED WITHIN 5 DAYS OF FINAL GRADE. IF PERMANENT STABILIZATION CANNOT BE COMPLETED WITHIN 5 DAYS, TEMPORARY SOIL EROSION CONTROL MEASURES MUST REMAIN IN PLACE AND BE MAINTAINED UNTIL PERMANENT STABILIZATION IS ACHIEVED.
- THE CONTRACTOR SHALL CONFORM TO PART 91 OF ACT 451 OF THE PUBLIC ACTS OF 1894 OF THE MICHIGAN COMPILED LAWS ENTITLED "THE SOIL EROSION AND SEDIMENT CONTROL ACT" DURING CONSTRUCTION AND CURRENT LOCAL ORDINANCES FOR EROSION AND SEDIMENTATION CONTROL.
- SILT FENCE LOCATION IS ALSO THE PHYSICAL LIMITS OF THE PROPOSED EARTH CHANGE.
- BURLAP IS NOT ALLOWED AND STRAW BALES CAN ONLY BE USED TO BACKUP SILT FENCES.
- THE CONTRACTOR SHALL PAY A FEE AND A BOND IS REQUIRED PRIOR TO ISSUANCE OF THE SOIL EROSION AND SEDIMENTATION CONTROL PERMIT.
- THE BOND RELEASE CONDITIONS FOR VEGETATIVE STABILIZATION ARE 97% COVER AND ONE INCH IN GROWTH. THE BOND SHALL NOT BE RELEASED UNTIL THE SITE IS PERMANENTLY STABILIZED.
- ON ALL SIDE SLOPES OF THE DETENTION BASIN AND THE RE-ROUTED SWALE PLACE STRAW BLANKET MULCH 0.5 LBS/ SY WITH A BIODEGRADABLE NETTING ON TOP SIDE SEWN ON 2 INCH CENTERS. FOR SLOPES EXCEEDING 3:1 USE A STRAW BLANKET WITH NETTING ON BOTH SIDES SEWN ON 2 INCH CENTERS.
- ALL PROPOSED AND EXISTING CATCH BASINS SHALL BE PROTECTED.
- CONTRACTOR SHALL INSPECT THE SOIL EROSION/SEDIMENT CONTROL DEVICES ONCE EACH WEEK AND/OR WITHIN 24 HOURS OF A PRECIPITATION EVENT WHICH RESULTS IN A STORM DISCHARGE FROM THE SITE. THE FOLLOWING STEPS SHALL BE IMPLEMENTED IF ANY DAMAGE HAS RESULTED FROM CONSTRUCTION OR WEAR.
- SEEDING SHALL BE PREPARED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. THE CONTRACTOR/INSPECTOR SHALL INSPECT THE AREA AFTER SEEDING IS COMPLETED. AREAS THAT ARE BARE OR NOT MULCHED PROPERLY SHALL BE SPOT SEEDED AND/OR RE-MULCHED.
- SILT FENCE SHALL BE TRENCHED IN, BACK-FILLED, AND STAPLED OR STAKED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS. MAINTENANCE INCLUDES THE REMOVING OF BUILT-UP SEDIMENT WHEN THE SEDIMENT ACCUMULATES TO 1/3 THE HEIGHT OF THE FENCE. CONTRACTOR SHALL REMOVE, REPLACE, RETRENCH, OR RE-BACKFILL THE FENCE IF IT FAILS. CONTRACTOR SHALL RE-INSTALL IF ANY PORTION OF THE FENCING WAS DAMAGED BY CONSTRUCTION MACHINERY.
- STOCK PILES SHALL BE SEEDED AND MULCHED AND RESEEDED IF SEEDING DOES NOT TAKE.
- ACCESS ROADS SHALL BE MAINTAINED AS NECESSARY. TO KEEP THEM EFFECTIVE, NEW LAYERS OF STONE SHALL BE ADDED AS OLD LAYERS BECOME COMPACTED. STEPS SHALL BE TAKEN TO REPAIR IF RUTS OR POOLING WATER APPEAR.
- INLET FILTERS SHALL BE INSPECTED FOR BUILD-UP OF SILT AND OTHER DEBRIS. THIS IS EVIDENT IF GEOTEXTILE/STONE STRUCTURE IS CAUSING FLOODING. MAINTENANCE SHALL CONSIST OF REMOVING OF SEDIMENTS WITH A STIFF BRISTLE BROOM OR SQUARE POINT SHOVEL. IF INLET FILTER IS BEYOND THIS LEVEL OF REPAIR, CONTRACTOR SHALL REPLACE BOTH THE STONE AND GEOTEXTILE FILTER.
- ANY TRACKING OF MUD OR DIRT ONTO PUBLIC OR PRIVATE ROADS SHALL BE REMOVED PROMPTLY.
- IF DUST BECOMES A PROBLEM, SPECIAL WATERING TECHNIQUES SHALL BE USED TO CONTROL DUST.

MUD-MAT DETAIL

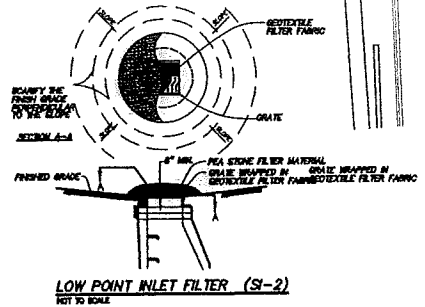
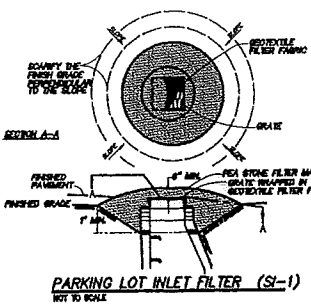
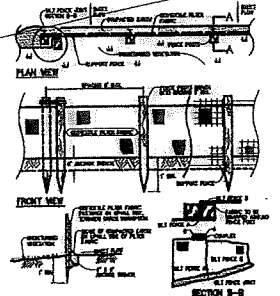
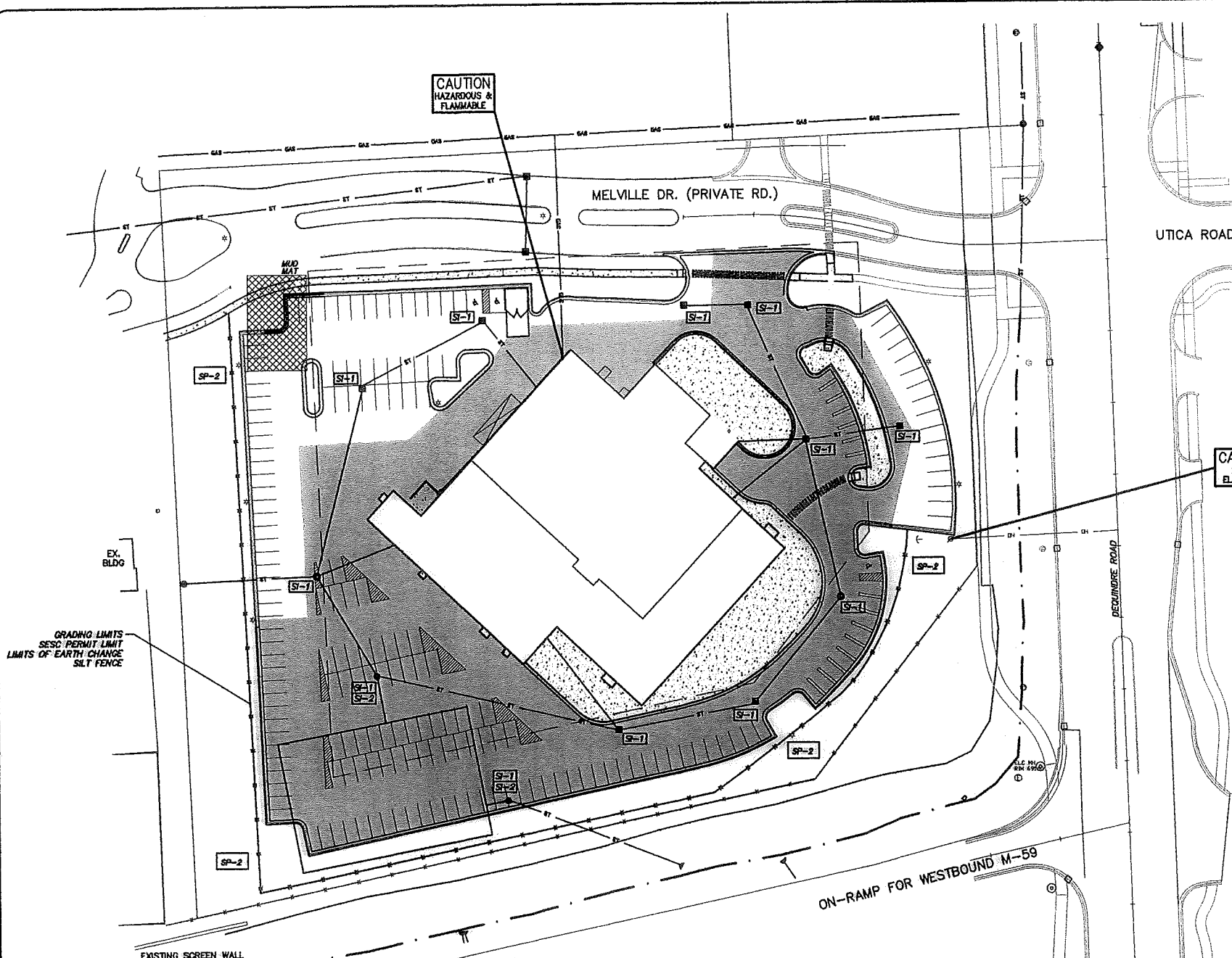
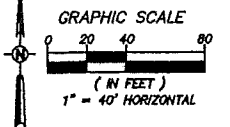


