

PRELIMINARY SITE PLANS FOR
WINCHESTER DISTRICT
 PART OF THE NORTHEAST 1/4 OF SECTION 22, T3N, R11E
 CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

OWNER/APPLICANT/DEVELOPER:

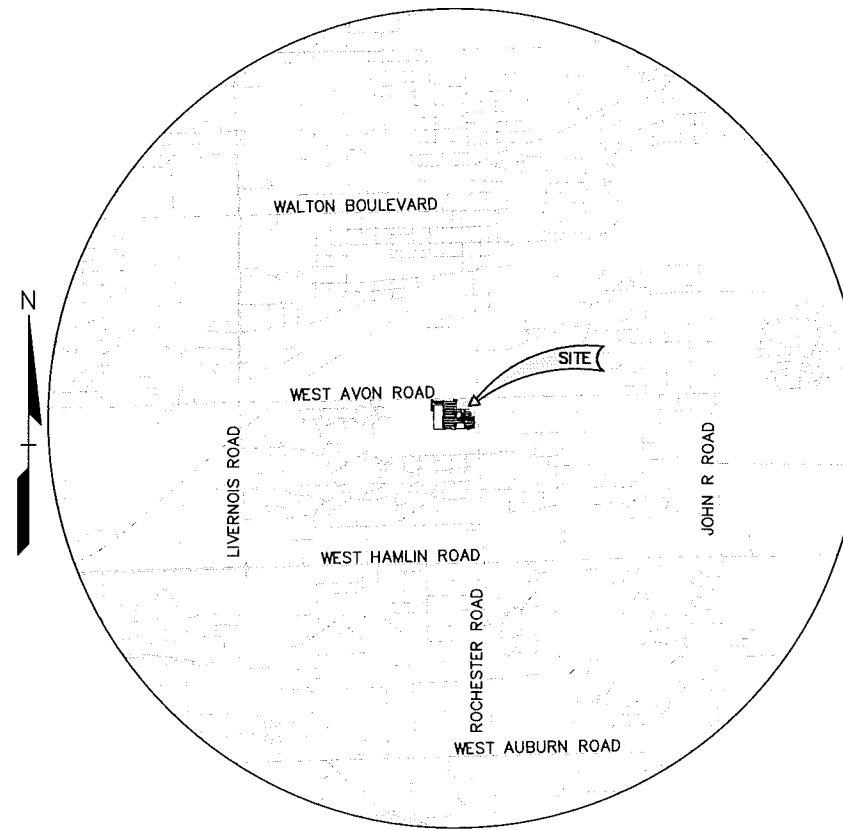
FIRST HOLDING MANAGEMENT COMPANY LLC
 6960 ORCHARD LAKE ROAD, SUITE 300
 WEST BLOOMFIELD, MI 48322
 CONTACT: JOHN BREZA
 PHONE: (248) 855-3330 EXT. 230
 EMAIL: JBREZA@FHMANAGEMENT.COM

CIVIL ENGINEER:

PEA, INC.
 2430 ROCHESTER CT, SUITE 100
 TROY, MI 48063
 CONTACT: EMIL S. BUNEK III, P.E.
 PHONE: (248) 528-7361
 FAX: (248) 689-1044
 EMAIL: EBUNEK@PEAINC.COM

LANDSCAPE ARCHITECT:

PEA, INC.
 7927 NEMCO WAY, SUITE 115
 BRIGHTON, MI 48116
 CONTACT: JEFF SMITH, R.L.A., LEED AP
 PHONE: (517) 546-8583
 FAX: (517) 546-8973
 EMAIL: JSMITH@PEAINC.COM



LOCATION MAP
 1" = 2,000 FT

INDEX OF DRAWINGS:

- COVER COVER SHEET
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- L-1.1 LANDSCAPE DETAILS

PHOTOMETRIC PLAN

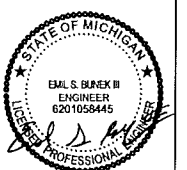
- BUILDING A**
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- BUILDING C**
- A-131 OPERATION PLAN
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- BUILDING D**
- A-1 FLOOR PLAN
- A-3 EXTERIOR ELEVATION

NO.	DATE	REVISION	BY	CHK	DATE
1					



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CONSULTING ENGINEER: EMIL S. BUNEK III, P.E.
 LICENSE NO. 6201058445
 STATE OF MICHIGAN
 REGISTERED PROFESSIONAL ENGINEER

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 6960 ORCHARD LAKE ROAD
 WEST BLOOMFIELD, MICHIGAN 48322

WINCHESTER DISTRICT
 PART OF THE NORTHEAST 1/4 OF SECTION 22, T3N, R11E
 CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

DES: ESB DN, ESB SUR, PEA P.M., DNH
 DATE: 8/22/17

ORIGINAL ISSUE DATE:
 AUGUST 22, 2017

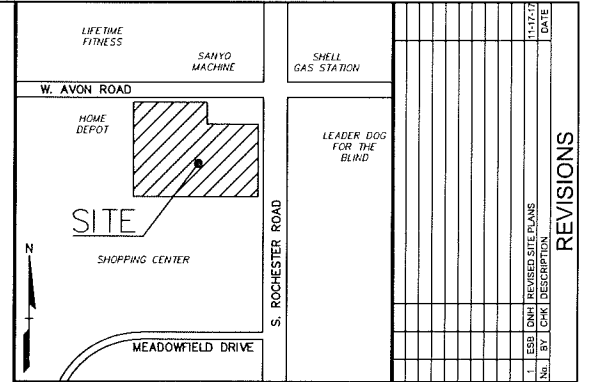
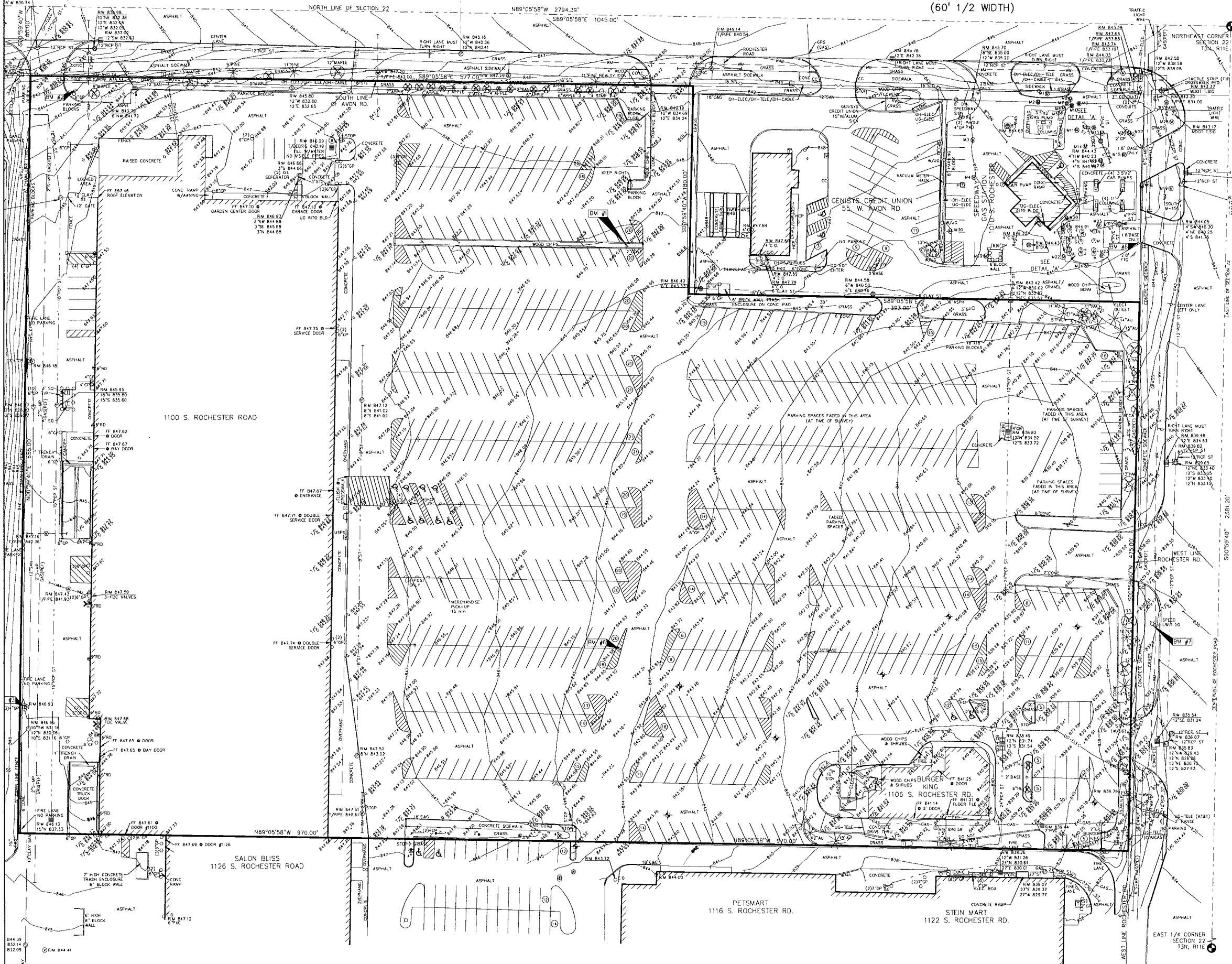
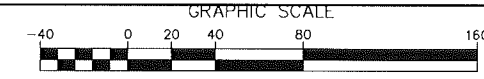
PEA JOB NO. 2016-367

SCALE:

DRAWING NUMBER:

W. AVON ROAD
(60' 1/2 WIDTH)

W., AVON ROAD
(60' 1/2 WIDTH)



LEGEND

● IRON FOUND	○ BRASS PILE SET	○ SEC. CORNER FOUND
○ IRON SET	○ MONUMENT FOUND	○ RECORDED MEASURED
○ NAIL FOUND	○ MONUMENT SET	○ CALCULATED
○ NAIL & CAP SET		

EXISTING

- ELEC-W-O-C ELEC. POLE OR CABLE TV ON LINE POLE & QUI WYE
- ELEC-W-O-C UNDERGROUND CABLE TV, CITY PEDESTAL
- ELEC-W-O-C TELEPHONE CABLE, FIBER, & BUNDLE
- ELEC-W-O-C ELECTRIC USE CABLE, MANHOLE, METER & HANDHOLE
- ELEC-W-O-C GAS MAN, VALVE & GAS LINE MANHOLE
- ELEC-W-O-C WATERMAN, H.D., GATE VALVE, TAPPING SIDE & VALVE
- ELEC-W-O-C SANITARY SEWER, CLEANOUT & MANHOLE
- ELEC-W-O-C GROUNDWATER PEDESTAL
- ROOF MAN
- DOWNSPUT
- CONCRETE SEWER & MANHOLE
- GROUND ROAD & BENCH MARK BASIN
- CULVERT
- POST INDICATOR VALVE
- WATER VALVE BOX/AMOUNT VALVE BOX, SERVICE SHED/ST
- SPOT ELEVATION
- ELEV. 00
- EDGE OF WATER
- DITCH
- CONTOUR LINE
- FENCE
- GUARD RAIL
- TREE TAG
- STREET LIGHT
- SIGN
- SOIL BORING

CONCRETE

- CONCRETE
- ASPH.
- GRAVEL
- GRAVEL SPALLER

REFERENCE DRAWINGS

FLOOD PLAN FEMA FIRM 26125C6933P, DATED SEPTEMBER 26, 2009
 ALTA SURVEY PEA JOB NO. 2001-186, DWS NO. W-1, DATED 07-13-01
 OFFICE MASTER PROJECT NO. 1832750, DATED 09-03-15

BENCHMARKS
 (PER CITY OF ROCHESTER HILLS DEPARTMENT OF PUBLIC SERVICE UTILITY/PLAN INFORMATION REQUEST DATED 6-15-98)

BM #1
 TOP OF THE NORTHEAST BOLT OF A LIGHT POLE LOCATED ON THE WEST SIDE OF ROCHESTER ROAD, APPROX. 105' WEST FROM THE SOUTHWEST BUILDING CORNER OF GEMESIS CREDIT UNION.
 ELEV. - 849.58

BM #2
 TOP OF THE SOUTHWEST BOLT OF A LIGHT POLE LOCATED SOUTH OF AVON ROAD, APPROX. 75' NORTHWEST FROM THE NORTHWEST CORNER OF THE KMARZ BUILDING.
 ELEV. - 844.52

BM #3
 ARROW ON A HYDRANT LOCATED APPROX. 28'± EAST OF THE CURB OF THE HOME DEPOT PARKING LOT AND APPROX. 128'± NORTHWEST FROM THE SOUTHWEST CORNER OF THE KMARZ BUILDING.
 ELEV. - 845.35

BM #4
 TOP OF THE NORTHEAST BOLT OF A LIGHT POLE LOCATED APPROX. 170'± NORTH FROM THE SOUTH PROPERTY LINE AND APPROX. 300'± EAST FROM THE SOUTHEAST CORNER OF THE KMARZ BUILDING.
 ELEV. - 847.10

BM #5
 ARROW ON A HYDRANT LOCATED ON THE WEST SIDE OF ROCHESTER ROAD, APPROX. 200'± NORTH OF THE SOUTHWEST PROPERTY CORNER, NORTH OF THE BURGER KING ENTRANCE.
 ELEV. - 840.36

BM #6
 TOP OF THE SOUTHWEST BOLT OF A LIGHT POLE LOCATED ON THE WEST SIDE OF ROCHESTER ROAD, APPROX. 68'± EAST FROM THE EAST CORNER OF THE SPEEDWAY GAS STATION, APPROX. 150'± SOUTH OF AVON ROAD.
 ELEV. - 846.17

LEGAL DESCRIPTION
 (Per PEA ALTA 2001-186, Dated 07-13-01)

Land located in the City of Rochester Hills, County of Oakland, and State of Michigan:

Part of the Northeast 1/4 of Section 22, T.3N., R.11E., City of Rochester Hills, Oakland County, Michigan, more particularly described as follows:

Commencing at the Northeast corner of said Section 22; thence along the North line of said Section 22, N89°05'58"W, 1045.00 feet; thence S00°59'40"W (recorded as S00°59'59"W), 80.00 feet to a point on the South Right-of-Way line of Avon Road, said point also being the Point of Beginning; thence along said South Right-of-Way line, S89°05'58"E, 577.00 feet; thence S00°59'40"W (recorded as S00°59'59"W), 180.00 feet; thence S89°05'58"E, 393.00 feet to a point on the West Right-of-Way line of Rochester Road; thence along said West Right-of-Way line, S00°59'40"W (recorded as S00°59'59"W), 475.00 feet; thence N89°05'58"W, 970.00 feet; thence N00°59'40"E (recorded as N00°59'59"E), 655.00 feet to the Point of Beginning, containing 12.962 acres and subject to any easements or restrictions of record.