MUD-MAT SPECIFICATIONS

- STABILIZATION OF INTERIOR CONSTRUCTION ROADS IS REQUIRED TO MINIMIZE TRACKING OF SEDIMENT ONTO PUBLIC ROADWAYS AND TO MINIMIZE DISTURBANCE OF VEGETATION.
- STABILIZED CONSTRUCTION ENTRANCES SHALL BE LOCATED AT EVERY POINT WHERE CONSTRUCTION TRAFFIC ENTERS OR LEAVES A CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST BE ROUTED OVER THE ROCK/INGRESS/EGRESS CORRIDOR.
- STABILIZED CONSTRUCTION ACCESS ROAD SHOULD BE ESTABLISHED AT THE ONSET OF THE CONSTRUCTION ACTIVITIES AND MAINTAINED IN PLACE FOR THE DURATION OF THE CONSTRUCTION PROJECT.
 - INSTALLATION SHALL BE THE RESPONSIBILITY OF THE SITE CLEARING OF EXCAVATING CONTRACTOR.
 - ACCESS LOCATION SHOULD BE CLEARED OF WOODY VEGETATION.
 - NON-WOVEN GEO-TEXTILE FABRIC SHALL BE PLACED OVER THE EXISTING GROUND PRIOR TO LAYING STONE.
 - ACCESS LENGTH SHALL BE A MINIMUM OF 50'.
 - ACCESS WIDTH SHALL BE 12' MINIMUM, FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
 - CRUSHED AGGREGATE (1" TO 3") OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT, SHALL BE PLACED AT LEAST 6" DEEP OVER THE LENGTH AND WIDTH OF THE INGRESS/EGRESS CORRIDOR.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN EVENT. STABILIZED ENTRANCES SHALL BE REPAIRED AND ROCK ADDED AS NECESSARY.

LEGEND

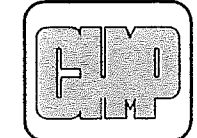
- STONY AREA & SANDPILE
- UTILITY TRENCH & MANHOLE
- MISCELLANEOUS, UNKNOWN & UNCL.
- ASB BARR & WALL
- GRADES, TRENCHES & MANHOLE
- UNDERGROUND ELECTRIC & MANHOLE
- OVERHEAD ELECTRIC POLE & BAY WIRE
- SAFETY BARR (CURB & ROAD)
- WATER MANHOLE
- CONTOUR LINE
- FENCE
- GRASS BAIL
- UTILITY POLE
- SW
- STREET BOX
- MANHOLE
- INSPECTOR WELL



REVISION INDEX	
1.	NO CHANGES

811
Know what's below.
Call before you dig.
LOCATION OF ALL UNDERGROUND UTILITIES AS SHOWN ARE APPROXIMATE. ALL LOCATIONS MUST BE FIELD VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.

SOIL EROSION CONTROL PLAN



ARCHITECTURE
ENGINEERING
LANDSCAPE ARCHITECTURE
SURVEYING

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ADDITION TO
Audi of Rochester Hills
45441 DEQUINDRE ROAD, ROCHESTER HILLS, MICHIGAN 48067

PROJECT NO. 8000800
DATE 6-28-16
DATE REVISION 8-9-16
ISSUED FOR: DATE
60% SUBMITTAL, 6-30-16
SITE PLAN APPROVAL, 8-28-16
SITE PLAN APPROVAL, 8-10-16
SITE PLAN APPROVAL, 9-4-16

SHEET NO.
C-6
OF X
CITY FILE 900-0015

**CITY OF ROCHESTER HILLS
LANDSCAPING REQUIREMENT SUMMARY**

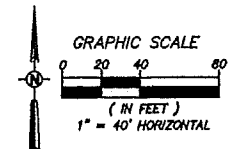
- Tree Removals (See Tree Survey)**
Section 12-396, 397, 398 and 399
Required:
1 replacement for each removal:
Regulated tree numbers 1-69 and 91 = 70 trees removed
Credit for saved on-site trees not required elsewhere = 5
Provide to city tree fund 65 trees @ \$205.50 = \$13,357.50
- Perimeter Parking Lot (Dequindre, 170 linear feet)**
Section 138-12, 301, B
Required:
1 Deciduous tree / 25 lf = 7
1 Ornamental tree / 35 lf = 5
Shrubs @ 30" on center = 68
Provided:
8 (existing)
5 (new)
80 (new)
Tree Credit / (Deficit)
1
- RM Landscaping (Dequindre, 380 linear feet)**
Section 138-12, 304, A - E
Required:
1 Deciduous tree / 35 lf = 11
1 Ornamental tree / 60 lf = 7
Provided:
16 (existing) + 4 (new)
8 (new)
Tree Credit / (Deficit)
9
1
- M-59 Frontage (500 linear feet)**
Section 138-12, 300, C (Buffer type D)
Required:
2.5 Deciduous trees / 100 lf = 13
1.5 Ornamental trees / 100 lf = 8
5 Evergreen trees / 100 lf = 25
8 Shrubs / 100 lf = 40
Provided:
19 (existing)
8 (new)
19 (new)
14 (new) + 30 perennials (new)
Tree Credit / (Deficit)
6
(6)
- West Property Line (415 linear feet, RM-1 Adjacent Zoning)**
Section 138-12, 300, B (Buffer type B)
Required:
2 Deciduous trees / 100 lf = 8
1.5 Ornamental trees / 100 lf = 6
2 Evergreen trees / 100 lf = 8
4 Shrubs / 100 lf = 17
Provided:
12 (existing)
0
14 (existing)
32 (existing)
Tree Credit / (Deficit)
4
6
- Interior Parking Lot Landscaping**
Section 138-12, 301, A
Required:
5% of Vehicle use area = 3500
1 Deciduous Tree / 150 square feet = 23
Provided:
2380 sf
4 (existing) + 3 (new)
Tree Credit / (Deficit)
(16)
- Melville Road Frontage**
Private Road with existing and proposed landscaping
Locate new sidewalk to avoid existing trees. Trim trees as required to provide 10 foot clear height within 5' of sidewalk.
Net Tree Credits = 5

PLANT LIST

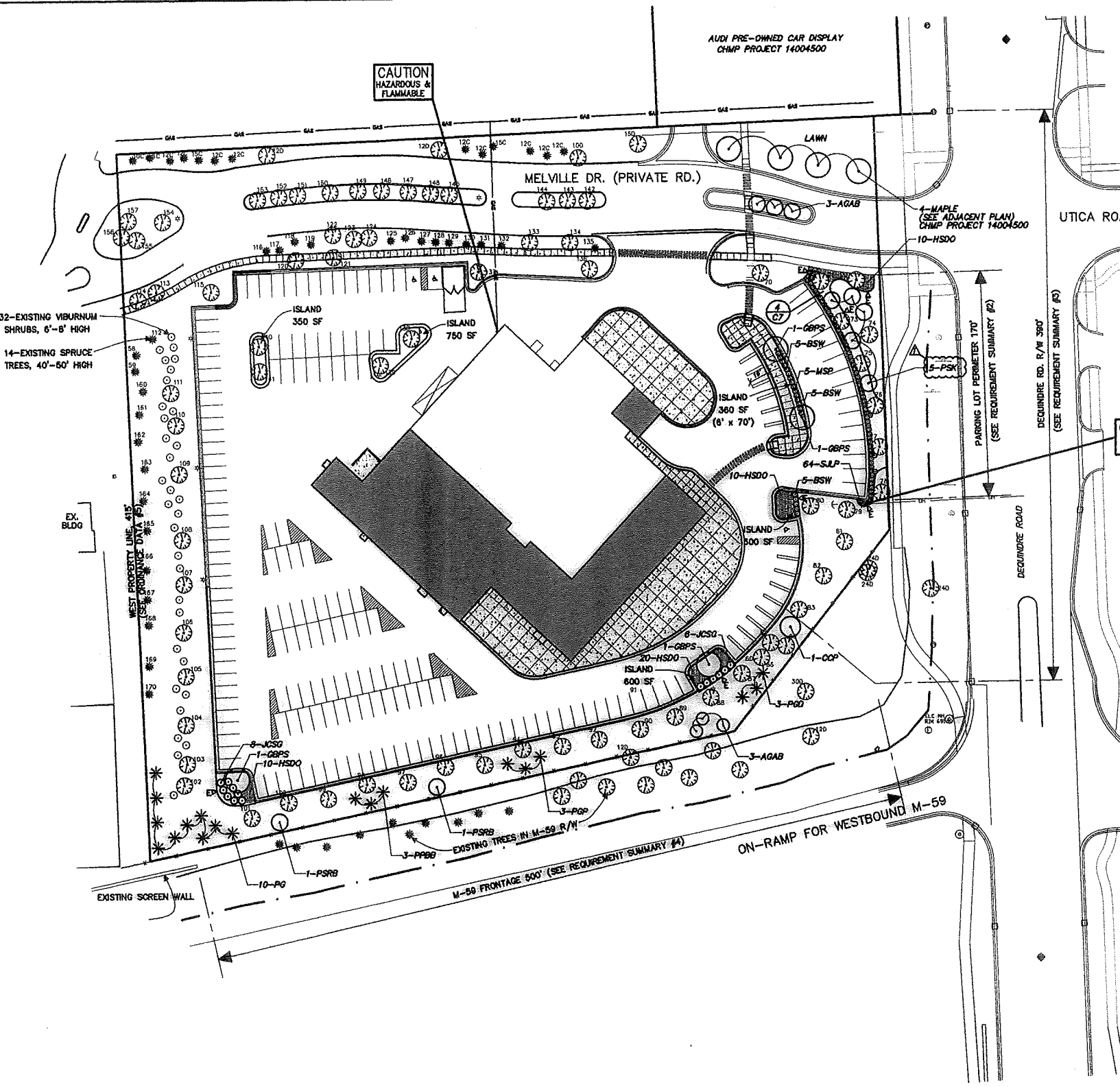
KEY	QTY	BOTANICAL / COMMON NAME	PLANTING SIZE	MATURE SPREAD x HT	UNIT COST	TOTAL COST
AGAB	6	AMELANCHIER GRANDIFLORA A.B. AUTUMN BRILLIANCE SERVICEBERRY	8' HT TREE FORM	15' x 20'	\$215.00	\$1,290.00
BSW	15	BUXUS SEMPERVIRENS WINTERGREEN WINTERGREEN BOXWOOD	NO. 3 CONT 30" OC	2' x 2'	\$25.00	\$375.00
CCP	1	CECROPS CANADENSIS PINK HEARTBREAKER PINK HEARTBREAKER WEEPING REDJUD	4' HT	8' x 10'	\$200.00	\$200.00
GBPS	4	GINKGO BILOBA PRINCETON SENTRY PRINCETON SENTRY GINKGO	3' DIA	20' x 60'	\$316.00	\$1,264.00
HSDO	60	HEMEROCALLIS STELLA D'ORO STELLA D'ORO DAYLILY	NO. 3 CONT 24" OC	18" x 18"	\$9.00	\$540.00
JCSG	14	JUNIPERUS CHINENSIS SEA GREEN SEA GREEN JUNIPER	NO. 3 CONT 48" OC	5' x 3'	\$32.00	\$448.00
MSP	5	MISCANTHUS SINENSIS PURPURASCENS MAIDEN GRASS	NO. 2 CONT 30" OC	3' x 3'	\$25.00	\$125.00
PG	10	PICEA GLAUCALBA WHITE SPRUCE	10' HT	16' x 40'	\$365.00	\$3,650.00
PGP	3	PICEA GLAUCALBA PENDULA WEEPING WHITE SPRUCE	10' HT	6' x 20'	\$305.00	\$915.00
PPBB	3	PICEA PUMILANS BABY BLUE BABY BLUE COLORADO SPRUCE	10' HT	12' x 30'	\$305.00	\$915.00
PGD	3	PICEA GLAUCALBA DENSATA BLACK HILLS WHITE SPRUCE	10' HT	15' x 30'	\$305.00	\$915.00
PSK	5	PRUNUS SERRULATA KWANZAN KWANZAN FLOWERING CHERRY	2" DIA	15' x 20'	\$200.00	\$1,000.00
PSRB	2	PRUNUS SERRULATA ROYAL BURGUNDY ROYAL BURGUNDY FLOWERING CHERRY	2" DIA	15' x 20'	\$200.00	\$400.00
S.L.P.	64	SPIRAEA JAPONICA LITTLE PRINCESS LITTLE PRINCESS SPIRAEA	NO. 3 CONT 30" OC	3' x 2'	\$25.00	\$1,600.00
					PLANT MATERIAL COST	\$12,895.00
					IRRIGATION COST	\$500.00
					TOTAL COST	\$20,895.00

LEGEND

- STORM SEWER & MANHOLE
- SEWER MAIN & MANHOLE
- WATER MAIN, HYDRANT & VALVE
- GAS MAIN & VALVE
- UNDERGROUND TELEPHONE & MANHOLE
- UNDERGROUND ELECTRIC & MANHOLE
- OVERHEAD ELECTRIC POLE & BAY WIRE
- EXISTING BANK (DRAIN & ROAD)
- EXISTING BANK
- CONTOUR LINE
- POLE
- LAND FILL
- EXISTING PAVEMENT
- SOIL
- STREET SIGN
- MANHOLE
- WATER WELL



LANDSCAPE PLAN

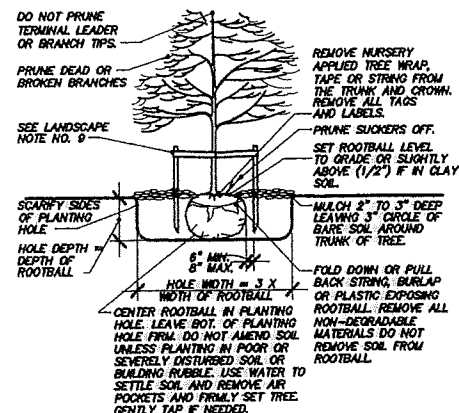


Know what's below.
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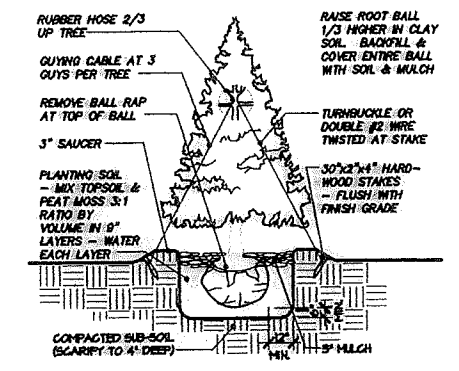
LOCATION OF ALL UNDERGROUND UTILITIES AS SHOWN ARE APPROXIMATE. ALL LOCATIONS MUST BE FIELD VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.

REVISION INDEX

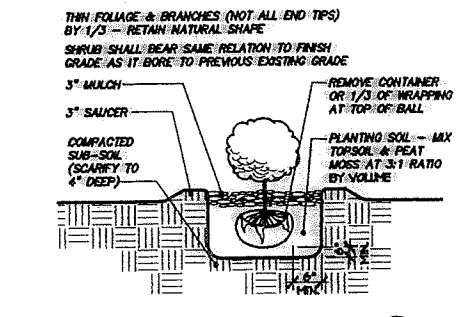
1.	PER CITY OF ROCHESTER HILLS COMMENTS, 7-28-18