REVISIONS

NO.	BY	DATE	DESCRIPTION
1	ESB	DN	ISSUE
2	ESB	DN	ISSUE
3	ESB	DN	ISSUE
4	ESB	DN	ISSUE
5	ESB	DN	ISSUE
6	ESB	DN	ISSUE
7	ESB	DN	ISSUE
8	ESB	DN	ISSUE
9	ESB	DN	ISSUE
10	ESB	DN	ISSUE

STATE OF MICHIGAN
 EML S. BLANK II
 ENGINEER
 6261058445
 PROFESSIONAL

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TOPOGRAPHIC SURVEY WINCHESTER DISTRICT
 PART OF THE NORTHEAST 1/4 OF SECTION 22, T.3N., R.11E., CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

ORIGINAL ISSUE DATE:
 AUGUST 22, 2017

PEA JOB NO. 2016-367

SCALE:
 DRAWING NUMBER:
C-1.0

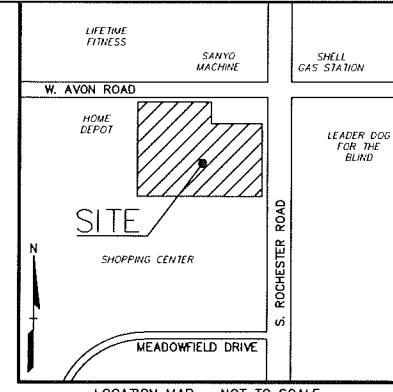
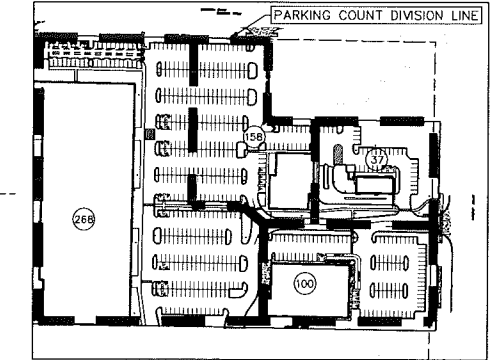
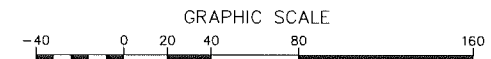
NOT FOR CONSTRUCTION #17-036

W. AVON ROAD
(60' 1/2 WIDTH)

ACCESSIBLE DOOR LEGEND:
 INDICATES ACCESSIBLE ACCESS DOOR
 INDICATES ACCESSIBLE ROUTE
 REFER TO ARCHITECTURAL PLANS FOR FURTHER DETAILS.

Article 11 Off-Street Parking and Loading
 Parking Section 138-11-204 Table 15

	Building	Use	Occupancy	floor area	Spaces per Occupant	Spaces per sf	Parking per building	max. 115%	ADA per min. parking	Spaces Proposed	ADA spaces Proposed
ART Var	A	Retail	0	116,064	0.00	1/300	387	445	13	266	18
BK	B	Restaurant	64	3,024	0.50	0	32	37	2	37	2
AidI	C	Retail	0	22,245	0.00	1/300	74	85	4	100	4
Art&Jakes	D	Restaurant	315	10,000	0.50	0	158	181	3	158	4
				Total =			651	748	21	561	28



REVISIONS

NO.	DATE	REVISION DESCRIPTION	BY	DATE
1	ESB	ISSUE SITE PLANS	ESB	
2	ESB	REVISED SITE PLANS	ESB	



LEGEND

- IRON FOUND
- BRASS PLUG SET
- NAIL FOUND
- NAIL & CAP SET
- SEC. CORNER FOUND
- MONUMENT FOUND
- MONUMENT SET
- RECORDED
- MEASURED
- CALCULATED

EXISTING

- ELEC. WIRE OR CABLE TYPE, SIZE, AND DATE
- UNDERGROUND CABLE TV, CATV, PESTAL
- TELEPHONE U.S. CABLE, PESTAL & MARKLE
- ELECTRIC U.S. CABLE, MARKLE, METER & HANDLE
- GAS MAIN, VALVE & GAS LINE MARKER
- WATER MAIN, HDG. GAS VALVE, TAPPING SIZE & VALVE
- SANITARY SEWER, CLEANOUT & MANHOLE
- STORM SEWER, CLEANOUT & MANHOLE
- DRAINAGE MANHOLE
- ROOF DRAIN
- DOWNSPUT
- CHIMNEY SEWER & MANHOLE
- SQUARE, ROUND & BECKE CATCH BASIN
- CLAVET
- POST INDICATOR VALVE
- WATER MAIN BOY/GRANT VALVE, BOX, STORAGE SHUT/OUT
- MANHOLE, TRANSFORMER, PRETENSION CONTROL VALVE
- UNIDENTIFIED STRUCTURE
- 816.06 SPT ELEVATION
- EDGE OF WATER
- 5750 CENTER LINE
- FENCE
- GUARD RAIL
- FIRE LINE
- TREE TAG
- STREET LIGHT
- SIGN
- SOIL BORING
- CONCRETE
- ASPHALT
- GRAVEL SHOULDER

REFERENCE DRAWINGS

FLOOD PLAN: FEMA FIRM 26125C0935F, DATED SEPTEMBER 26, 2009
 ALTA SURVEY: PEA JOB NO. 2001-186, DWG NO. W-1, DATED 07-13-01
 CDTLS WEBSTER PROJECT NO. 1832750, DATED 09-03-15

SITE DATA TABLE:

SITE AREA: 12.962 ACRES
 ZONING: B3 SHOPPING CENTER BUSINESS
 FB-3 OVERLAY DISTRICT
 BUILDING INFORMATION:
 MAXIMUM ALLOWABLE BUILDING HEIGHT = 60 FEET (4 STORIES)
 BUILDING FOOTPRINT AREA = 145,155 SQ.FT.
 BUILDING LOT COVERAGE = 25.7%
 SETBACK REQUIREMENTS:
 ARTERIAL STREET
 FRONTAGE IN BUILT-TO AREA
 PERMITTED: 15' 25' 40%
 OPTIONAL: 70' NONE

NOTE:
 ALL SIGNS MUST MEET SECTION 138-8.603 AND CHAPTER 134 OF THE CITY CODE OF ORDINANCES AND BE APPROVED UNDER A SEPARATE PERMIT ISSUED BY THE BUILDING DEPARTMENT

TRUCK DIMENSIONS:

MR-67 - Interstate Semi-Trailer
 Overall Length: 39.500ft
 Overall Width: 8.600ft
 Overall Body Height: 13.500ft
 Min Body Ground Clearance: 6.000ft
 Track Width: 60.000ft
 Lock-Up-Dock Time: 5.000ft
 Max Steering Angle (Virtual): 31.80°

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 WEST BLOOMFIELD, MICHIGAN 48322

PRELIMINARY DIMENSION PLAN
WINCHESTER DISTRICT
 PART OF THE NORTHEAST 1/4 OF SECTION 22, T4N, R11E
 CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

DES: ESB DN, ESB SUR, PEA P.M., DNH

ORIGINAL ISSUE DATE:
 AUGUST 22, 2017

PEA JOB NO. 2016-367

SCALE:
 DRAWING NUMBER:
C-2.0

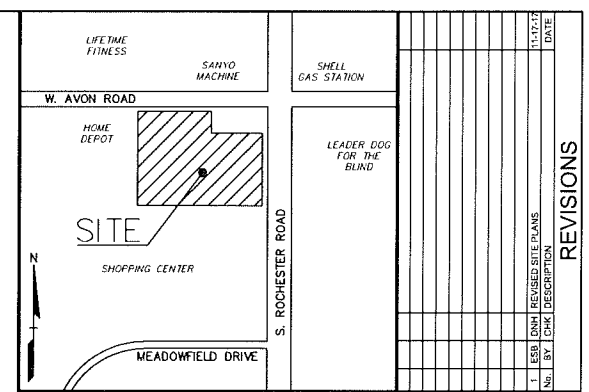
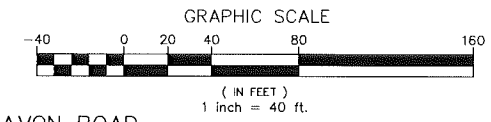
NOT FOR CONSTRUCTION #17-036

W. AVON ROAD
(60' 1/2 WIDTH)

W., AVON ROAD
(60' 1/2 WIDTH)

WEST AVON ROAD
(120' PLANNED ROW)

SOUTH ROCHESTER ROAD
(180' PLANNED ROW)



CAUTION!
THIS PLAN IS A PRELIMINARY DESIGN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING CONDITIONS AND FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS.

- LEGEND**
- IRON FOUND
 - BRASS PLUG SET
 - NAIL FOUND
 - NAIL & CAP SET
 - SEC. CORNER FOUND
 - MONUMENT FOUND
 - MONUMENT SET
 - SEC. CORNER FOUND
 - RECORDED
 - MEASURED
 - CALCULATED
- EXISTING**
- ELEC. WIRE OR CABLE TYP. ON LINE, POLE & OUT WIRE
 - ELEC. CATV
 - TELEPHONE U.S. CABLE, PRESTAL & MANHOLE
 - ELECTRIC U.S. CABLE, MANHOLE, METER & HANDHOLE
 - GAS MAIN, VALVE & GAS LINE WARNER
 - WATER MAIN, GAS, WASTE, TRAPPING SLIKE & VALVE
 - SANITARY SEWER, CLEANOUT & MANHOLE
 - STORM SEWER, CLEANOUT & MANHOLE
 - DRAINAGE PRESTAL
 - ROOF DRAIN
 - DOWNPOUT
 - COINTEGRATED SEWER & MANHOLE
 - SQUARE, ROUND & BECKE CATCH BASIN
 - CLAVERT
 - POST INDICATOR VALVE
 - WATER VALVE, ROOF/WATER VALVE, BOIL SERVICE SHUTOFF
 - METER, TRANSFORMER, PROTECTION CONTROL VALVE
 - UNIDENTIFIED STRUCTURE
 - 816 06 SPOT ELEVATION
 - EDGE OF WATER
 - STORM
 - CONDUIT LINE
 - FENCE
 - GUARD RAIL
 - TREE LINE
 - TREE TAG
 - STREET LIGHT
 - SIGN
 - SOIL BORING
 - CONC. CONCRETE
 - ASPHL. ASPHALT
 - GRAVEL GRAVEL SHOULDER
- PROPOSED**
- 816 06 SPOT ELEVATION
 - EDGE OF WATER
 - STORM
 - CONDUIT LINE
 - FENCE
 - GUARD RAIL
 - TREE LINE
 - TREE TAG
 - STREET LIGHT
 - SIGN
 - SOIL BORING
 - CONC. CONCRETE
 - ASPHL. ASPHALT
 - GRAVEL GRAVEL SHOULDER

REFERENCE DRAWINGS

FLOOD PLAN FEWA F.I.R.W. 201200933F, DATED SEPTEMBER 26, 2009
ALTA SURVEY FEA JOB NO. 2001-186, DWG NO. M-1, DATED 07-13-01
GFFELS WEBSTER PROJECT NO. 1832750, DATED 09-03-15

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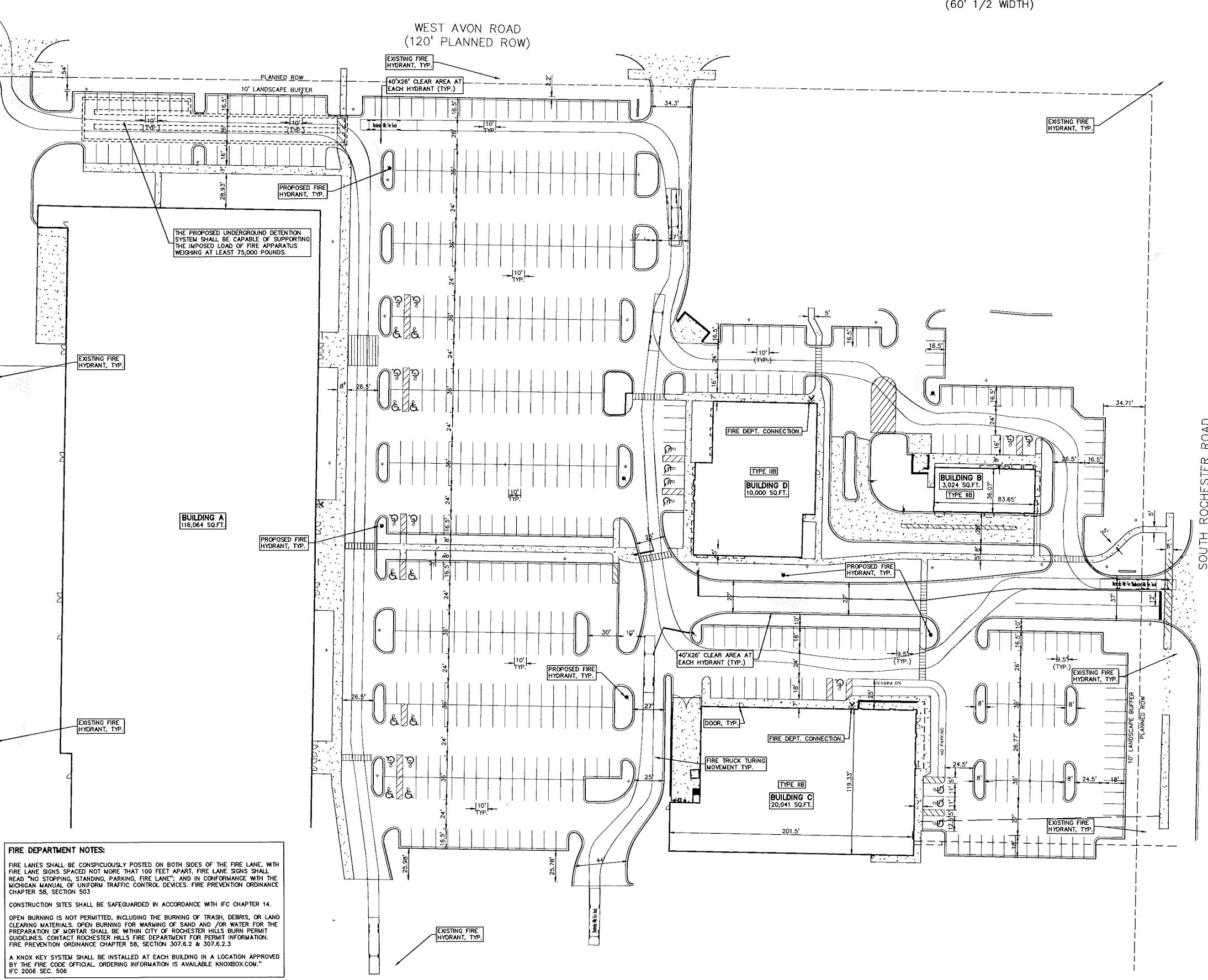
**FIRE PROTECTION PLAN
WINCHESTER DISTRICT**
PART OF THE NORTHEAST 1/4 OF SECTION 22, T3N, R11E
CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

DES: ESB DN SUR. PEA P.M. DNH
ESB DN SUR. PEA P.M. DNH

ORIGINAL ISSUE DATE:
AUGUST 22, 2017

PEA JOB NO. 2016-367

SCALE:
DRAWING NUMBER:
C-3.0



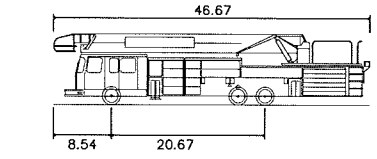
FIRE DEPARTMENT NOTES:

FIRE LANES SHALL BE CONSPICUOUSLY POSTED ON BOTH SIDES OF THE FIRE LANE, WITH FIRE LANE SIGNS SPACED NOT MORE THAN 100 FEET APART. FIRE LANE SIGNS SHALL READ "NO STOPPING, STANDING, PARKING, FIRE LANE", AND IN CONFORMANCE WITH THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, FIRE PREVENTION ORDINANCE CHAPTER 58, SECTION 503.

CONSTRUCTION SITES SHALL BE SAFEGUARDED IN ACCORDANCE WITH IFC CHAPTER 14.