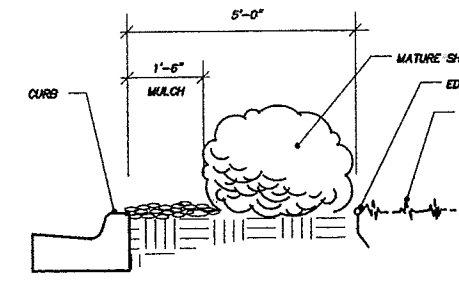
BALLED TREE
NOT TO SCALE



EVERGREEN TREE
NOT TO SCALE



SHRUB PLANTING
NOT TO SCALE



SECTION
NOT TO SCALE

LANDSCAPE NOTES

- INSTALLATION OF PLANT MATERIAL SHALL BE IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF NURSERYMEN LANDSCAPE STANDARDS, LATEST EDITION.
- PLACE 4" OF SHREDDED CEDAR OR HARDWOOD BARK MULCH AROUND ALL NEW PLANT MATERIAL WHERE NOTED. PLACE 3" THICK BY 5" DIAMETER MULCHED RING AT THE BASE OF ALL TREES IN LAWN AREAS. CUT SOO OR SEED IN A SMOOTH UNIFORM CIRCULAR LINE.
- PLACE 4" MINIMUM DEPTH TOPSOIL OVER ALL LAWN AND LANDSCAPING AREAS. HYDRO-SEED LAWN IN ACCORDANCE WITH THE FOLLOWING MIXES: 30% KY. BLUEGRASS 88/80, 20% PEARL PER RYE, 20% CR. RED FESCUE, 15% BLUEGRASS KY. BLUEGRASS, 15% NEWPORT KY. BLUEGRASS OR A NURSERY GROWN BLUEGRASS SOO MIXTURE.
- PROTECT SEED MIX WITH SLURRY MULCH. ON SLOPES BETWEEN 4:1 AND 3:1 USE A STRAW BLANKET 0.5LB/SY WITH A PHOTODEGRADABLE NETTING ON TOP SIDE SEWN ON 2 INCH CENTERS. FOR SLOPES BETWEEN 3:1 AND 2:1 USE A STRAW BLANKET WITH PHOTODEGRADABLE NETTING ON BOTH SIDES SEWN ON 2 INCH CENTERS.
- ALL EXISTING LANDSCAPED AND LAWN AREAS WHICH ARE DAMAGED AS A RESULT OF THIS CONSTRUCTION ACTIVITY WITHIN AND ADJACENT TO THE SITE SHALL BE RESTORED TO THEIR ORIGINAL CONDITION BY THE CONTRACTOR. SOO SHALL BE USED FOR REPAIRING EXISTING LAWN AREAS.
- FOR BALLED DECIDUOUS TREES DO NOT STAKE UNLESS IN HEAVY CLAY SOIL, WINDY CONDITIONS, 3" OR GREATER DIAMETER TREE TRUNK OR LARGE CROWN. IF STAKING IS NEEDED DUE TO THESE CONDITIONS:
 - STAKE WITH 2 1/2" HARDWOOD STAKES OR APPROVED EQUAL DRIVEN 6" TO 8" OUTSIDE OF ROOT BALL.
 - LOOSELY STAKE TREE TRUNK TO ALLOW FOR TRUNK FLEXING.
 - STAKE TREES JUST BELOW FIRST BRANCH WITH 2" OR 3" WIDE LIMB, NYLON OR PLASTIC STRAPS (2) PER TREE OPPOSITE SIDES OF TREE, CONNECT FROM TREE TO STAKE HORIZONTALLY.
 - REMOVE ALL STAKING MATERIALS AFTER ONE YEAR.
 - SEE PLANTING DETAILS.
- ALL PLANTS AND LAWN AREAS SHALL BE WATERED, FERTILIZED, TRIMMED, MOWED AND GENERALLY MAINTAINED BY THE CONTRACTOR IN A HEALTHY GROWING CONDITION FOR A PERIOD OF 30 DAYS AFTER FINAL COMPLETION. ALL PLANTS AND TURF AREAS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE FINAL COMPLETION DATE. SUBMIT GUARANTEE LETTER WITH DATES. THE OWNER IS RESPONSIBLE FOR MAINTAINING PLANTS AND LAWN AREAS BEGINNING 30 DAYS AFTER FINAL APPROVAL. LAWN/SEED AREAS SHALL BE MOWED AT 2 1/2"-3" HT.
- EARTH BERM ARE TO BE CONSTRUCTED OF LIGHT ORGANIC SOILS. SIDE SLOPES SHALL BE NO STEEPER THAN ONE (1) ON FOUR (4).
- LAYOUT OF LANDSCAPE MATERIAL MAY BE ADJUSTED IN THE FIELD AT THE DISCRETION OF THE CONTRACTOR TO PROVIDE PROPER SPACING BETWEEN NEW AND EXISTING PLANTS AND TO ALLOW FOR MATURE HEIGHT AND SPREAD OF PLANTS. AVOID CONFLICTS WITH OVERHEAD WIRES.
- EDGING () WHERE NOTED ON PLAN SHALL BE COMMERCIAL GRADE PLASTIC INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
- IRRIGATION SYSTEM SHALL NOT BE CONSTRUCTED WITHIN A PUBLIC ROAD RIGHT OF WAY.
- ALL UNDERBRUSH AND DEAD TREES TO BE REMOVED FROM ENTIRE PARCEL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EXISTING RUBBISH ON SITE.
- PROVIDE 100% IRRIGATION COVERAGE TO ALL TURF AREAS, SHRUBS AND GROUND COVER BEDS. WATER SOURCE ORIGIN SHALL BEGAIN AT WATER MAIN NEAR HYDRANT AT CORNER. PROVIDE ACCESS MANHOLE, METER AND SHUT OFF VALVE IN ACCORD WITH CITY OF ROCHESTER HILLS. POWER FOR CONTROL PANEL IS AVAILABLE AT THE CORNER OF SITE. SIZE OF STUB SHALL BE DETERMINED BY IRRIGATION DESIGNER AND PROVIDED TO ARCHITECT AND GENERAL CONTRACTOR WITH SHOP DRAWING OF PROPOSED LAYOUT. STANDARD 110 V. ELECTRICAL OUTLET TO BE PROVIDED NEAR LOCATION. IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ALL REQUIRED COMPONENTS INCLUDING BUT NOT LIMITED TO A BACKFLOW PREVENTER, FITTINGS, VALVES, PIPES, P.V.C., P.V.C. 40 PIPES SLEEVES UNDER PAVING. PIPE SIZES SHALL BE LARGE ENOUGH TO ACCOMMODATE PROPOSED SPRINKLER LINES AND WIRING. ADJUST SYSTEM FOR PROPER COVERAGE AND PERFORM FIRST WATERIZATION SERVICE. MATERIALS SHALL BE RAINBOW OR APPROVED EQUIVALENT. ALL LATERAL PIPING SHALL BE 80% N.S.F. CRESTLINE POLYETHYLENE PIPE. THE USE OF OTHER PRODUCTS OF EQUAL TYPE AND QUALITY MAY BE PROVIDED THAT THEY HAVE BEEN APPROVED IN WRITING BY THE OWNER OR HIS REPRESENTATIVE. 3/4" HOSE CONNECTION SHALL BE PROVIDED FOR AIR HOSE. CONNECTION FOR COMPLETE SYSTEM WATERIZATION SHALL BE PROVIDED AS-BUILT DRAWING OF COMPLETED DESIGN, EQUIPMENT MANUALS AND OPERATION INSTRUCTIONS.
- ALL SHRUB AND GROUND COVER PLANTING BEDS SHALL HAVE A MINIMUM OF 12" DEEP PLANTING SOIL.
- EXCAVATION FOR ALL TREES SHALL PROVIDE A MINIMUM DIAMETER HOLE THAT IS TWO (2) TIMES THE ROOT BALL DIAMETER, BACKFILLED WITH PLANTING SOIL.
- APPLY GREEN GARDEN WEED CONTROL PREVENTER TO ALL TREE, SHRUB AND GROUND COVER PLANTING BEDS AFTER SPREADING MULCH AT THE RATE OF 1 OZ. PER 100 SQUARE FEET. REFER TO PRODUCT LABEL FOR COMPLETE APPLICATION INSTRUCTIONS AND PRECAUTIONS.
- PROTECT EXISTING TREES TO REMAIN WITH SUITABLE BARRIERS PER ROCHESTER HILLS ORDINANCE SECTION 126-425. DO NOT ALTER GRADE OR PLACE CONSTRUCTION MATERIALS WITHIN DRIP LINE.
- ALL LANDSCAPED AREAS AND ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE IRRIGATED. WATERING SHALL ONLY OCCUR BETWEEN THE HOURS OF 12 AM AND 5 AM.
- PRIOR APPROVAL IS REQUIRED TO PLANT ANY TREE OR SHRUB ON THE PUBLIC RIGHT-OF-WAY. ALL TREES AND SHRUBS MUST BE PLANTED AT LEAST 10' FROM THE EDGE OF THE PUBLIC ROAD. SHADE TREES AND SHRUBS MUST BE PLANTED AT LEAST 5' FROM THE EDGE OF THE PUBLIC WALKWAY. EVERGREEN AND ORNAMENTAL TREES MUST BE PLANTED AT LEAST 10' FROM THE EDGE OF THE PUBLIC WALKWAY. NO TREES OR SHRUBS MAY BE PLANTED WITHIN THE TRIANGULAR AREA FORMED AT THE INTERSECTION OF ANY STREET RIGHT-OF-WAY LINES AT A DISTANCE ALONG EACH LINE OF 15' FROM THEIR POINT OF INTERSECTION. NO TREES OR SHRUBS MAY BE PLANTED IN THE TRIANGULAR AREA FORMED AT THE INTERSECTION OF ANY DRIVEWAY WITH A PUBLIC WALKWAY AT A DISTANCE ALONG EACH LINE OF 15' FROM THEIR POINT OF INTERSECTION. ALL TREES AND SHRUBS MUST BE PLANTED AT LEAST 10' FROM ANY FIRE HYDRANT. SHADE AND EVERGREEN TREES MUST BE AT LEAST 15' AWAY FROM THE NEAREST OVERHEAD WIRE. TREES MUST BE PLANTED A MINIMUM OF 5' FROM AN UNDERGROUND UTILITY, UNLESS THE CITY'S LANDSCAPE ARCHITECT REQUIRES A GREATER DISTANCE. THESE REQUIREMENTS ARE INCORPORATED INTO THE PLAN.
- PRIOR TO THE RELEASE OF THE PERFORMANCE BONDS, THE CITY OF ROCHESTER HILLS FORESTRY DIVISION NEEDS TO INSPECT ALL TREES EXISTING ON THE SITE AND IDENTIFY ANY THAT POSE A HAZARD TO THE SAFE USE OF THE PUBLIC RIGHT-OF-WAY. FORESTRY WILL REQUIRE THE DEVELOPER TO REMOVE, AND POSSIBLY REPLACE, ANY SUCH TREES. THESE REQUIREMENTS ARE INCORPORATED INTO THE PLAN.
- REFER TO TREE SURVEY (SHEET TS-2) FOR EXISTING TREE IDENTIFICATION.

SITE MAINTENANCE NOTES

- THE OWNER OF THE PROPERTY SHALL BE RESPONSIBLE FOR ALL MAINTENANCE OF SITE LANDSCAPING AS FOLLOWS:
- LANDSCAPING SHALL BE KEPT IN A NEAT, ORDERLY AND HEALTHY GROWING CONDITION, FREE FROM DEBRIS AND REFUSE.
 - PRUNING SHALL BE MINIMAL AT THE TIME OF INSTALLATION, ONLY TO REMOVE DEAD OR DISEASED BRANCHES. SUBSEQUENT PRUNING SHALL ASSURE PROPER MATURATION OF PLANTS TO ACHIEVE THEIR APPROVED PURPOSE.
- CALL DEAD, DAMAGED, OR DISEASED PLANT MATERIAL SHALL BE REMOVED IMMEDIATELY AND REPLACED WITHIN SIX (6) MONTHS AFTER IT DIES OR IN THE NEXT PLANTING SEASON, WHICHEVER OCCURS FIRST. FOR PURPOSES OF THIS SECTION, THE PLANTING SEASON FOR DECIDUOUS PLANTS SHALL BE BETWEEN MARCH 1 AND JUNE 1 AND FROM OCTOBER 1 UNTIL THE PREPARED SOIL BECOMES FROZEN. THE PLANTING SEASON FOR EVERGREEN PLANTS SHALL BE BETWEEN MARCH 1 AND JUNE 1. PLANT MATERIAL INSTALLED TO REPLACE DEAD OR DISEASED MATERIAL SHALL BE AS CLOSE AS PRACTICAL TO THE SIZE OF THE MATERIAL IT IS INTENDED TO REPLACE. THE CITY MAY NOTIFY PROPERTY OWNERS OF THE NEED TO REPLACE DEAD, DAMAGED, OR DISEASED MATERIAL.
- THE APPROVED LANDSCAPE PLAN SHALL BE CONSIDERED A PERMANENT RECORD AND INTEGRAL PART OF THE SITE PLAN APPROVAL. UNLESS OTHERWISE APPROVED IN ACCORDANCE WITH THE AFOREMENTIONED PROCEDURES, ANY REVISIONS TO OR REMOVAL OF PLANT MATERIALS OR NON-COMPLIANCE WITH THE MAINTENANCE REQUIREMENTS OF THIS SECTION 153-12.100 WILL PLACE THE PARCEL IN NON-CONFORMITY WITH THE APPROVED LANDSCAPE PLAN AND BE A VIOLATION OF THIS ORDINANCE.
- IF PROTECTED TREES ARE DAMAGED, A FINE SHALL BE ISSUED ON AN INCH-BY-INCH BASIS AT A MONETARY RATE AS DEFINED BY THE FORESTRY DEPARTMENT.

LANDSCAPE NOTES AND DETAILS

CHMP INC.
8100 TERRITORIAL ROAD
GRAND BLAND, MI 48408
TELEPHONE 810/888-8810



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ENGINEERING
LANDSCAPE ARCHITECTURE
SURVEYING

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PROPERTY OF CHMP INC. FOR USE ONLY
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WRITER COMPANY CHMP INC.
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ADDITION TO
Audi of Rochester Hills
45441 DEQUINDRE ROAD, ROCHESTER HILLS, MICHIGAN 48307

PROJECT NO.	15000500
DATE	6-27-16
DATE REVISED	8-9-16
ISSUED FOR:	DATE
60% SUBMITTAL	6-20-16
SITE PLAN APPROVAL	6-28-16
SITE PLAN APPROVAL	8-10-16
SITE PLAN APPROVAL	9-1-16

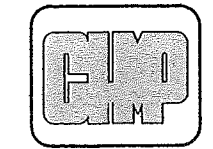
SHEET NO.
C-7
OF X
CITY FILE #00-0015



Know what's below.
Call before you dig.

LOCATION OF ALL UNDERGROUND UTILITIES AS SHOWN ARE APPROXIMATE. ALL LOCATIONS MUST BE FIELD VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.

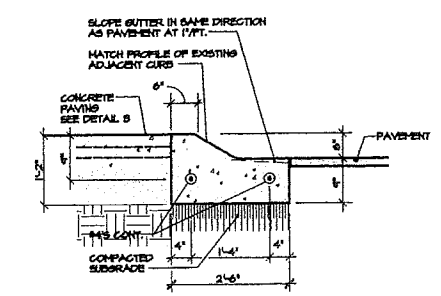
REVISION INDEX	
1.	PER CITY OF ROCHESTER HILLS COMMENTS, 7-28-16



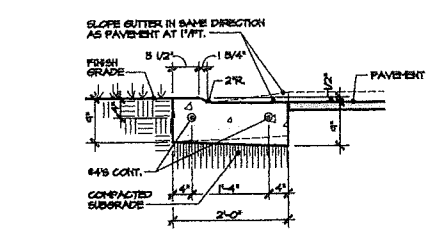
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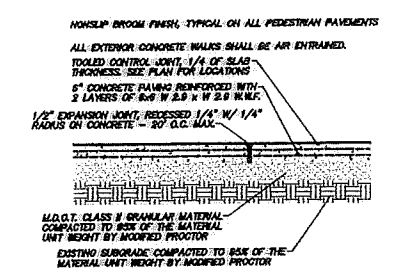
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 45441 DEQUINDRE ROAD, ROCHESTER HILLS, MICHIGAN 48307



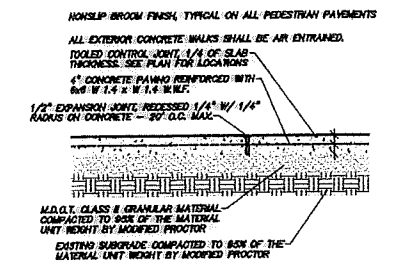
CONCRETE CURB "B" 5
 NOT TO SCALE



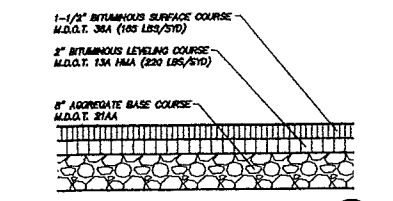
CONCRETE CURB "A" 4
 NOT TO SCALE



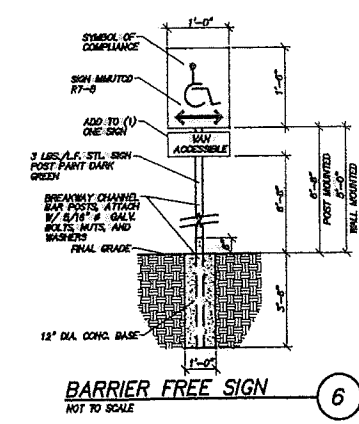
6" CONCRETE PAVING 3
 NOT TO SCALE



4" CONCRETE PAVING 2
 NOT TO SCALE



HMA PAVING SECTION 1
 NOT TO SCALE
 21-253



BARRIER FREE SIGN 6
 NOT TO SCALE



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REVISION INDEX	
1.	NO REVISIONS

SITE DETAILS

PROJECT NO.	15005002
DATE	6-28-16
DATE REVISED	8-10-16
DESIGNED FOR	DATE
60% SUBMITTAL	6-20-16
SITE PLAN APPROVAL	6-28-16
SITE PLAN APPROVAL	8-10-16
SITE PLAN APPROVAL	9-4-16
SHEET NO.	C-8
OF	X
CITY FILE NO.	100-0015



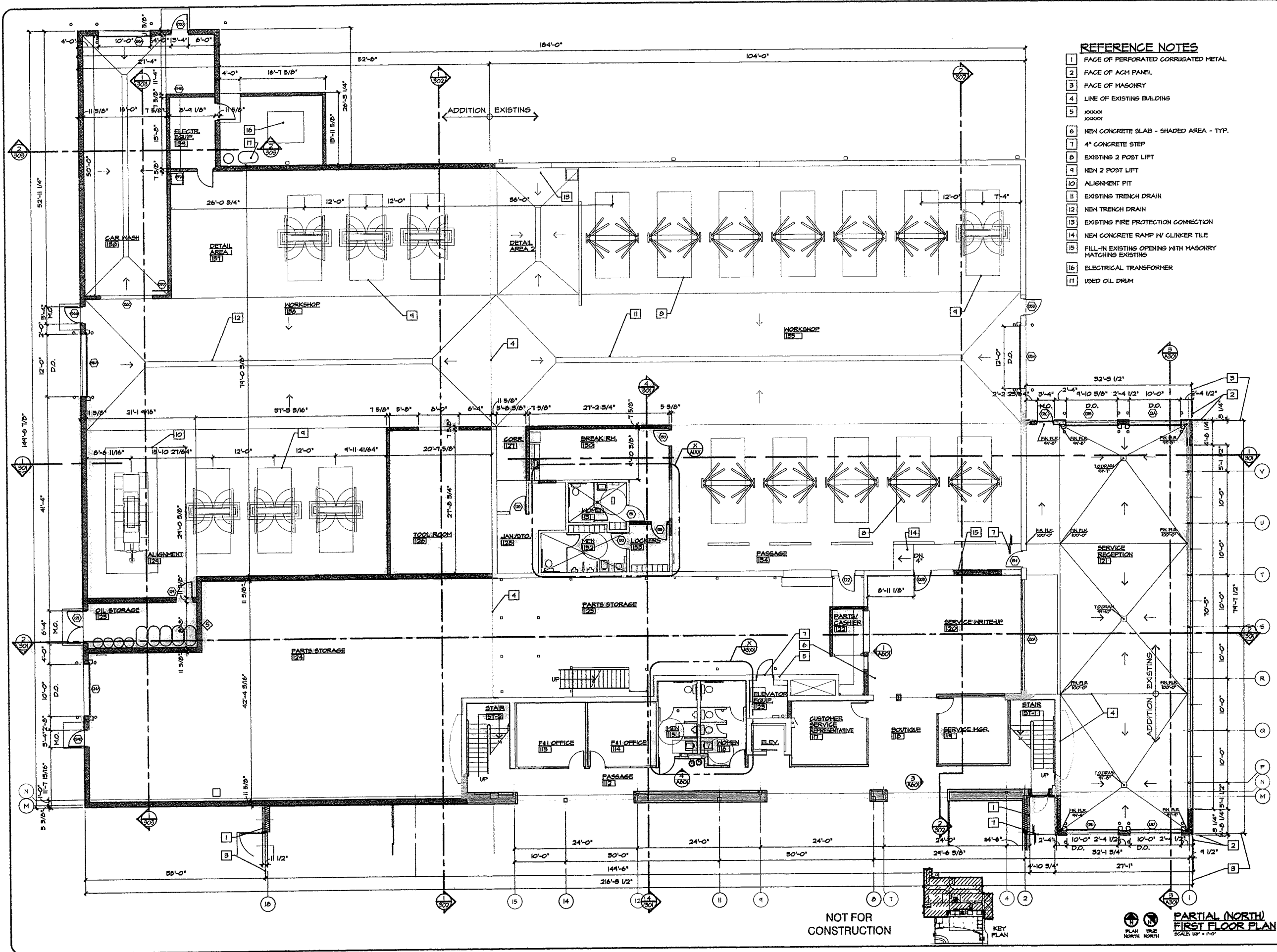
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ADDITION TO
Audi of Rochester Hills
 45441 DEQUINDRE ROAD, ROCHESTER HILLS, MICHIGAN 48307