OPEN BURNING IS NOT PERMITTED, INCLUDING THE BURNING OF TRASH, DEBRIS, OR LAND CLEARING MATERIALS. OPEN BURNING FOR WARMING OF SAND AND FOR WATER FOR THE PREPARATION OF MORTAR SHALL BE WITHIN CITY OF ROCHESTER HILLS BURN PERMIT GUIDELINES. CONTACT ROCHESTER HILLS FIRE DEPARTMENT FOR PERMIT INFORMATION. FIRE PREVENTION ORDINANCE CHAPTER 58, SECTION 307.6.2 & 307.6.2.3.

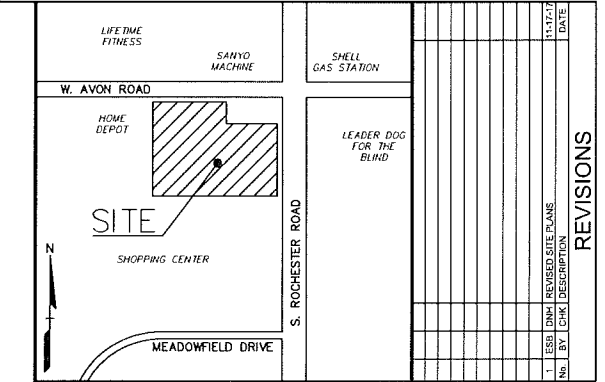
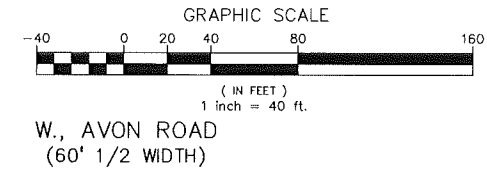
A KNOX KEY SYSTEM SHALL BE INSTALLED AT EACH BUILDING IN A LOCATION APPROVED BY THE FIRE CODE OFFICIAL. ORDERING INFORMATION IS AVAILABLE KNOXBOX.COM." IFC 2006 SEC. 506.



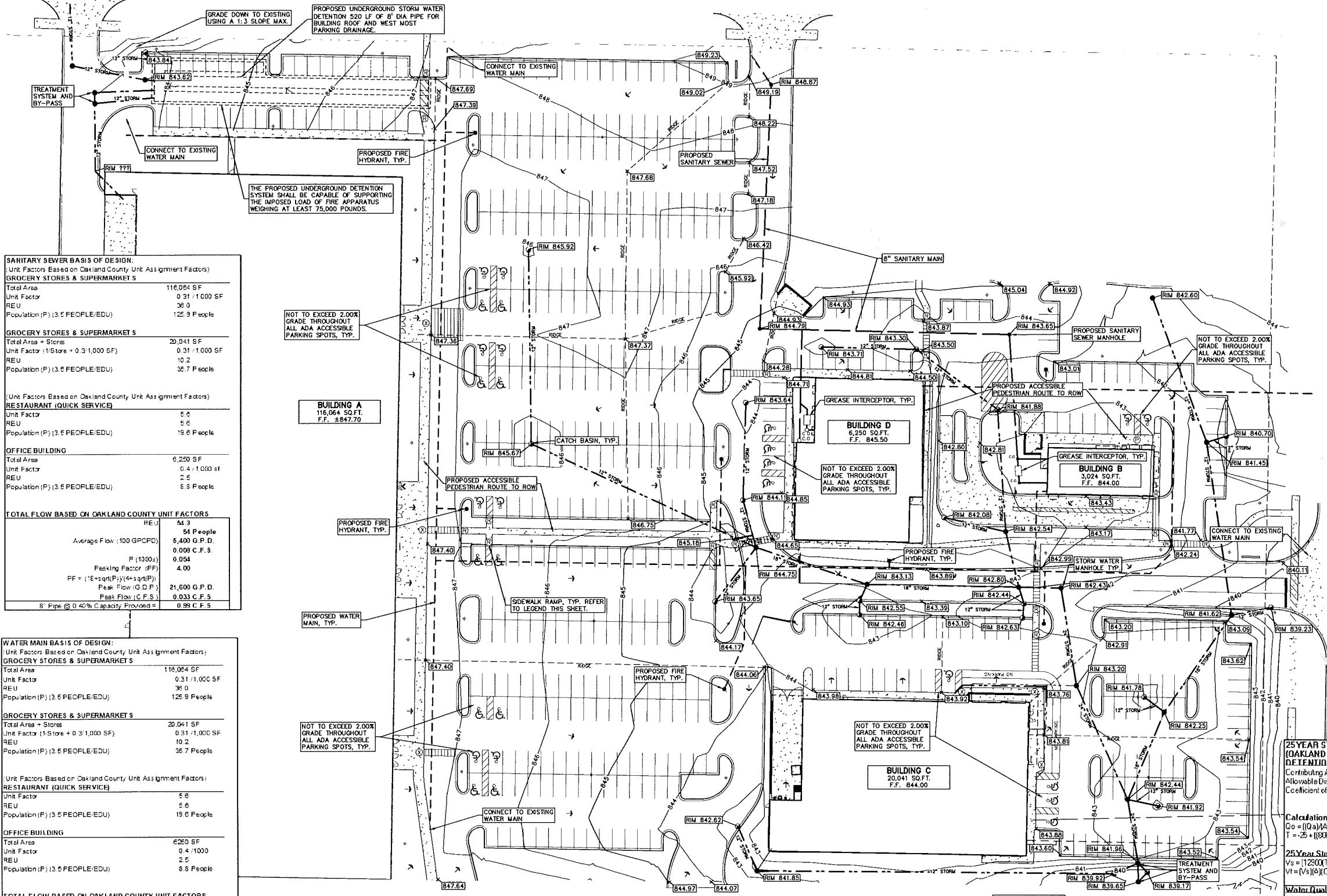
Rochester Hills Fire Truck
Overall Length 46.670ft
Overall Width 8.500ft
Min Wheel Radius 42.5ft

#17-036
NOT FOR CONSTRUCTION

W. AVON ROAD
(60' 1/2 WIDTH)



REVISIONS



SANITARY SEWER BASIS OF DESIGN:
(Unit Factors Based on Oakland County Unit Assignment Factors)

GROCERY STORES & SUPERMARKET S

Total Area	116,064 SF
Unit Factor	0.31 / 1,000 SF
REU	36.0
Population (P) (3.5 PEOPLE/EDU)	125.9 People

GROCERY STORES & SUPERMARKET S

Total Area + Stores	20,041 SF
Unit Factor (1-Store + 0.3 / 1,000 SF)	0.31 / 1,000 SF
REU	10.2
Population (P) (3.5 PEOPLE/EDU)	35.7 People

RESTAURANT (QUICK SERVICE)

Unit Factor	5.6
REU	5.6
Population (P) (3.5 PEOPLE/EDU)	19.6 People

OFFICE BUILDING

Total Area	6,250 SF
Unit Factor	0.4 / 1,000 sf
REU	2.5
Population (P) (3.5 PEOPLE/EDU)	8.8 People

TOTAL FLOW BASED ON OAKLAND COUNTY UNIT FACTORS

REU	54.3
54 People	
Average Flow (100 GPCPD)	6,400 G.P.D.
0.009 C.F.S.	
P (1000s)	0.054
Peaking Factor (PF)	4.00
PF = (1 + sqrt(P)) / (1 + sqrt(1))	
Peak Flow (G.P.D.)	21,600 G.P.D.
Peak Flow (C.F.S.)	0.333 C.F.S.
8" Pipe @ 0.40% Capacity Provided =	0.99 C.F.S.

WATER MAIN BASIS OF DESIGN:
(Unit Factors Based on Oakland County Unit Assignment Factors)

GROCERY STORES & SUPERMARKET S

Total Area	116,064 SF
Unit Factor	0.31 / 1,000 SF
REU	36.0
Population (P) (3.5 PEOPLE/EDU)	125.9 People

GROCERY STORES & SUPERMARKET S

Total Area + Stores	20,041 SF
Unit Factor (1-Store + 0.3 / 1,000 SF)	0.31 / 1,000 SF
REU	10.2
Population (P) (3.5 PEOPLE/EDU)	35.7 People

RESTAURANT (QUICK SERVICE)

Unit Factor	5.6
REU	5.6
Population (P) (3.5 PEOPLE/EDU)	19.6 People

OFFICE BUILDING

Total Area	6,250 SF
Unit Factor	0.4 / 1,000
REU	2.5
Population (P) (3.5 PEOPLE/EDU)	8.8 People

TOTAL FLOW BASED ON OAKLAND COUNTY UNIT FACTORS

REU	54.3
54 People	
Average Flow (150 GPCPD)	8,100 G.P.D.
0.013 C.F.S.	
Design Max. Flow = (2" avg)	16,200.00 G.P.D.
0.025 C.F.S.	
0.016 M.G.D.	
Building Type =	II B
Required Fire Flow =	1500 gpm for 2 hours

LEGEND

● IRON FOUND
⊗ BRASS PLUG SET
⊘ NAILED FOUND
⊚ NAILED & CAP SET

⊕ SEC. CORNER FOUND
⊗ RECORDED
⊘ MEASURED
⊚ CALCULATED

EXISTING
-ELEC- W-C- CH
-ELEC- P- CH
-ELEC- U- CH
-ELEC- G- CH
-ELEC- S- CH
-ELEC- T- CH
-ELEC- V- CH
-ELEC- W- CH
-ELEC- X- CH
-ELEC- Y- CH
-ELEC- Z- CH

PROPOSED
-ELEC- W-C- CH
-ELEC- P- CH
-ELEC- U- CH
-ELEC- G- CH
-ELEC- S- CH
-ELEC- T- CH
-ELEC- V- CH
-ELEC- W- CH
-ELEC- X- CH
-ELEC- Y- CH
-ELEC- Z- CH

REFERENCE DRAWINGS

FLOOD PLAN FEMA F.I.R.W. 26125C0933F, DATED SEPTEMBER 26, 2009
ALTA SURVEY PEA JOB NO. 2001-186, DWS NO. M-1, DATED 07-13-01
OFFICE WEBSTER PROJECT NO. 1832750, DATED 09-03-15

SIDEWALK RAMP LEGEND:
SIDEWALK RAMP "TYPE R"
SIDEWALK RAMP "TYPE P"
REFER TO THE LATEST M.D.O.T. R-28 STANDARD RAMP AND DETECTABLE WARNING DETAILS

DRAINAGE/DETENTION NARRATIVE:
THE PROPOSED DRAINAGE PATTERN ADDS 25 YEAR DETENTION FOR THE RUNOFF FROM THE ROOF OF BUILDING A AND THE PARKING NORTH OF IT THAT DRAINS TO AVON ROAD. THE REST OF THE DEVELOPMENT TO THE EAST DRAINS SOUTH TO THE EXISTING DETENTION PROVIDED IN THE WINCHESTER CENTER PROPERTY.

STATE OF MICHIGAN
EMIL S. BLANK II
ENGINEER
6201058445
PROFESSIONAL

CAUTION!
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25 YEAR STORM DETENTION DESIGN (OAKLAND COUNTY DESIGN METHOD)

CONTRIBUTING AREA

Contributing Area (A)	3.99	AC. BUILDING & WEST MOST PARKING
Allowable Discharge (Qa)	0.80	C.F.S. (= 0.2 CFS/AC.)
Coefficient of Runoff (Cr)	0.90	

Calculation of Required Discharge:

$Q = (Qa)(A)(Cr)$
 $Q = 0.80 \times 3.99 \times 0.90 = 2.86 \text{ C.F.S.}$

25 Year Storage Volume Required:

$V_s = (12500)(A)(1 + 25) / 400(0.1)$
 $V_s = 12500 \times 3.99 \times 26 / 40 = 34,961.89 \text{ c.f. required}$

Water Quality Volume:
Water Quality Volume Required = 1815 * A * C = 6,517.67 c.f.

PIPE STORAGE:

L =	520 ft.
SIZ =	96 in
C.F.F.T PIPE =	5024 c.f.t
C.F.F.T STON =	1727 c.f.t
VOLUME =	35,108.84 c.f.

NOT FOR CONSTRUCTION #17-036

FIRST HOLDING MANAGEMENT
6960 ORCHARD LAKE ROAD
WEST BLOOMFIELD, MICHIGAN 48322

PRELIMINARY GRADING AND UTILITY PLAN
WINCHESTER DISTRICT
PART OF THE NORTHEAST 1/4 OF SECTION 22, T4N, R11E
CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

DES: ESB DN ESB SUR ESB P.M. DNH

ORIGINAL ISSUE DATE:
AUGUST 22, 2017

PEA JOB NO. 2016-367

SCALE:

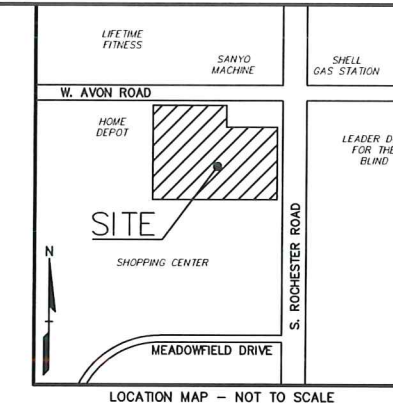
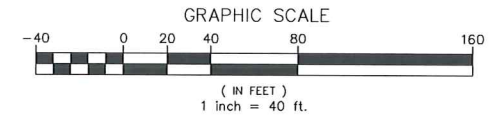
DRAWING NUMBER:
C-4.0

CITY OF ROCHESTER HILLS NOTES:

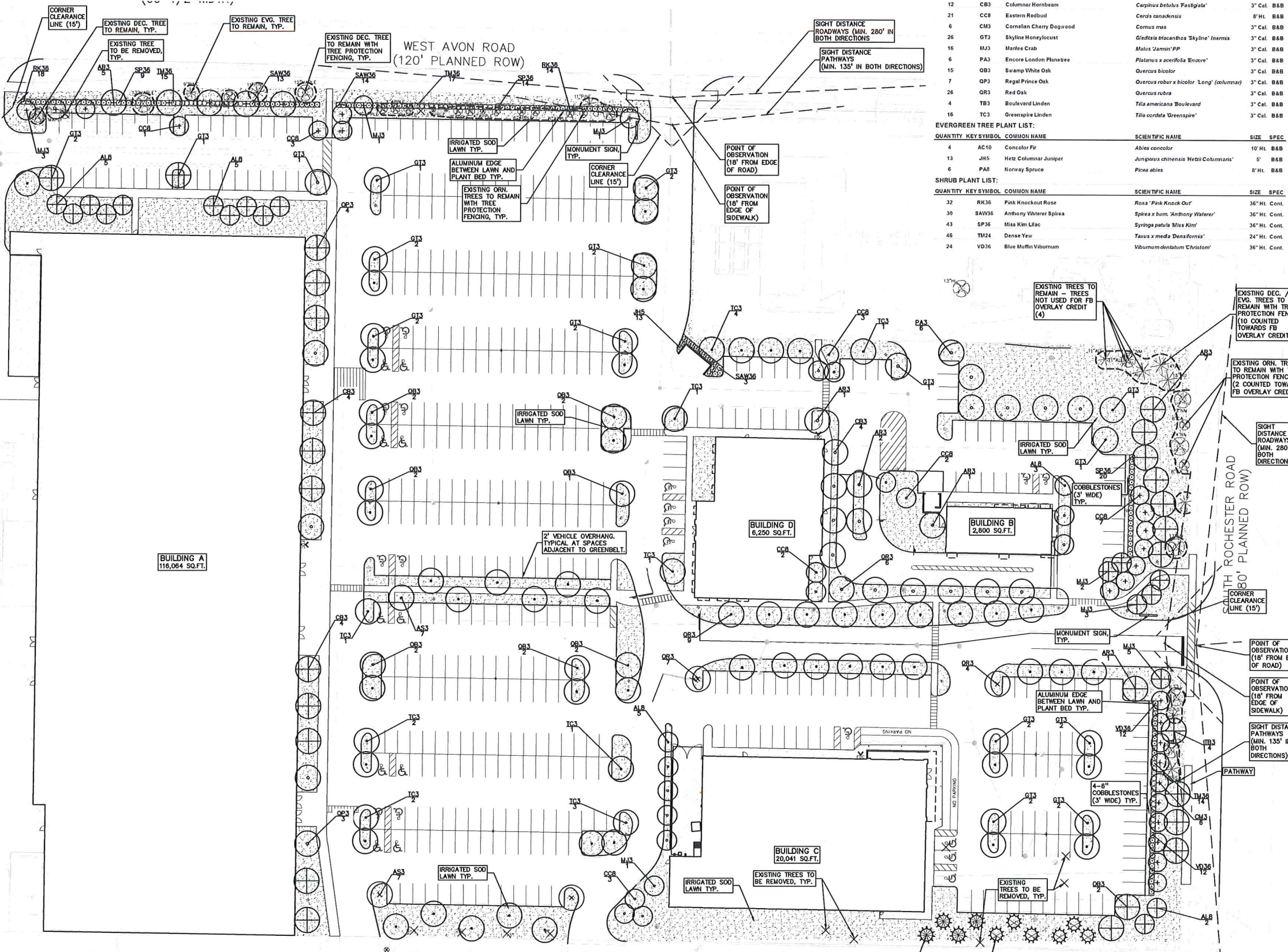
TREE PLANTING RESTRICTIONS:
 Prior approval is required to plant any tree or shrub on the public right-of-way. All trees and shrubs must be planted at least 10' from the edge of the public road. Shade trees and shrubs must be planted at least 5' from the edge of the public roadway. Evergreen and ornamental trees must be planted at least 10' from the edge of the public roadway. No trees or shrubs may be planted within the triangular area formed at the intersection of any street right-of-way lines at a distance along each line of 15' from their point of intersection. All trees and shrubs must be planted at least 10' from any fire hydrant. Shade and evergreen trees must be at least 15' away from the nearest overhead wire. Trees must be planted a minimum of 5' from an underground utility, unless the City's Landscape Architect requires a greater distance. These requirements are incorporated into the plan.