PROJECT NO. 19000900
 DATE 10-16-2015
 AS BUILT DATE
 DRAWN BY RSP
 CHECKED BY DH
 SCALE AS NOTED
 REVISION DATE

SHEET NO. A-101
 OF CITY FILE 100-0013



- REFERENCE NOTES**
- 1 FACE OF PERFORATED CORRUGATED METAL
 - 2 FACE OF ACM PANEL
 - 3 FACE OF MASONRY
 - 4 LINE OF EXISTING BUILDING
 - 5 XXXXX
 - 6 NEW CONCRETE SLAB - SHADED AREA - TYP.
 - 7 4" CONCRETE STEP
 - 8 EXISTING 2 POST LIFT
 - 9 NEW 2 POST LIFT
 - 10 ALIGNMENT PIT
 - 11 EXISTING TRENCH DRAIN
 - 12 NEW TRENCH DRAIN
 - 13 EXISTING FIRE PROTECTION CONNECTION
 - 14 NEW CONCRETE RAMP W/ CLINKER TILE
 - 15 FILL-IN EXISTING OPENING WITH MASONRY MATCHING EXISTING
 - 16 ELECTRICAL TRANSFORMER
 - 17 USED OIL DRUM

NOT FOR CONSTRUCTION

PLAN TRUE NORTH
 PARTIAL NORTH
 FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"



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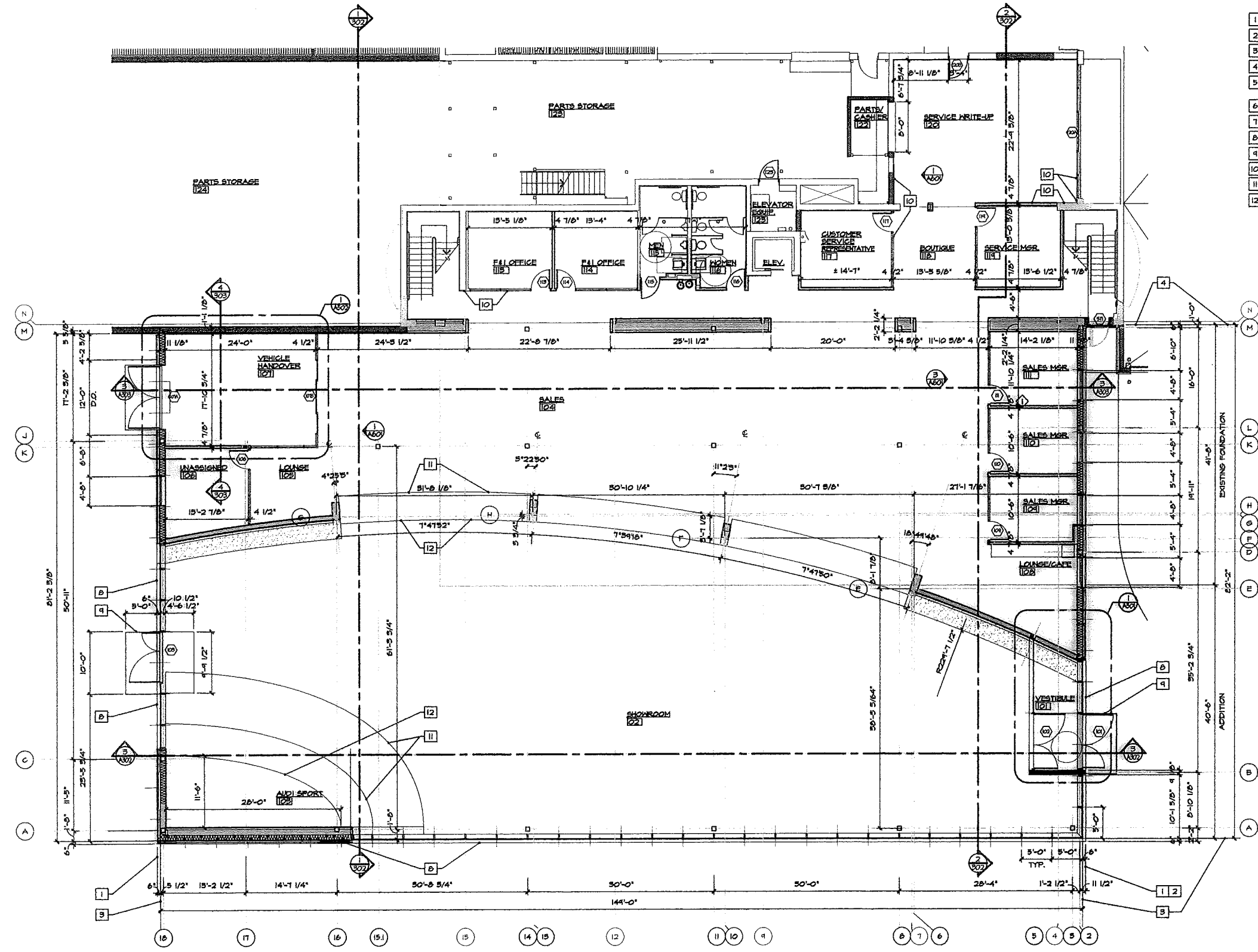
ADDITION TO
Audi of Rochester Hills
 45441 DEQUINDRE ROAD, ROCHESTER HILLS, MICHIGAN 48307

PROJECT NO.	15000500
DATE	10-16-2015
AS BUILT DATE	
DRAWN BY	RFJ
CHECKED BY	DH
SCALE	AS NOTED
REVISION	DATE
FOR SUBMISSION	08-20-2014
SITE PLAN APPROVAL	08-01-2014
SITE PLAN APPROVAL	04-04-2014

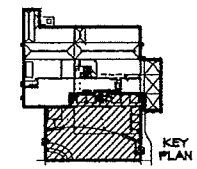
SHEET NO.
A-102
 OF _____
 CITY FILE #00-001.5

REFERENCE NOTES

- 1 FACE OF PERFORATED CORRUGATED METAL
- 2 FACE OF ACM PANEL
- 3 FACE OF MASONRY
- 4 LINE OF EXISTING BUILDING
- 5 DASHED LINE DENOTES ONE HOUR FIRE RATED USE GROUP SEPARATION WALL
- 6 NEW CONCRETE SLAB - SHADED AREA - TYP.
- 7 CONCRETE STEP
- 8 6" WIDE TRENCH DRAIN
- 9 CONCRETE STOOP
- 10 FLUSH
- 11 LINE OF CEILING ABOVE
- 12 TRANSITION OF FLOOR FINISHES



**NOT FOR
 CONSTRUCTION**



**PARTIAL (SOUTH)
 FIRST FLOOR PLAN**
 SCALE: 1/8" = 1'-0"



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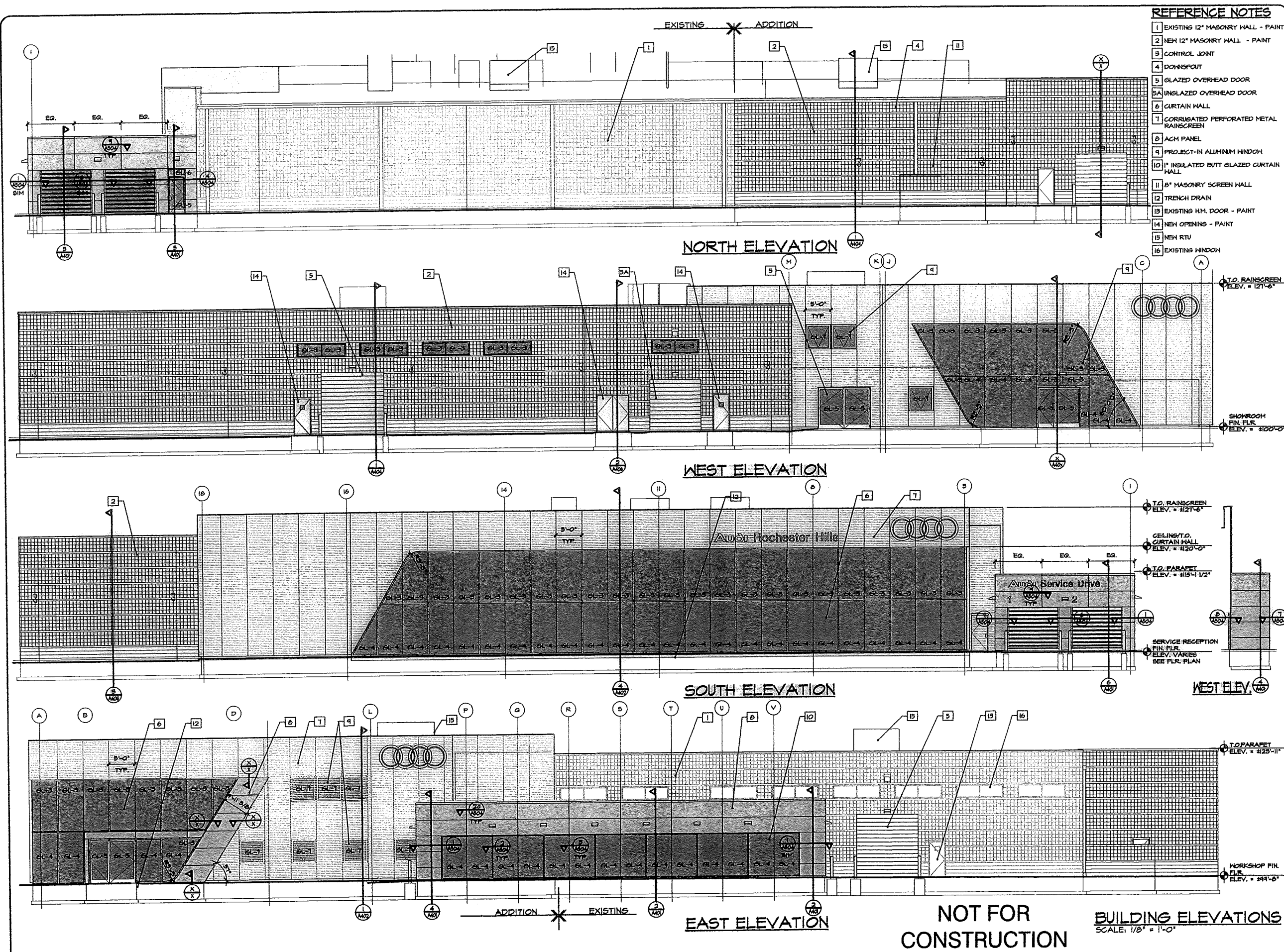
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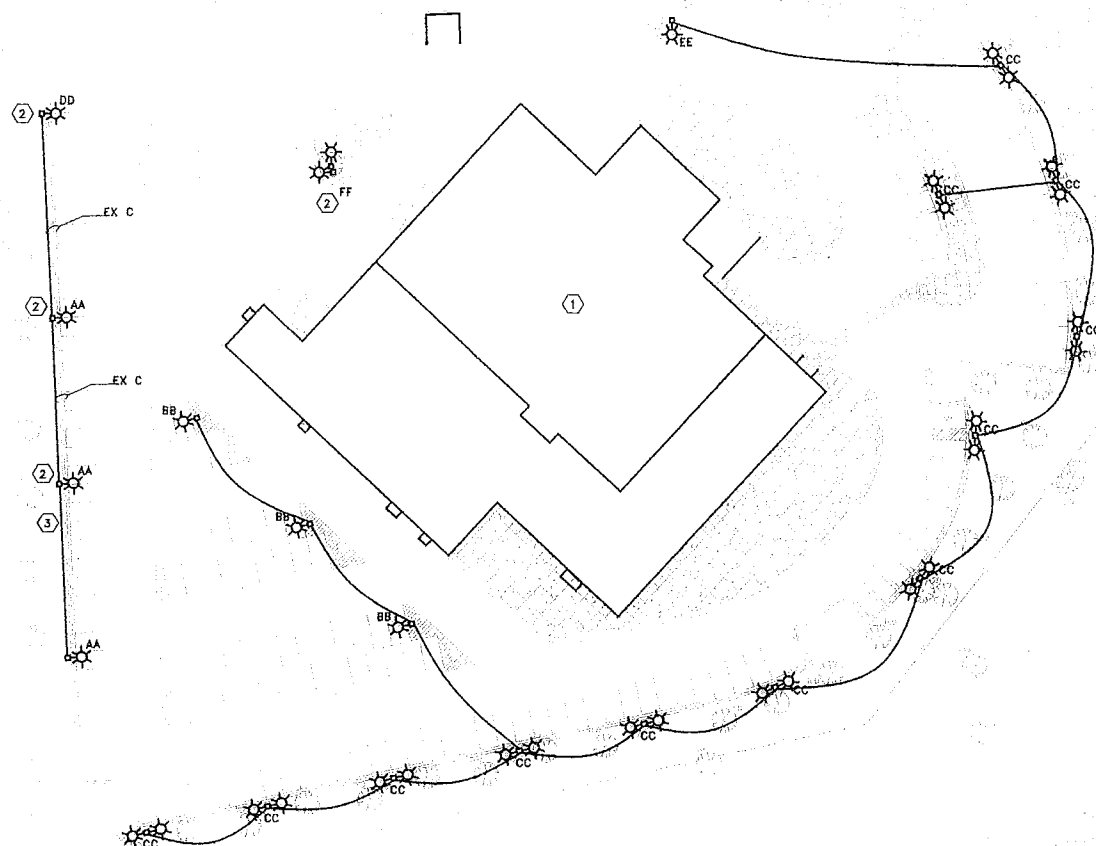
PROJECT NO.	15000500
DATE	10-16-2015
AS BUILT DATE	
DRAWN BY	ROP
CHECKED BY	DH
SCALE	AS NOTED
REVISION	DATE
60% SUBMISSION	08-20-2014
SITE PLAN APPROVAL	08-04-2014
SITE PLAN APPROVAL	08-04-2014

SHEET NO.
A-201
 OF
 CITY FILE #00-0013

- REFERENCE NOTES**
- 1 EXISTING 12" MASONRY HALL - PAINT
 - 2 NEW 12" MASONRY HALL - PAINT
 - 3 CONTROL JOINT
 - 4 DOWNSPOUT
 - 5 GLAZED OVERHEAD DOOR
 - 5A UNGLAZED OVERHEAD DOOR
 - 6 CURTAIN WALL
 - 7 CORRUGATED PERFORATED METAL RAINSCREEN
 - 8 ACM PANEL
 - 9 PROJECT-IN ALUMINUM WINDOW
 - 10 1" INSULATED BUTT GLAZED CURTAIN WALL
 - 11 8" MASONRY SCREEN HALL
 - 12 TRENCH DRAIN
 - 13 EXISTING HM. DOOR - PAINT
 - 14 NEW OPENING - PAINT
 - 15 NEW RTU
 - 16 EXISTING WINDOW

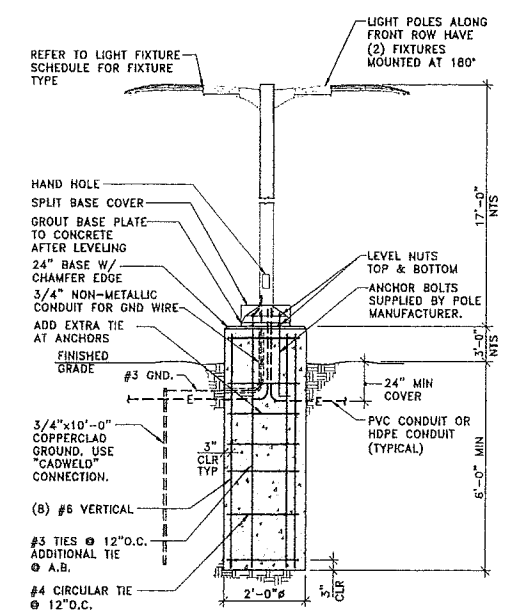


NOT FOR CONSTRUCTION
BUILDING ELEVATIONS
 SCALE: 1/8" = 1'-0"




NORTH

ELECTRICAL SITE PLAN
 1"=40'-0"



- GENERAL POLE BASE NOTES:**
- CONNECT THE GROUND WIRE TO THE POLE'S GROUND LUG. THE POLE'S BASE PLATE AND ANCHOR BOLTS FORM THE GROUND PATH CONTINUITY.
 - PROVIDE WATERTIGHT CONNECTORS FOR ALL POLES. USE "BUCHANAN" B2 SERIES FUSED TAP AND RUN AND "BUCHANAN" B5 SERIES FUSED BREAKAWAY.
 - POLE/LIGHT FIXTURE SHALL BE EPA RATED FOR GEOGRAPHIC AREA. LIGHTING MANUFACTURER SHALL SUPPLY PROPER POLE GAGE SIZES. LIGHT POLE BASE DEPTH AND DIAMETER SHOWN MEETS THE GEOGRAPHIC WIND LOAD. ANY DEVIATION REQUIRES REVIEW BY THE STRUCTURAL ENGINEER.
 - USE THE CONCRETE BASE CENTERLINE DIMENSION FOR THE 36" SETBACK DISTANCE FROM THE CURBS EDGE.
- TYPICAL LIGHT POLE BASE DETAIL**
 NO SCALE

- KEYED NOTES**
- REFER TO PLAN SHEETS FOR BUILDING MOUNTED LIGHTS.
 - UTILIZE EXISTING LIGHT POLE BASE FOR NEW LIGHT POLE. FURNISH AND INSTALL A NEW FEED. REUSE EXISTING CONDUIT.
 - INTERCEPT EXISTING CONDUIT TO PROVIDE A NEW FEED.