CLOSING COMMENT:
 Prior to the release of the performance bond, the City of Rochester Hills Forestry Division needs to inspect all trees, existing or planted, to identify any that pose a hazard to the safe use of the public right-of-way. Forestry may require the developer to remove, and possibly replace, any such trees.

IRRIGATION NOTES:
 ALL LANDSCAPE AREAS MUST BE IRRIGATED. WATERING WILL ONLY OCCUR BETWEEN THE HOURS OF 12AM-5AM.



NO.	DATE	REVISIONS
1	08/22/2016	ISSUE



DECIDUOUS TREE PLANT LIST:

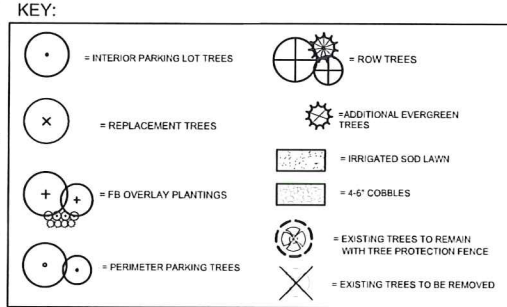
QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
5	AB3	Trident Maple	<i>Acer buergerianum</i>	3" Cal.	B&B
20	ALB	Allegheny Serviceberry	<i>Amelanchier laevis</i>	8" Hl.	B&B
12	AR3	Redpointe Maple	<i>Acer rubrum</i> 'Redpointe'	3" Cal.	B&B
14	AS3	Green Mountain Sugar Maple	<i>Acer saccharum</i> 'Green Mountain'	3" Cal.	B&B
12	CB3	Columbar Hornbeam	<i>Carpinus betulus</i> 'Fastigate'	3" Cal.	B&B
21	CC8	Eastern Redbud	<i>Cercis canadensis</i>	8" Hl.	B&B
6	CM3	Cornelian Cherry Dogwood	<i>Cornus mas</i>	3" Cal.	B&B
26	GJ3	Skyline Honeylocust	<i>Gleditsia tricanthos</i> 'Skyline Inermis'	3" Cal.	B&B
16	MJ3	Manlie Crab	<i>Malus 'Jamin'</i> 'PP'	3" Cal.	B&B
6	PA3	Encore London Plane tree	<i>Platanus x acerifolia</i> 'Encore'	3" Cal.	B&B
15	OB3	Swamp White Oak	<i>Quercus bicolor</i>	3" Cal.	B&B
7	OP3	Regal Prince Oak	<i>Quercus robur</i> x <i>bicolor</i> 'Long' (columnar)	3" Cal.	B&B
26	OR3	Red Oak	<i>Quercus rubra</i>	3" Cal.	B&B
4	TB3	Boulevard Linden	<i>Tilia americana</i> 'Boulevard'	3" Cal.	B&B
16	TC3	Greenspire Linden	<i>Tilia cordata</i> 'Greenspire'	3" Cal.	B&B

EVERGREEN TREE PLANT LIST:

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
4	AC10	Concolor Fir	<i>Abies concolor</i>	10" Hl.	B&B
13	JH5	Hetz Columnar Juniper	<i>Juniperus chinensis</i> 'Netzii Columnaris'	5" B&B	
6	PA8	Norway Spruce	<i>Picea abies</i>	8" Hl.	B&B

SHRUB PLANT LIST:

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
32	RK36	Pink Knockout Rose	<i>Rosa 'Pink Knock Out'</i>	36" Hl.	Cont.
30	SAW36	Anthony Waterer Spirea	<i>Spiraea x bum.</i> 'Anthony Waterer'	36" Hl.	Cont.
43	SP38	Miss Kim Lilac	<i>Syringa patula</i> 'Miss Kim'	36" Hl.	Cont.
46	TW24	Dense Yew	<i>Taxus x media</i> 'Densiformis'	24" Hl.	Cont.
24	VD36	Blue Muffin Viburnum	<i>Viburnum dentatum</i> 'Christoni'	36" Hl.	Cont.



CAUTION!
 THE LOCATIONS AND IDENTIFICATION OF EXISTING TREES AND SHRUBS SHOWN ON THIS PLAN ARE BASED ON THE INFORMATION PROVIDED BY THE CLIENT. THE CLIENT IS RESPONSIBLE FOR VERIFYING THE LOCATION AND IDENTIFICATION OF ALL EXISTING TREES AND SHRUBS PRIOR TO THE START OF CONSTRUCTION. THE DEVELOPER AND CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING AND MARKING ALL EXISTING TREES AND SHRUBS PRIOR TO THE START OF CONSTRUCTION. THE CITY OF ROCHESTER HILLS DOES NOT WARRANT THE ACCURACY OF THIS INFORMATION.

LANDSCAPE CALCULATIONS: B3 SHOPPING CENTER BUSINESS FB-3 OVERLAY DISTRICT
 PER CITY OF ROCHESTER HILLS ZONING ORDINANCE

INTERIOR PARKING LOT LANDSCAPE
 REQUIRED: 5% OF VEHICLE USE AREA, 1 TREE PER ISLAND
 243,600 ÷ 5% = 12,180 SQ FT, 1 TREE / 150 SF = 81 TREES
 PROVIDED: 16,213 SF LANDSCAPE ISLAND AREA AND 81 TREES

REPLACEMENT TREES
 REQUIRED: 1 REGULATED TREE REMOVED = 1 TREE REQUIRED (3" DECIDUOUS REPLACEMENT TREE OR 10' EVERGREEN REPLACEMENT TREE = CREDIT FOR 2 TREES)
 7 REGULATED TREES REMOVED
 PROVIDED: 4 - 3" CAL DEC TREES

FB OVERLAY - FRONT YARD LANDSCAPE
 REQUIRED: 2 DEC, 1 ORN TREE, AND 12 SHRUBS / 100LF OF ROW.
 AVON RD: 578' / 100 = 5 NEW DEC + 7 EX DEC / EVG TREES, 9 NEW ORN TREES + 14 EX ORN TREES AND 114 SHRUBS.
 ROCHESTER RD: 475' / 100 = 4 NEW DEC AND 10 EX DEC / EVG TREES, 17 NEW ORN TREES + 2 EXISTING ORN. TREES AND 58 SHRUBS.

PERIMETER PARKING TREES
 REQUIRED: 1 DEC OR EVG TREE / 35LF AND 1 ORN TREE / 35LF OF ROW. ANY PARKING WITHIN 30' OF ROW REQUIRES A VEGETATIVE HEDGE FOR SCREENING.
 AVON RD: 418' / 25 = 17 DEC, 418' / 35 = 12 ORN TREES AND VEGETATIVE HEDGE.
 ROCHESTER RD: 230' / 25 = 9 DEC AND 350' / 35 = 7 ORN TREES.

ROW TREES
 REQUIRED: 1 DEC OR EVG TREE / 35LF AND 1 ORN TREE / 60LF OF ROW.
 AVON RD: 578' / 35 = 17 DEC OR EVG AND 578' / 60 = 10 ORN TREES.
 ROCHESTER RD: 475' / 35 = 14 DEC OR EVG AND 475' / 60 = 8 ORN TREES.

ADDITIONAL PLANTINGS
 AN ADDITIONAL 6 EVERGREEN TREES ARE TO BE INSTALLED SOUTH EAST OF BUILDING C TO HELP SCREEN PARKING LOT FROM ADJACENT BUILDING TO THE SOUTH.

PER CITY OF ROCHESTER HILLS MAINTENANCE AGREEMENT:
 Section 138-12.109 Maintenance
 The owner of the property shall be responsible for all maintenance of site landscaping, as follows:

- Landscape shall be kept in a neat, orderly and healthy growing condition, free from debris and refuse. Pruning shall be minimal at the time of installation, only to remove dead or diseased branches. Subsequent pruning shall ensure proper maturation of plants to achieve their approved purpose.
- All dead, damaged, or diseased plant material shall be removed immediately and replaced within six (6) months after it dies or in the next planting season, whichever occurs first. For purposes of this section, the planting season for deciduous plants shall be between March 1 and June 1 and for evergreen plants shall be between March 1 and June 31. Plant material installed to replace dead or diseased material shall be as close as practical to the dead, damaged, or diseased material. The City may notify property owners of the need to replace dead, damaged, or diseased material.
- The approved landscape plan shall be considered a permanent record and integral part of the Site Plan Approval. Unless otherwise approved in accordance with the aforementioned procedures, any addition to or removal of plant material, or non-compliance with the maintenance requirements of this Section 138-12.109 will place the parcel in non-conformity with the approved landscape plan and be a violation of this Ordinance.
- If protected trees are damaged, a fine shall be issued on an inch-by-inch basis at a monetary rate as defined by the Forestry Department.

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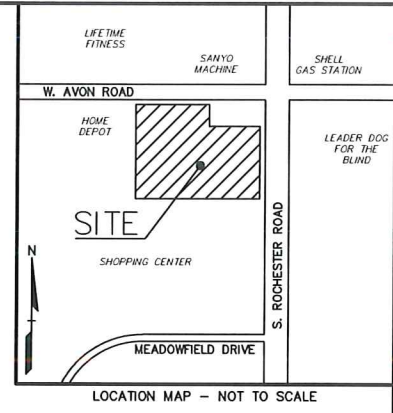
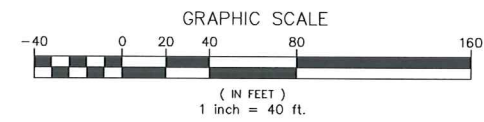
FIRST HOLDING MANAGEMENT
 6880 ORCHARD LAKE ROAD
 WEST BLOOMFIELD, MICHIGAN 48322

LANDSCAPE PLAN WINCHESTER DISTRICT
 PART OF THE NORTHEAST 1/4 OF SECTION 22, T3N, R1E
 CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

DESIGNED BY: JLE
CHECKED BY: JLE
DATE: 08/22/2016

DRAWN BY: JLE
CHECKED BY: JLE
DATE: 08/22/2016

ORIGINAL ISSUE DATE: AUGUST 22, 2016
 PEA JOB NO. 2016-367
 SCALE: 1" = 40'
 DRAWING NUMBER: L-1.0



NO.	DATE	REVISIONS
1	LEB	DNH
2	LEB	DNH
3	LEB	DNH
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50	LEB	DNH



GENERAL PLANTING NOTES:

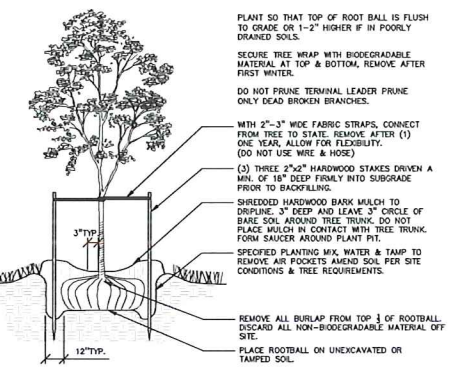
- LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING SITE CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED WORK. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, PLAN SHALL GOVERN QUANTITIES. CONTACT LANDSCAPE ARCHITECT WITH ANY CONCERNS.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON HIS/HER PHASE OF WORK. ELECTRIC, GAS, TELEPHONE, CABLE TELEVISION MAY BE LOCATED BY CALLING MISS DIG 1-800-482-7171. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF CONTRACTOR. CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES ON THE JOB AND SHALL REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER'S REPRESENTATIVE PRIOR TO COMMENCING.
- ALL PLANT MATERIAL TO BE PREMIUM GRADE NURSERY STOCK AND SHALL SATISFY AMERICAN ASSOCIATION OF NURSERYMEN STANDARD FOR NURSERY STOCK. ALL LANDSCAPE MATERIAL SHALL BE NORTHERN GROWN, NO. 1, GRADE.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON LANDSCAPE PLAN PRIOR TO PRICING THE WORK.
- THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
- ALL SINGLE STEM SHADE TREES TO HAVE STRAIGHT TRUNKS AND SYMMETRICAL CROWNS.
- ALL SINGLE TRUNK SHADE TREES TO HAVE A CENTRAL LEADER. TREES WITH FORKED OR IRREGULAR TRUNKS WILL NOT BE ACCEPTED.
- ALL MULTI STEM TREES SHALL BE HEAVILY BRANCHED AND HAVE SYMMETRICAL CROWNS. ONE SIDED TREES OR THOSE WITH THIN OR OPEN CROWNS SHALL NOT BE ACCEPTED.
- ALL EVERGREEN TREES SHALL BE HEAVILY BRANCHED AND FULL TO THE GROUND, SYMMETRICAL IN SHAPE AND NOT SHEARED FOR THE LAST FIVE GROWING SEASONS.
- ALL TREES TO HAVE CLAY OR CLAY LOAM BALLS, TREES WITH SAND BALLS WILL BE REJECTED.
- NO MACHINERY IS TO BE USED WITHIN THE DRIP LINE OF EXISTING TREES; HAND GRADE ALL LAWN AREAS WITHIN THE DRIP LINE OF EXISTING TREES.
- ALL TREE LOCATIONS SHALL BE STAKED BY LANDSCAPE CONTRACTOR AND ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF THE PLANT MATERIAL.
- IT IS MANDATORY THAT POSITIVE DRAINAGE IS PROVIDED AWAY FROM ALL BUILDINGS.
- ALL PLANTING BEDS SHALL RECEIVE 3" SHREDDED HARDWOOD BARK MULCH, WITH FIRE EMERGENT, SEE SPECIFICATIONS. SHREDDED PALLETTE AND DYED MULCH WILL NOT BE ACCEPTED.
- ALL LANDSCAPED AREAS SHALL RECEIVE 3" COMPACTED TOPSOIL.
- SEE SPECIFICATIONS FOR ADDITIONAL COMMENTS, REQUIREMENTS, PLANTING PROCEDURES AND WARRANTY STANDARDS.

CAUTION!
THE LOCATIONS AND DEPTHS OF EXISTING UTILITIES ARE SHOWN ON THIS PLAN. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES ON THE JOB AND SHALL REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER'S REPRESENTATIVE PRIOR TO COMMENCING.

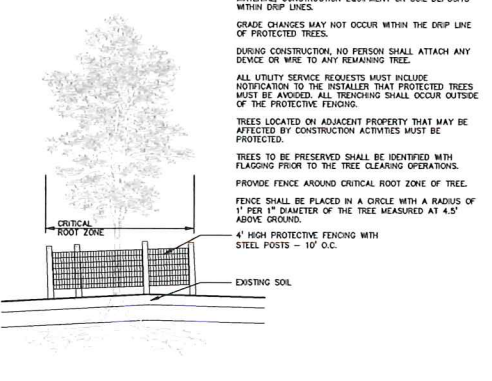
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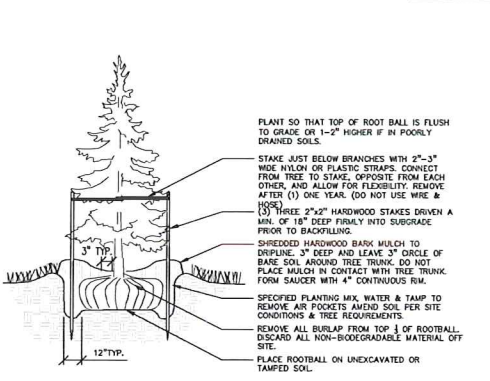
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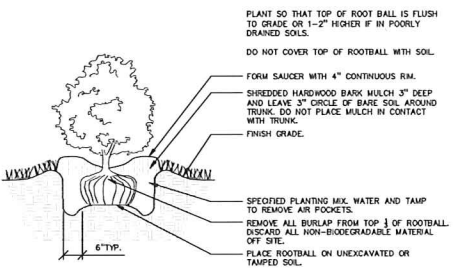
DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE



TREE PROTECTION DETAIL
NOT TO SCALE



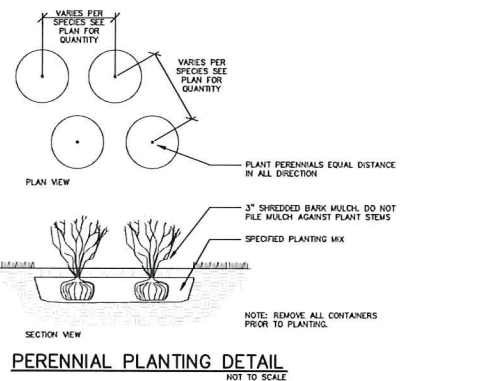
EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE



SHRUB PLANTING DETAIL
NOT TO SCALE



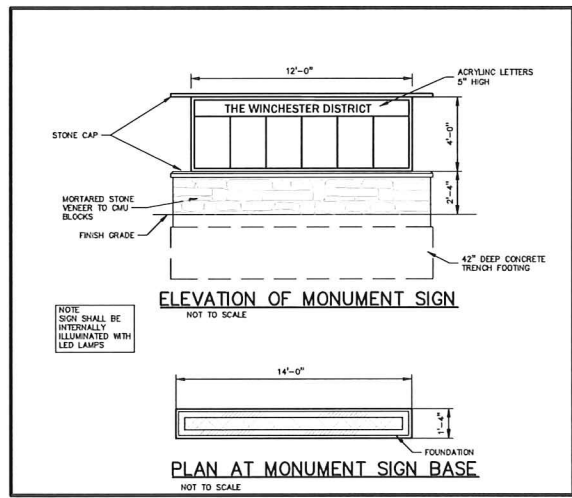
ALUMINUM EDGE DETAIL
NOT TO SCALE



PERENNIAL PLANTING DETAIL
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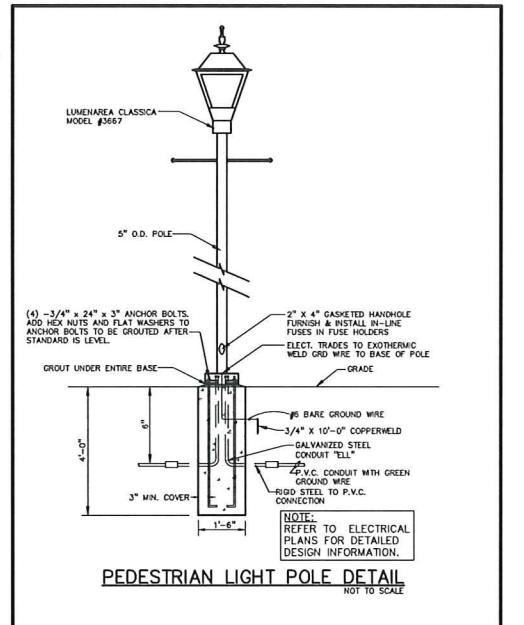
COST OPINION

PROJECT NAME:		Avon and Rochester - 8.16.2017		JOB NO. 2016-367	
LANDSCAPE COST OPINION					
190	EA	3" Deciduous Trees	\$400.00	\$76,000.00	
22	EA	8"t Evergreen Trees	\$300.00	\$6,600.00	
4	EA	10"t Evergreen Trees	\$400.00	\$1,600.00	
39	EA	Ornamental Trees	\$250.00	\$9,750.00	
170	EA	Shrubs	\$50.00	\$8,500.00	
10,000	S.Y.	Sod Lawn	\$6.00	\$64,800.00	
11	C.Y.	Washed Stone	\$50.00	\$550.00	
30	C.Y.	Mulch	\$45.00	\$1,350.00	
116	C.Y.	Plant Mix for Planting Beds	\$12.00	\$1,392.00	
1,449	L.F.	Metal Edge	\$5.75	\$8,331.75	
1	L.S.	Ingration	\$50,000.00	\$20,000.00	
900	C.Y.	Topsoil (Haul and Spread) for lawn at 3"	\$7.00	\$6,300.00	
TOTAL LANDSCAPE				\$205,221.75	



ELEVATION OF MONUMENT SIGN
NOT TO SCALE

PLAN AT MONUMENT SIGN BASE
NOT TO SCALE



PEDESTRIAN LIGHT POLE DETAIL
NOT TO SCALE

RAZAR SERIES-LED

SPECIFICATIONS

POLE DRILLING TEMPLATE

PLED MODULES

Approximate Average Lumens - 4000K

Watts	Lumens	HD Ea	Watts	Lumens	HD Ea	Watts	Lumens	HD Ea	Watts	Lumens	HD Ea
24	2341	50	41	3056	50	51	4977	50	61	5773	50
42	4682	100	82	6112	100	102	9954	100	122	11546	100
60	6923	150	123	9168	150	153	14931	150	183	17319	150
87	11422	225	184	15252	225	230	22396	225	281	27028	225
120	17185	300	245	20336	300	301	29514	300	361	35541	300

SPEC/ORDERING INFORMATION

MODEL	OPTICS	LED MODE	VOLTAGE	FINISH	OPTIONS
RZR-G	TYPE I PLED-I TYPE II PLED-II	RZR-G 350mA 525mA 700mA 1050mA	120V 208V 240V 277V 347V 480V	BLACK RAL-9005-T WHITE RAL-9003-T GREY RAL-7004-T DARK BRONZE RAL-8019-T GREEN RAL-6005-T	HIGH DIMMING FOR HOUSING DIMMING SENSOR INTERNAL HOUSING SHIELD PHOTO CELL + VOLTAGE (EXAMPLE: PC25) PCV THERM LOCK PHOTO CELL + VOLTAGE (EXAMPLE: PC25) PCW THERM LOCK PHOTO CELL ONLY TFR THERM LOCK PHOTO CELL ONLY TFR2 DIMMER (27V 347V) DF DOUBLE END (27V 347V) DF STEP DIMMING SENSOR (DIMMER: 50% VV) MSF11 REMOTE MOTION SENSOR CONFIGURATOR MSFC9

U.S. Architectural Lighting | U.S. ARCHITECTURAL LIGHTING

Specification sheet | lumenarea classica CLA3667

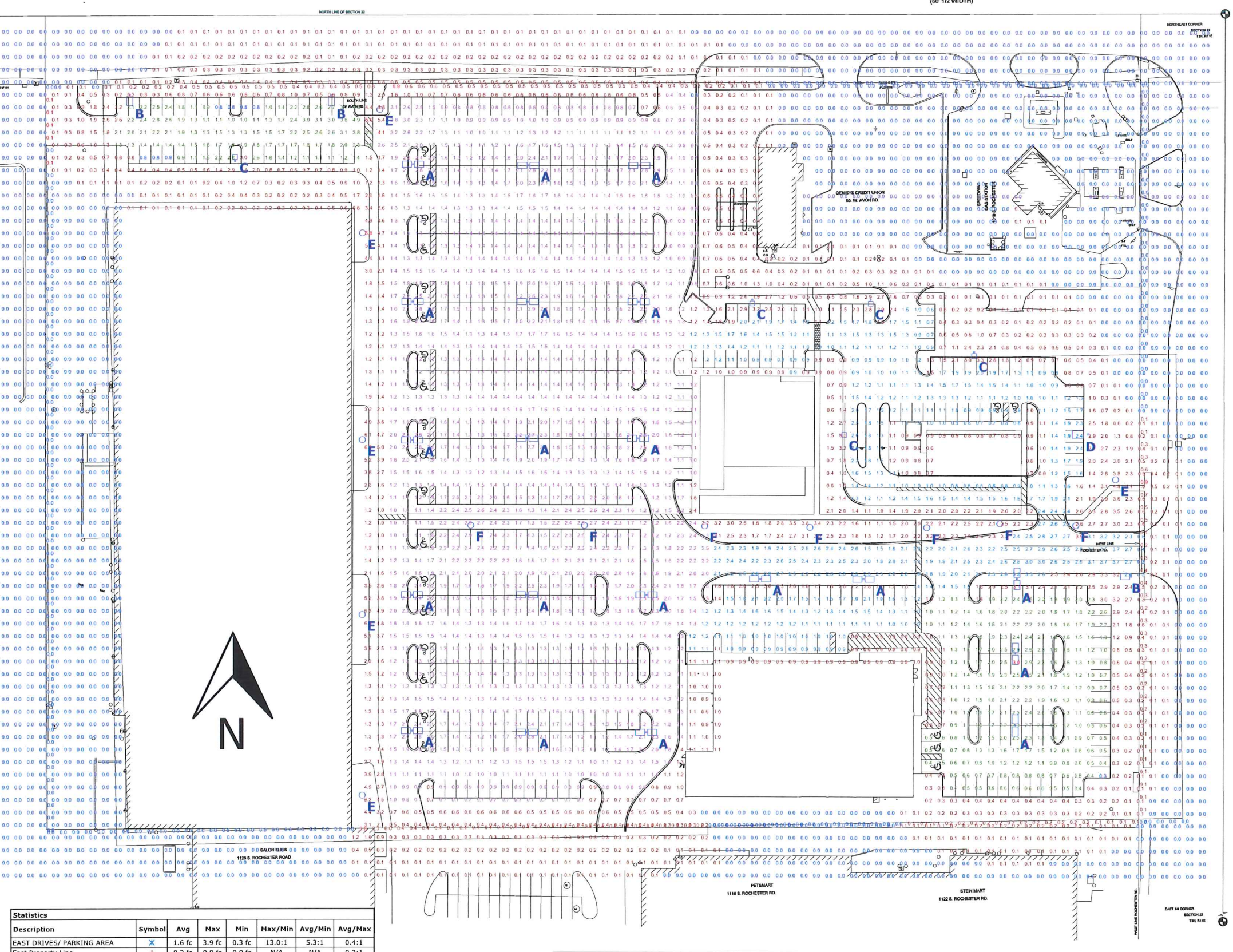


Description

Lumenarea Classica 3667 is a sustainable LED luminaire for urban lighting applications, including pedestrian plazas, residential streets and collector roads. Featuring a traditional lantern design with a decorative top, the luminaire can be further customized with a choice of outputs, color temperatures and finishes.

Features

- Output (module lumens): 3000lm (20W, 1 LED module), 6000lm (40W, 2 LED modules), 9000lm (60W, 3 LED modules), 12000lm (120W, 4 LED modules)
- Color and color temperature: 3000K, 4000K, 5000K
- Distribution: Type II, Type III, Type IV, Type V5
- Mounting accessory (order separately): Decorative arm MC1, Decorative arm MC2, Decorative arm MC3, Decorative arm MC4
- Warranty: 5-year limited warranty
- Performance: Color rendering: 70+; Lumen maintenance: L70 @ 70,000 hrs (25 °C)
- Physical: Housing material: Injection molded aluminum, Cast aluminum; Finial material: Molded aluminum, Spun aluminum; Holder material: Molded aluminum, Extruded Aluminum tubes, Stainless steel set screws; Lens material: Clear or pond UV stabilized acrylic or clear tempered glass; Hardware material: Stainless steel; Weight: 25.4 kg; EPA: 0.32 sq m
- Options: Photoelectric cell button type, Photoelectric cell, twofold type, 7-pin receptacle (can only factory), Decorative glass chimney



Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
EAST DRIVES/ PARKING AREA	X	1.6 fc	3.9 fc	0.3 fc	13.0:1	5.3:1	0.4:1
East Property Line	+	0.2 fc	0.9 fc	0.0 fc	N/A	N/A	0.2:1
MIDDLE LARGE PARKING AREA	X	1.5 fc	4.1 fc	0.3 fc	13.7:1	5.0:1	0.4:1
NORTH EAST PARKING AREA	X	1.9 fc	5.0 fc	0.8 fc	6.3:1	2.4:1	0.4:1
North Property Line	+	0.3 fc	0.9 fc	0.0 fc	N/A	N/A	0.3:1
SOUTH EAST PARKING AREA	X	1.4 fc	3.0 fc	0.3 fc	10.0:1	4.7:1	0.5:1
South Property Line	+	0.2 fc	3.0 fc	0.0 fc	N/A	N/A	0.1:1
West Property Line	+	0.0 fc	0.1 fc	0.0 fc	N/A	N/A	0.0:1