MacMILLAN ASSOCIATES CONSULTING ENGINEERS
 BAY CITY, MICHIGAN 48708

 714 EAST MIDLAND STREET

CHMP INC.
 5100 TERRITORIAL ROAD
 GRAND BLANC, MI 48409
 TELEPHONE 510/868-9910



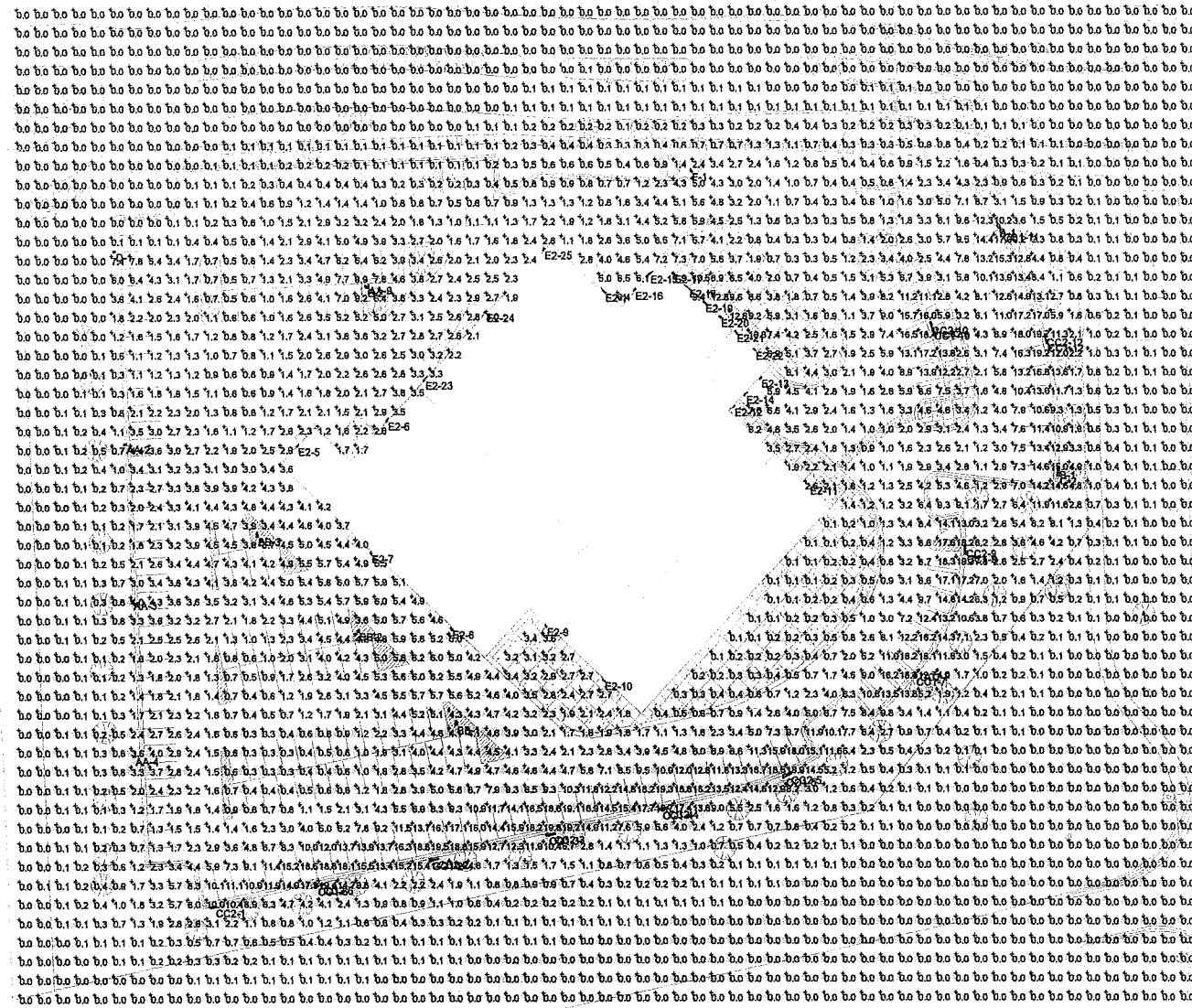
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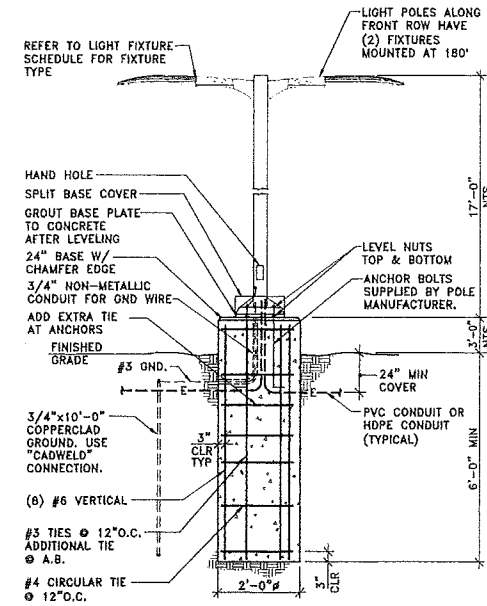
ADDITION TO
AUDI OF ROCHESTER HILLS
 45441 DEQUINDRE ROAD, ROCHESTER HILLS, MICHIGAN 48307

PROJECT NO. 15000500
 DATE 6-28-16
 DATE REVISED 8-3-16
 ISSUED FOR: DATE
 FOR SUBMITTAL 8-20-16
 SITE PLAN APPROVAL 8-25-16
 SITE PLAN APPROVAL 8-30-16
 SITE PLAN APPROVAL 9-4-16

SHEET NO.
SE-101
 OF
 CITY FILE #00-0015



SITE PLAN - LIGHTING POINT BY POINT CALCULATIONS
1"=40'-0"



GENERAL POLE BASE NOTES:

1. CONNECT THE GROUND WIRE TO THE POLE'S GROUND LUG. THE POLE'S BASE PLATE AND ANCHOR BOLTS FORM THE GROUND PATH CONTINUITY.
2. PROVIDE WATERTIGHT CONNECTORS FOR ALL POLES. USE "BUCHANAN" 82 SERIES FUSED TAP AND RUN AND "BUCHANAN" 65 SERIES FUSED BREAKAWAY.
3. POLE/LIGHT FIXTURE SHALL BE EPA RATED FOR GEOGRAPHIC AREA. LIGHTING MANUFACTURER SHALL SUPPLY PROPER POLE GAGE SIZES. LIGHT POLE BASE DEPTH AND DIAMETER SHOWN MEETS THE GEOGRAPHIC WIND LOAD. ANY DEVIATION REQUIRES REVIEW BY THE STRUCTURAL ENGINEER.
4. USE THE CONCRETE BASE CENTERLINE DIMENSION FOR THE 36" SETBACK DISTANCE FROM THE CURBS EDGE.

TYPICAL LIGHT POLE BASE DETAIL
NO SCALE

Symbol	Label	Qty	Manufacturer	Quantity Number	Description	Lamp	Lumens per Lamp	LF	Footage
□	AA	4	Subura Lighting	D432 LED 400 1000 40K T4M 120VOLT	D432 LED WITH 40 LEDs @ 1000 mA, 4000K, Type 1 Medium Output with HOUSEHOLD WIRE	LED	11753.82	0.93	138
□	BB	3	Subura Lighting	D432 LED 1000 700 40K T4M 120VOLT	D432 LED WITH 100 LEDs @ 700mA, 4000K, TYPE 1 MEDIUM OUTPUT	LED	2468.14	0.83	232
□	CC1	10	Subura Lighting	D432 LED 800 700 40K T2M 120VOLT	D432 LED WITH 80 LEDs @ 700mA, 4000K, TYPE 2 BRIGHT OUTPUT WITH HOUSEHOLD WIRE, LEFT ROTATED	LED	20725.11	0.84	208
□	CC2	10	Subura Lighting	D432 LED 800 700 40K T2M 120VOLT	D432 LED WITH 80 LEDs @ 700mA, 4000K, TYPE 2 BRIGHT OUTPUT WITH HOUSEHOLD WIRE, LEFT ROTATED	LED	20725.11	0.84	208
□	E2	22	Subura Lighting	D432 LED 800 700 40K T2M 120VOLT	D432 LED WITH 80 LEDs @ 700mA, 4000K, TYPE 2 BRIGHT OUTPUT WITH HOUSEHOLD WIRE, LEFT ROTATED	LED	20725.11	0.84	487
□	A	1	Subura Lighting	D432 LED 800 700 40K T2M 120VOLT	D432 LED WITH 80 LEDs @ 700mA, 4000K, TYPE 2 BRIGHT OUTPUT WITH HOUSEHOLD WIRE, LEFT ROTATED	LED	20725.11	0.84	208
□	B	1	Subura Lighting	D432 LED 800 700 40K T2M 120VOLT	D432 LED WITH 80 LEDs @ 700mA, 4000K, TYPE 2 BRIGHT OUTPUT WITH HOUSEHOLD WIRE, LEFT ROTATED	LED	20725.11	0.84	160
□	C	1	Subura Lighting	D432 LED 800 700 40K T2M 120VOLT	D432 LED WITH 80 LEDs @ 700mA, 4000K, TYPE 2 BRIGHT OUTPUT WITH HOUSEHOLD WIRE, LEFT ROTATED	LED	20725.11	0.84	160
□	D	1	Subura Lighting	D432 LED 800 700 40K T2M 120VOLT	D432 LED WITH 80 LEDs @ 700mA, 4000K, TYPE 2 BRIGHT OUTPUT WITH HOUSEHOLD WIRE, LEFT ROTATED	LED	20725.11	0.84	134
□	E	1	Subura Lighting	D432 LED 800 700 40K T2M 120VOLT	D432 LED WITH 80 LEDs @ 700mA, 4000K, TYPE 2 BRIGHT OUTPUT WITH HOUSEHOLD WIRE, LEFT ROTATED	LED	20725.11	0.84	208
□	F	1	Subura Lighting	D432 LED 800 700 40K T2M 120VOLT	D432 LED WITH 80 LEDs @ 700mA, 4000K, TYPE 2 BRIGHT OUTPUT WITH HOUSEHOLD WIRE, LEFT ROTATED	LED	20725.11	0.84	138



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714 EAST MIDLAND STREET

ADDITION TO
AUDI OF ROCHESTER HILLS
45441 DEQUINDRE ROAD, ROCHESTER HILLS, MICHIGAN 48067

PROJECT NO. 15000500
DATE 6-28-16
DATE REVISION 6-28-16
ISSUED FOR: DATE

60% SUBMITTAL, 4-30-16
SITE PLAN APPROVAL, 6-28-16
SITE PLAN APPROVAL, 6-28-16
SITE PLAN APPROVAL, 4-14-16

SHEET NO.
SE-102
OF
CITY FILE #00-0015