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

Plan View Scale: 1" = 40ft

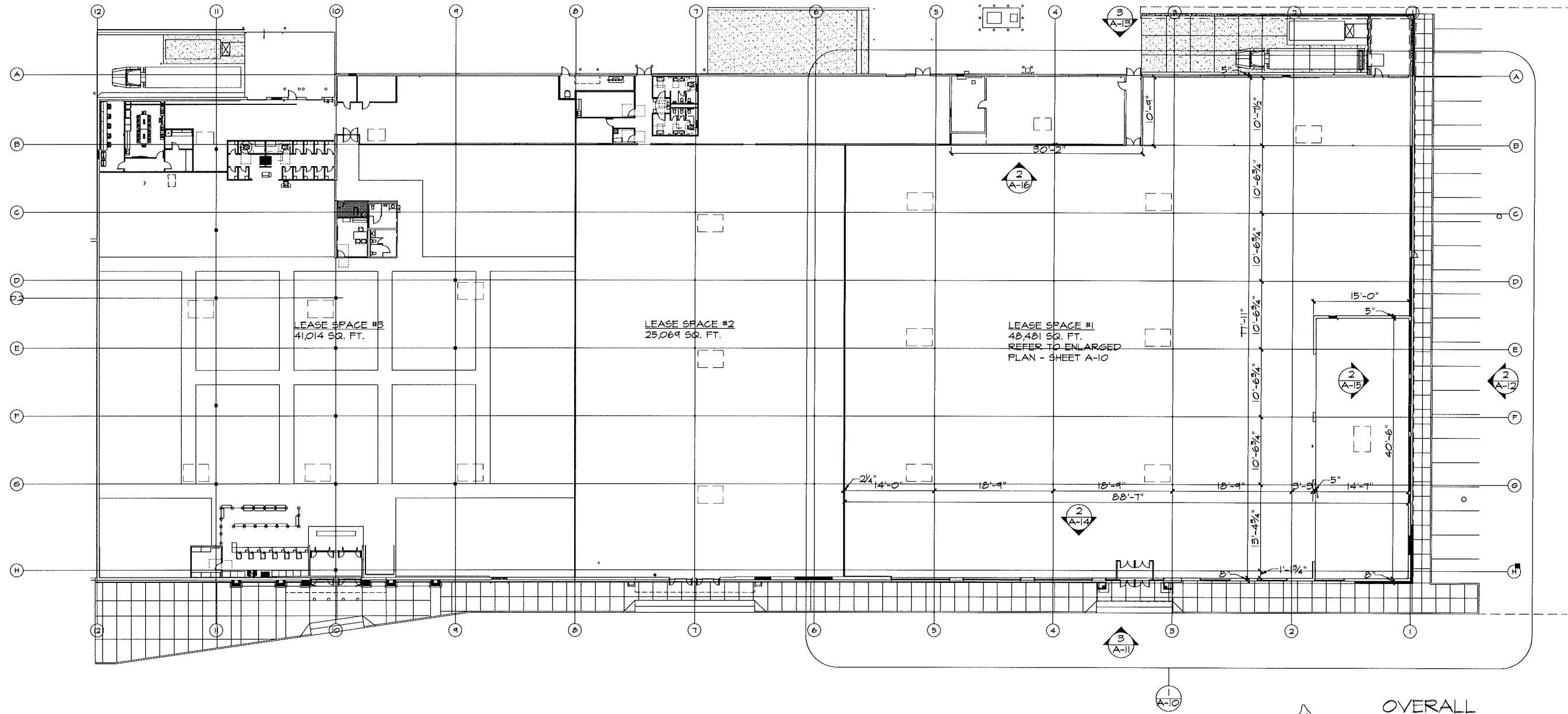
Schedule

Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens per Lamp	LLF	Wattage	Mounting Height
A	A	20	U.S. ARCHITECTURAL LIGHTING	RZR-M-LED-VSQ-W-24LED-1050mA-NW	RAZAR SERIES - LED	LED	24	RZR-M-LED-VSQ-W-24LED-1050mA-NW.IES	375	0.86	164	20'-0"
B	B	3	U.S. ARCHITECTURAL LIGHTING	RZR-M-LED-IV-48LED-700mA-NW-MS	RAZAR SERIES - LED	LED	48	RZR-M-LED-IV-48LED-700mA-NW-MS.IES	203	0.86	105.1	20'-0"
C	C	5	U.S. ARCHITECTURAL LIGHTING	RZR-M-LED-IV-FT-48LED-700mA-NW	RAZAR SERIES - LED	LED	48	RZR-M-LED-IV-FT-48LED-700mA-NW.IES	245	0.86	105.1	20'-0"
D	D	1	U.S. ARCHITECTURAL LIGHTING	RZR-M-LED-III-W-48LED-700mA-NW	RAZAR SERIES - LED	LED	48	RZR-M-LED-III-W-48LED-700mA-NW.IES	251	0.86	105.1	20'-0"
E	E	6	Lumenpulse Inc.	CLA3667 L90 CAL 40K 2	CLASSICA 3667 9000LM CLEAR ACRYLIC LENS. 4000K. TYPE VS DISTRIBUTION.	LED	1	XP100V-0LE2-084L-NW.IES	6102	0.86	88.96	15'-0"
F	F	7	Lumenpulse Inc.	CLA3667 L90 CAL 40K 5S	CLASSICA 3667 9000LM CLEAR ACRYLIC LENS. 4000K. TYPE 2 DISTRIBUTION.	LED	1	XP100V-0LE5-084L-NW.IES	6838	0.86	88.88	15'-0"



WINCHESTER SHOPPING CENTER
PHOTOMETRIC SITE PLAN
PREPARED FOR: PEAC
GASSER BUSH ASSOCIATES
WWW.GASSERBUSH.COM

Designer
BW/AM
Date
8/29/2017
rev 11/16/2017
Scale
Not to Scale
Drawing No.
#17-78847-V4
1 of 1



NORTH
OVERALL FLOOR PLAN
NOT TO SCALE

JML DESIGN GROUP, LTD. 225 E. 16TH STREET, SUITE B, TRAVERSE CITY MICHIGAN 49684

scale: AS NOTED
drawn: MAK

architect: CF CAMPBELL
phone: (231) 947-9014
fax: (231) 947-2158

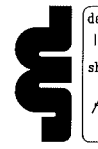
revision: 12/19/16 ISSUED FOR PERMITS/PRICING

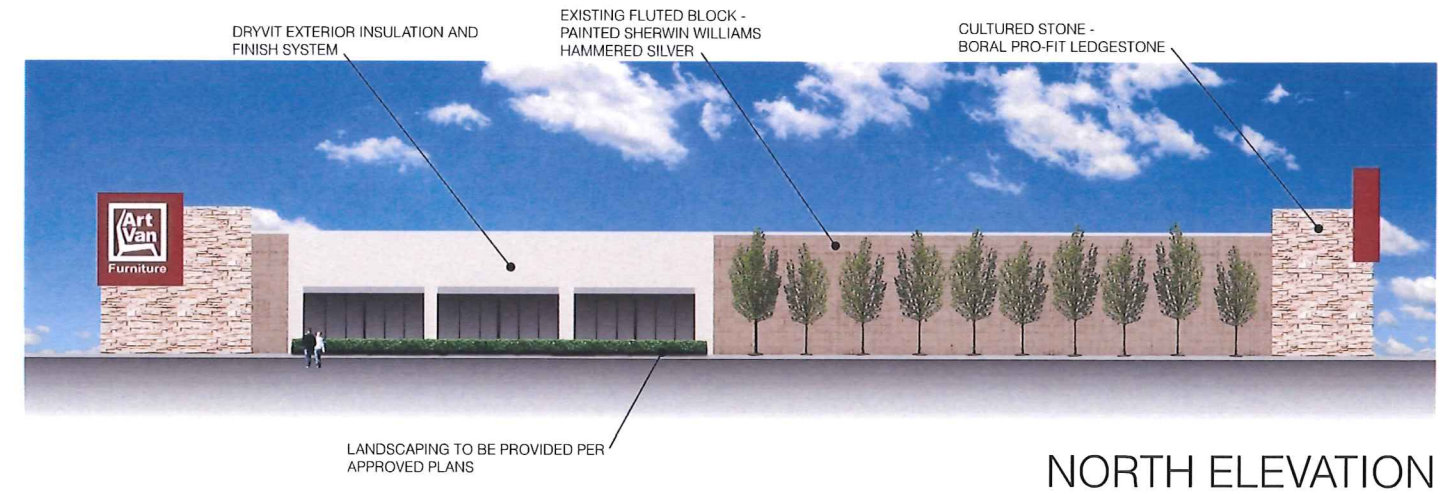
location: ROCHESTER HILLS, MI
client: FIRST HOLDING MGMT. CO.

sheet title: OVERALL FLOOR PLAN
project name: LEASE SPACE #1

preliminary construction

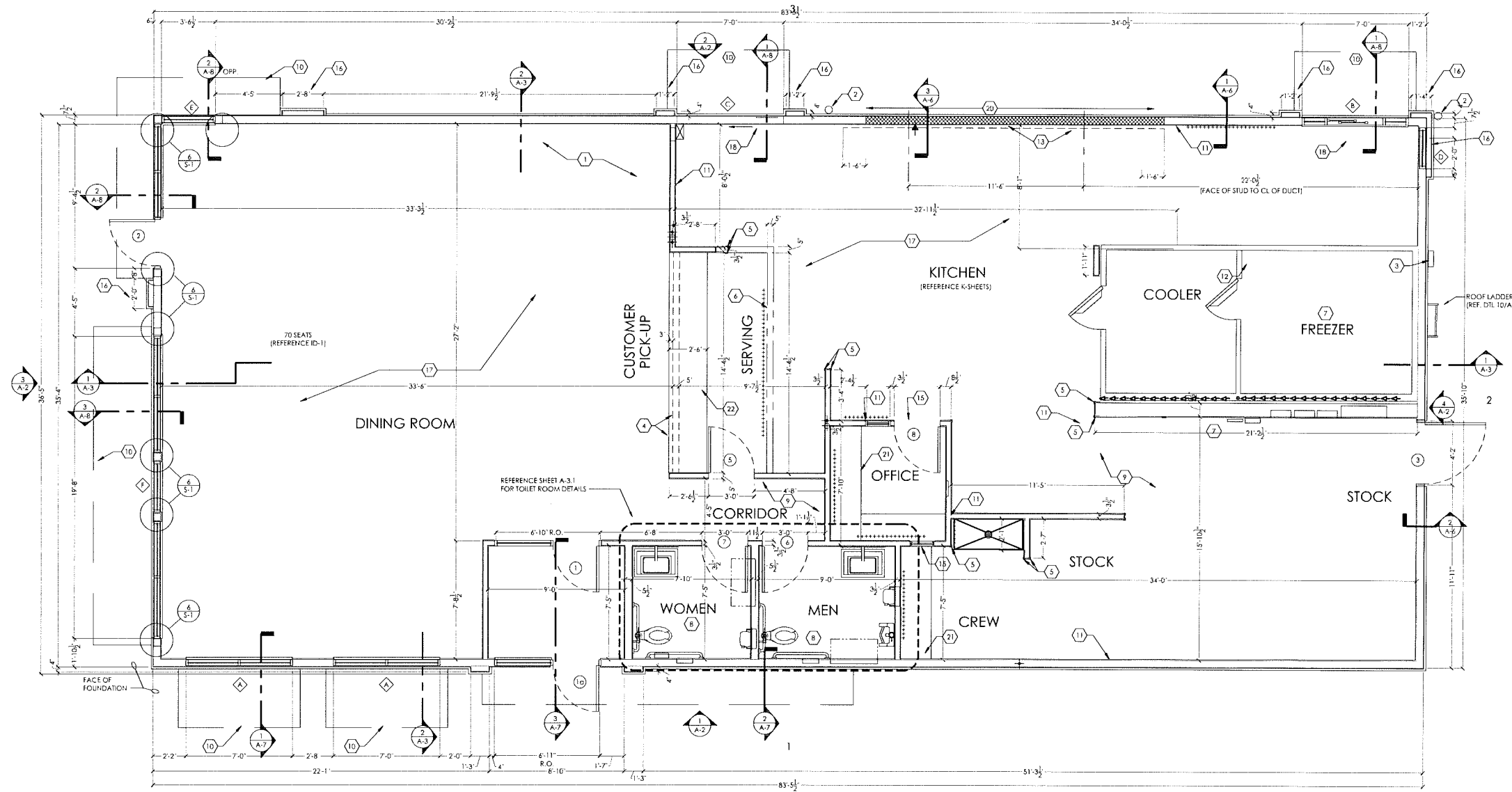
date: 12/19/16
sheet: A-3





www.rogerberent.com

WINCHESTER DISTRICT BUILDING ELEVATIONS AND MATERIALS



FLOOR PLAN
SCALE: 1/4" = 1'-0"
BUILDING AREA = 2,866 SQ.FT.

GENERAL NOTES:

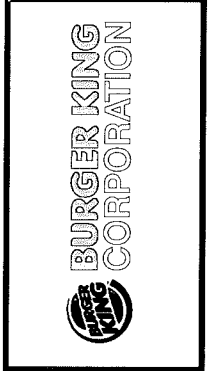
- A. EXTERIOR DIMENSIONS ARE TO FACE OF MASONRY. INTERIOR DIMENSIONS ARE TO FINISH.
- B. OVERALL DIMENSIONS TO EXTERIOR WALLS ARE THE SAME AS TO THE OUTSIDE FACE OF FOUNDATION WALL BELOW.
- C. ALL ANGLED WALLS ARE AT 90° UNLESS NOTED OTHERWISE.
- D. FIRE EXTINGUISHER SHALL COMPLY WITH APPLICABLE BUILDING CODES AND LOCAL RESTRICTIONS.
- E. ELEVATION OF DRIVE-THROUGH LANE 2 (MAXIMUM) BELOW FINISH FLOOR ELEVATION. DRIVE-THROUGH LANE AT SAME ELEVATION AS FINISH FLOOR IS PREFERRED. REFERENCE DETAIL #5, SHEET A-1.1

KEYED NOTES:

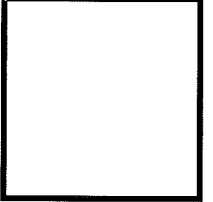
- 1. SELF-SERVE DRINKS AND CONDIMENT STAND. REFER TO SHEET EQ-1.
- 2. STEEL BOLLARD - REFER TO SHEET S-1.
- 3. ELECTRIC SERVICE - REFER TO ELECTRICAL DRAWINGS.
- 4. SERVICE COUNTER PARTITION BY G.C. REFER TO DETAILS ON SHEET E-4 FOR ADDITIONAL INFORMATION. COORDINATE COUNTER TOP FINISHES INSTALLATION RESPONSIBILITIES WITH THE DECOR SUPPLIER. MAXIMUM COUNTER HEIGHT = 34" A.F.F.
- 5. PVC CORNER GUARDS U.O.N. - REFER TO DETAIL #4, SHEET A-1.1.
- 6. MENU BOARD BULKHEAD ABOVE. REFER TO DETAIL 1, SHEET A-4.
- 7. INTERIOR WALK-IN BOX WITH FLOOR ON CONCRETE SLAB. VERIFY SIZE WITH MANUFACTURER.
- 8. PROVIDE ADDITIONAL BLOCKING IN WALLS BEHIND URINAL SCREEN AND BEHIND PLUMBING FIXTURES FOR SUPPORT OF WATER LINES (TYPICAL).
- 9. ALL WALLS AT EXPOSED TRUSSES TO BE FRAMED AND FINISHED TO THE ROOF DECK.
- 10. LINE OF AWNING/CANOPY ABOVE.
- 11. SUBSTRATE PANELS:
KITCHEN - CREW - RESTROOMS
5/8" USG 'DUROCK' PANELS AT FINISH FLOOR TO 24" A.F.F.
5/8" WATER RESISTANT GYPSUM BOARD FROM 24" A.F.F. TO 6" ABOVE FINISHED CEILING.
PROVIDE ALTERNATE BID OF 5/8" USG 'FIBEROCK' PANELS IN LIEU OF DUROCK.
DINING ROOM - CORRIDOR
5/8" TYPE USG 'SHEETROCK' TYPE 'X' GYPSUM WALL BOARD.
FINISH: CORONADO PAINT - LIGHT ORANGE PEEL APPLIED WITH CORONADO AIR ASSIST TIP (Z-122KD) OR EQUAL.
- 12. ELECTRICAL PANELS
OPTION #1:
RECESS ELECTRICAL CONTACTOR PANEL AND PANELS "A", "B" AND "M" IN FURRED OUT WALL ADJACENT TO EXTERIOR FRAMING. G.C. TO VERIFY PANEL SIZES PRIOR TO FURR-OUT TO INSURE ADEQUATE SPACE.
OPTION #2:
HILL PHOENIX INTEGRATED WALL UNIT INCLUDES PANELS "A", "B", "M" AND
- 13. STAINLESS STEEL PANELS BELOW AND 18" WIDE AT EACH SIDE OF HOOD SUPPLIED BY HOOD MANUFACTURER AND INSTAL. BE G.C.
- 14. CAN WASH - DUROCK SUBSTRATE ON ALL THREE SIDES. FLOOR TO CEILING.
- 15. OFFICE WINDOW - REFERENCE SHEET A-10.
- 16. 4" DEEP FURR-OUT ELEMENT (FINISH WIDTH SHOWN) AT TOWER. REFER TO WALL SECTIONS. PROVIDE 12" DEEP CONCRETE CURB (4" A.F.F.) AND FRAMING AS REQUIRED FOR FINISH DIMENSION REQUIREMENTS.
- 17. TILE FLOOR (REFERENCE SPECIFICATIONS ON ID SHEETS).
- 18. DRIVE-THROUGH SLIDING WINDOW.
- 19. ++++++ INDICATES 5/8" PLYWOOD BACKING ON WALLS FOR EQUIPMENT AS INDICATED ON PLAN OR SHELF SUPPORT FROM 48" A.F.F. TO 96" A.F.F. BEHIND 3-COMPARTMENT SINK AND PREP SINK AND ON BULKHEAD AT MENU BOARD WALL FROM 6'-8" A.F.F. TO BOTTOM OF ROOF TRUSSES.
- 20. COUNTER TOP - REFERENCE DETAIL #6, A-1.1.
- 21. USG 5/8" DUROCK (BOTH SIDES) ON 3-5/8" 18 GAUGE CEE STUD FRAMING AT 16" O.C. BEHIND HOOD. WALL TO EXTEND 18" BEYOND EACH END OF HOOD.
- 22. COUNTER TOP EQUIPMENT SHIELD/SNEEZE GUARD BY DECOR SUPPLIER.
- 23. PROVIDE 10 X10" FINISHED OPENING THROUGH WALL CENTERED AT 1'-11" A.F.F. FOR ROUTING OF UTILITIES.

No.	Date	By	Notes
1	7/5/17	TC	FOR SUBMITTAL TO CITY
Drawn By: TC			
Checked: SB			
Scale: AS NOTED			
Date: 7/5/2017			

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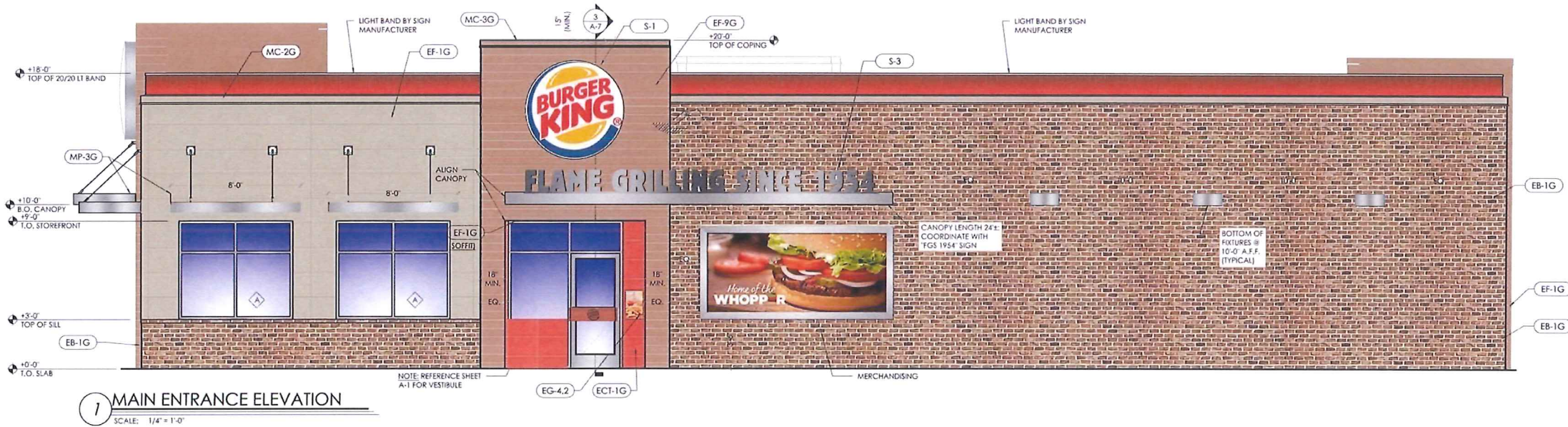


PROJECT
1106 S ROCHESTER RD
ROCHESTER HILLS, MI 48067

SHEET TITLE
FLOOR PLAN

JOB #
TG-17468

SHEET
A-1

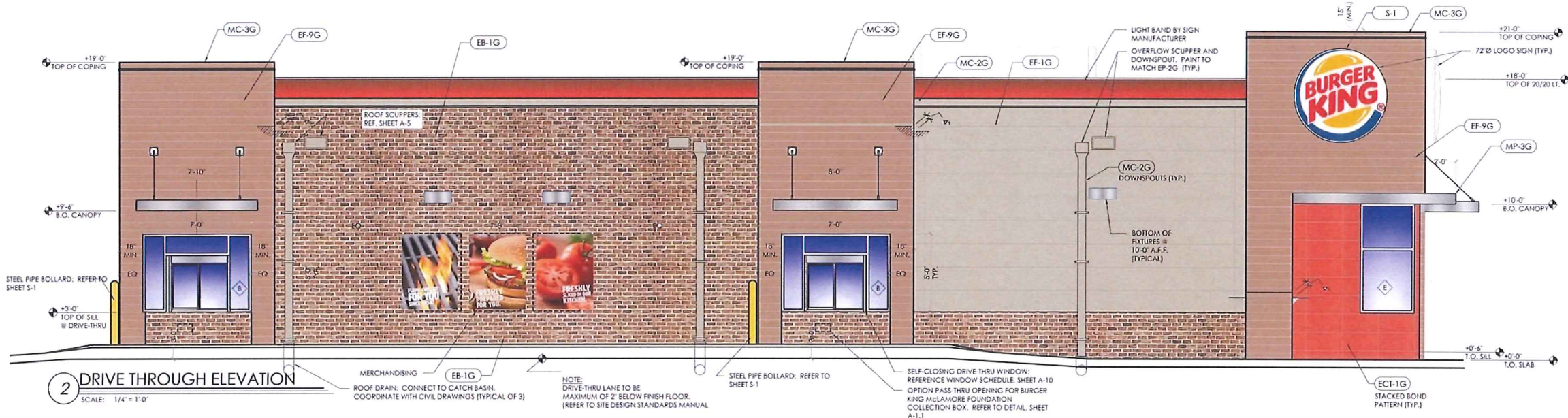


NOTE:
 (EF-9G) - INSTALL PER MANUFACTURER'S SPECIFICATIONS. VERTICAL SEAMS SHALL BE MINIMIZED. ALL SPANS OF 10' OR MORE SHALL HAVE VERTICAL CALKED SEAMS ALIGNED IN THE CENTER OF THE ARCHON

No.	Date	By	Notes
1	7/21/17	TC	FOR SUBMITAL TO CITY
Drawn By: TC			
Checked By: [Signature]			
Scale: AS SHOWN			
Date: 7/5/2017			



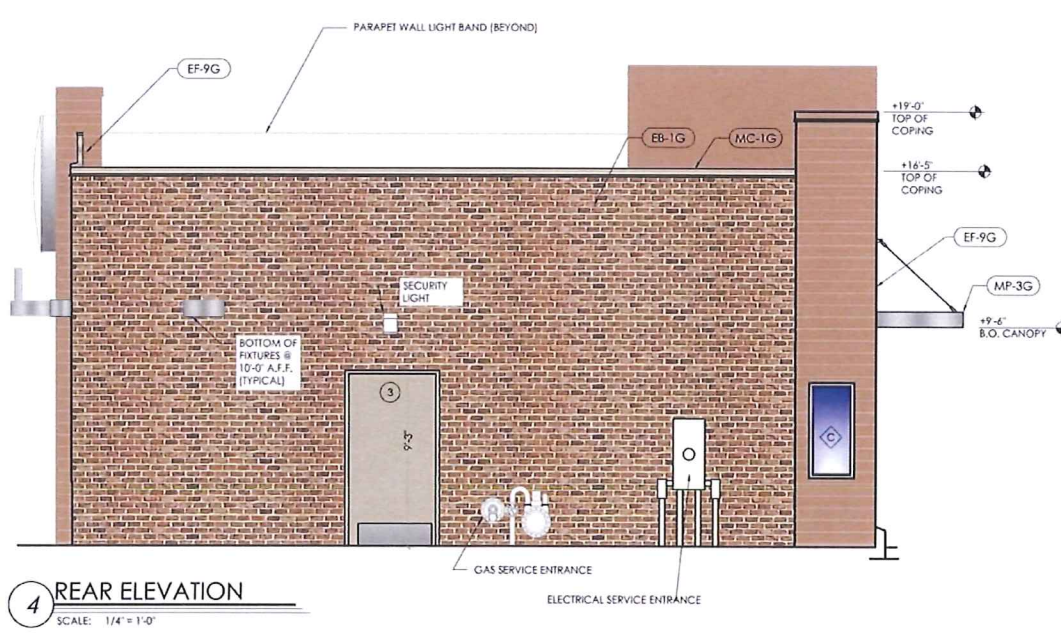
1 MAIN ENTRANCE ELEVATION
 SCALE: 1/4" = 1'-0"



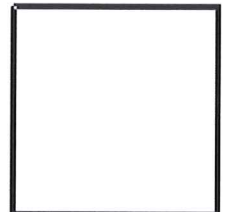
2 DRIVE THRU ELEVATION
 SCALE: 1/4" = 1'-0"



3 FRONT ELEVATION
 SCALE: 1/4" = 1'-0"



4 REAR ELEVATION
 SCALE: 1/4" = 1'-0"



PROJECT	1104 S ROCHESTER RD ROCHESTER HILLS, MI 48037
SHEET TITLE	EXTERIOR ELEVATIONS
JOB #	TG-17468
SHEET	A-2

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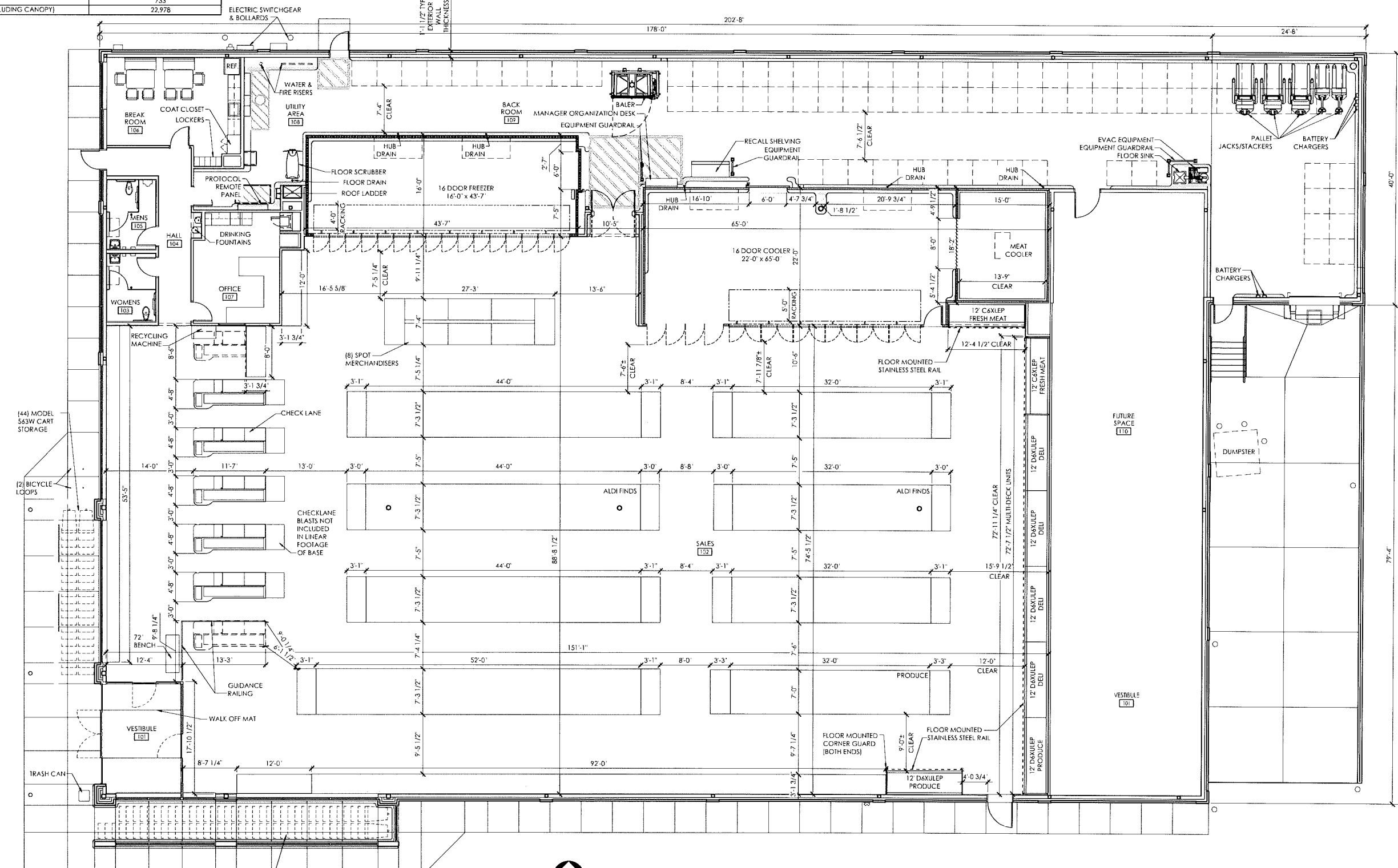
SIDE DOCK AREA SUMMARY		
OCCUPANCY USE	ROOM NAME	SQUARE FOOTAGE
MERCANTILE (M)	SALES / VESTIBULE	12,105
	MEN'S ROOM	85
	WOMEN'S ROOM	83
	HALL	186
SUBTOTAL (MERCANTILE)		12,459
BUSINESS (B)	OFFICE	252
	BREAK ROOM	316
SUBTOTAL (BUSINESS)		568
STORAGE / STOCK (S-1)	BACKROOM	3,834
	COOLER	1,317
	FREEZER	648
	FUTURE SPACE	2,328
SUBTOTAL (STORAGE / STOCK)		8,127
SUBTOTAL (OCCUPANCIES)		21,154
EXTERIOR / INTERIOR WALLS / UNOCCUPIED SPACE		1,091
BUILDING SQUARE FOOTAGE		22,245
EXTERIOR CANOPY		733
TOTAL SQUARE FOOTAGE (INCLUDING CANOPY)		22,978

SIDE DOCK OPERATIONS DATA	
ITEM	V8.0 PROTOTYPE
LINEAR FOOTAGE OF BASE (PRODUCE INCLUDED)	862'-4"
ASSUMED PALLET STORAGE	84
BUILDING DIMENSIONS	119'-4" x 153'-4"
SALES FLOOR DIMENSIONS	74'-5" x 151'-1"
LENGTH OF MULTIDECK	96'
COOLER MILK DOORS	4
COOLER GENERAL DOORS	12
FREEZER GENERAL DOORS	16
SPOT MERCHANDISERS	8
CART STORAGE	(119) MODEL S63W

- NOTES:
- THIS DRAWING IS FOR GENERAL FIXTURE LAYOUT AND REFERENCE TO EQUIPMENT ONLY. ALL INFORMATION IS FOR ALDI OPERATIONAL USE ONLY AND SHALL NOT BE USED FOR CONSTRUCTION OR BIDDING PURPOSES.
 - ALL DIMENSIONS TO WALLS ARE TO FACE OF STUD.
 - ALL SHELVING DIMENSIONS ARE TO FACE OF GONDOLA.
 - THIS FACILITY DOES NOT CONTAIN A BAKERY, A BUTCHER, A DELI OR FISH COUNTER.
 - ALL FOOD IS PREPACKAGED. THERE IS NO ON SITE FOOD PREPARATION.
 - GONDOLA LOCATIONS ARE MEASURED FROM THE FACE OF THE STAINLESS STEEL PRICE TAG MOLDING (SSPIM).

Issued:	Date:
A	08/18/17
B	
C	
D	
E	

Revisions:	Date:
1	
2	
3	
4	
5	
6	
7	
8	
9	



Seal PROJECT ARCHITECT/ENGINEER DATE
 Gaspare Accordo
 PROJECT LEAD DATE
 Heather Hoekstra
 PROJECT DESIGNER DATE
 Valerie VanHoesen
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 585.924.4914 fax

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 Webberville, MI 48892
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 (517) 521-3028 fax

ALDI Inc. Store #: 96
 ALDI Rochester Hills, MI
 1106 Rochester Road
 Rochester Hills, MI 48307
 Oakland County
 Project Name & Location:

Operations Plan

Drawing Name: Project No.
 Date: Date 16-0483A
 Type: RHSD-V8
 Drawn By: SJG A-131
 Scale: As Noted Drawing No.

PLOTTED: 9/5/2017 2:27 PM

Operations Plan
 SCALE: 1/8" = 1'-0"
 NORTH

EXTERIOR FINISH SCHEDULE			
KEY	MATERIAL / MFG.	COLOR / NO.	NOTES
A1	EDGE METAL	A1 - SLATE GRAY A10 - SILVER METALLIC	SEE SPECIFICATIONS APPENDIX 'B'
A2	MODULAR BRICK	FIELD COLOR - SEE SPEC	FIELD AND TRANSOM WINDOW SILLS
A3	MODULAR BRICK	ACCENT COLOR - SEE SPEC	PILASTERS
A4	STOREFRONT	ANODIZED ALUM.	RE: DWG. A602
A5	MEMBRANE ROOFING	GRAY	AT BACK OF ALDI LOGO SIGN TOWER, FOOD MARKET SIGN TOWER AND CANOPY ROOF - SEE SPECIFICATIONS APPENDIX 'B'
A6	METAL SOFFIT PANELS	SOLID PANELS - SEE SPEC	RE: DWG. A301-A304
A7	EXTERIOR PAINT	PT-19 / CL-5	RE: DWG. A603
A8	NOT USED		
A9	ALUMINUM COMPOSITE PANEL	A9 - BRIGHT SILVER A90 - SLATE GRAY	PROVIDE PANEL JOINTS AS SHOWN - PROVIDE ONE PIECE TIGHT FIT EXTRUDED MOLDING INSTALLATION SYSTEM WITH CENTER REVEAL TRIM BETWEEN PANELS AND J TRIM AT PANEL EDGES. WATER TABLE FIELD - USE SMOOTH FACE BEHIND TRUCK DOCK SEAL.
A10	SPLIT-FACE CMU	SEE SPEC	
A11	BLRD-2	PT-19 / CL-4	RE: DWG. A603
A12	BLRD-4	FACTORY FINISH - CHARCOAL	RE: DWG. A603
A13	GUARD RAIL TYPE 'A'	PT-19 / CL-5	RE: DWG. A3/A503, A603
A14	GUARD RAIL TYPE 'B'	PT-19 / CL-5	RE: DWG. A3/A503, A603
A15	CART RAIL & STARTER POST	GALVANIZED	
A16	DOCK LEVELER / SEAL AND BUMPERS	LEVELER - FACTORY FINISH / SEAL AND BUMPERS - FACTORY FINISH - BLACK	PROVIDE BRICK BEHIND DOCK SEAL IN LIEU OF CAST STONE SILL
A17	CONTROL JOINT		MAX 30' OC RE: DWG. A504
A18	OVERFLOW SCUPPER	PT-19 / CL-5	RE: DWG. C3/A503
A19	FOOD MARKET SIGNAGE	BY SIGN VENDOR	19'-0 3/8" v. x 2'-0" h.
A20	ALDI TOWER SIGN	BY SIGN VENDOR	7'-11 1/8" w. x 9'-5 1/2" h. SEE DETAIL D1/A504; VERIFY SIGN SIZE PRIOR TO FRAMING OPENING
A21	CRTB	NATURAL	RE: DWG. A603 - SEE STRUCTURAL DWGS
A22	CAST STONE SILL	SEE SPEC	WATER TABLE TRIM
A23	PREFABRICATED SUN SHADE	SILVER POWDER COAT	MANUFACTURED BY C. R. LAURENCE; RE: DWGS A306, A505; ALIGN OUTRIGGERS w/ WINDOW MULLIONS BELOW
A24	KNOX BOX	FACTORY FINISH	CONFIRM TYPE AND LOCATION WITH LOCAL FIRE MARSHAL
A25	BIKE RACK	S&G BIKE RACKS - PER ALDI (PROVIDE 4)	PVC THERMOPLASTIC OVER THERMOSET VINYL PRIMER ON 1 1/2" SCHEDULE 40 STEEL PIPE
E1	EXIT DISCHARGE LIGHT	FACTORY FINISH	MOUNT @ 8'-0" A.F.F.
E2	WALL SCONCE	FACTORY FINISH	MOUNT @ 8'-2" A.F.F.
E3	WALL SCONCE	FACTORY FINISH	SEE DIMENSION ON DRAWING FOR MOUNTING HEIGHT
E4	UTILITY METERING & C.T.	FACTORY FINISH	SEE ELECTRICAL DWGS
E5	EXTERIOR WALL PACK	FACTORY FINISH	MOUNT @ 12'-0" A.F.F. UNLESS OTHERWISE SPECIFIED
E6	EXTERIOR DUPLEX RECEPTACLE	FACTORY FINISH	MOUNT @ 1'-6" A.F.F. IN 4" SQUARE J-BOX
F1	FIRE DEPT. CONNECTION	FACTORY FINISH	SEE FIRE PROTECTION DWGS
F2	MOTOR GONG	FACTORY FINISH	SEE FIRE PROTECTION DWGS

P1	HOSE BIB	FACTORY FINISH	SEE PLUMBING DWGS
P2	RPIZ DISCHARGE	FACTORY FINISH	SEE PLUMBING DWGS
X1	STOREFRONT KEY	ANODIZED ALUMINUM	SHADED WINDOWS ARE SPANDREL - RE: DWG. A602

Please note that the colors shown here are a graphical representation to show contrast in materials only. Due to the nature of electronic media, colors may vary depending on computer or printer used.

For review of actual colors, a material sample board should be created on a project specific basis.

SIGNAGE			
DESCRIPTION	QUANTITY	SQ. FT. PER SIGN	TOTALS
TOWER SIGN	2	74.9	149.8
TOTAL SIGNAGE			149.8000

SIGNAGE IS SHOWN FOR REFERENCE ONLY AND SHALL BE UNDER SEPARATE PERMIT SUBMITTAL

Issued:	Date:
A Issued for Client Review	08/18/17
B Issued for Client Review	10/27/17
C	
D	
E	

Revisions:	Date:
1	
2	
3	
4	
5	
6	
7	
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9	

Seal PROJECT ARCHITECT/ENGINEER DATE
 Gaspare Accordo
 PROJECT LEAD DATE
 Heather Hoekstra
 PROJECT DESIGNER DATE
 Valerie VanHoesen

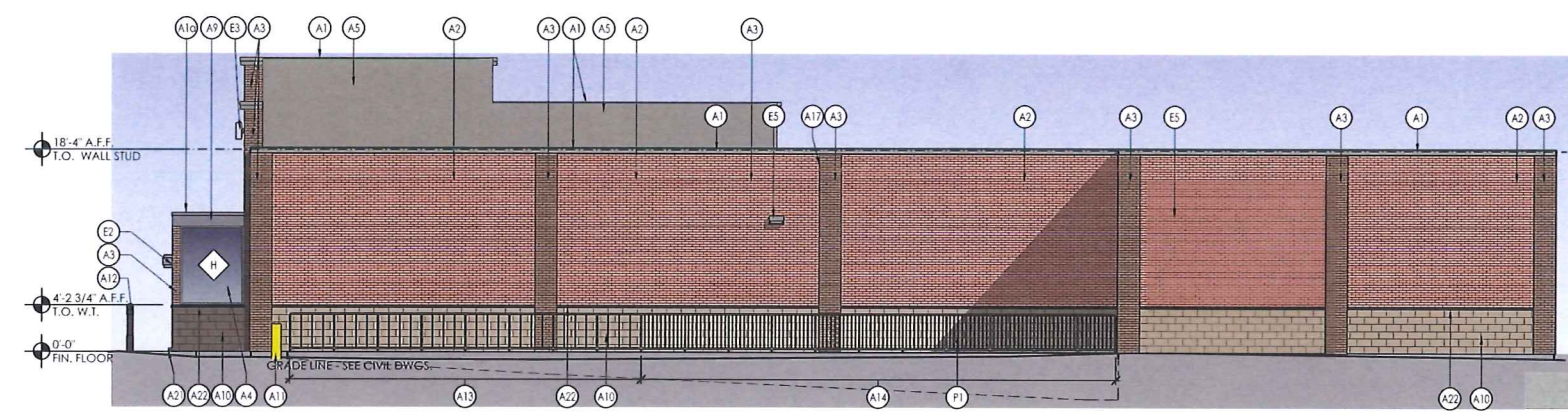
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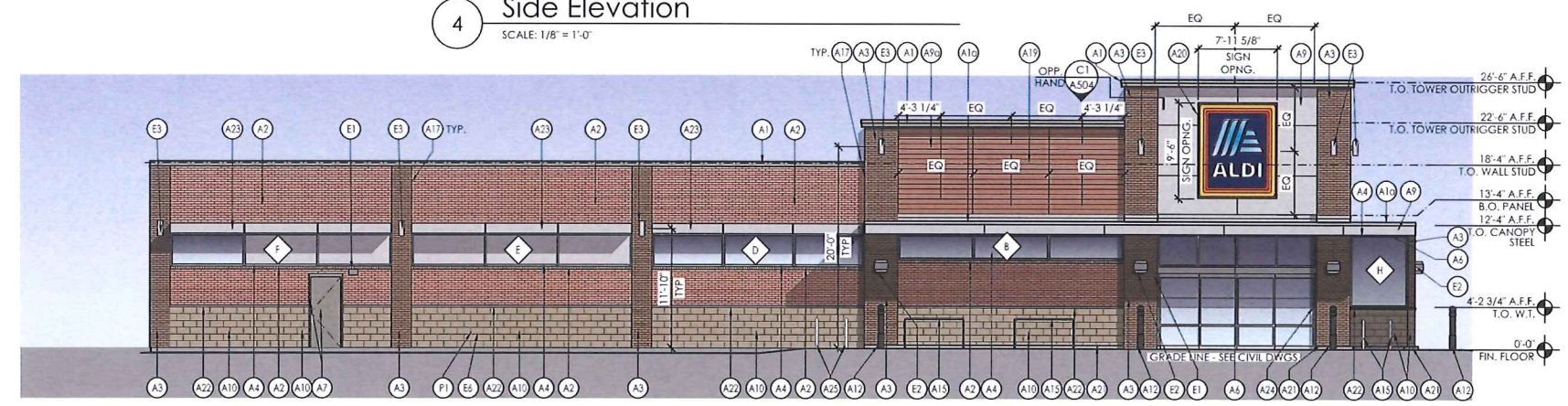


ALDI Inc. Store #: 96
 ALDI Rochester Hills, MI
 1106 Rochester Road
 Rochester Hills, MI 48307
 Oakland County
 Project Name & Location:

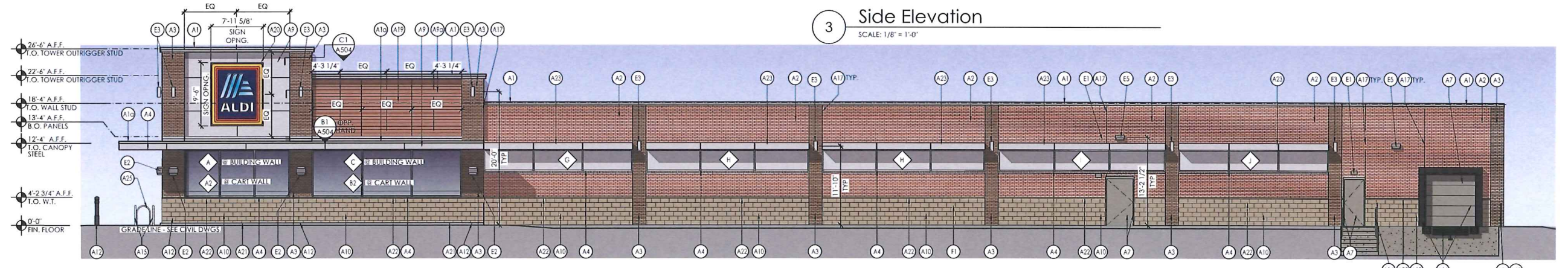
Exterior Elevations
 Drawing Name:
 Date: Date
 Type: RHSD-V8
 Drawn By: VLV
 Scale: As Noted
 Project No. 16-0483A
 A-201
 Drawing No.



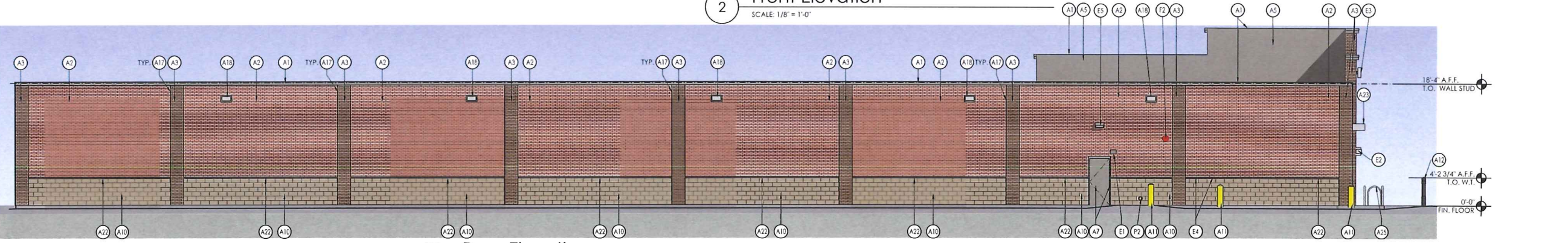
4 Side Elevation
 SCALE: 1/8" = 1'-0"



3 Side Elevation
 SCALE: 1/8" = 1'-0"



2 Front Elevation
 SCALE: 1/8" = 1'-0"



1 Rear Elevation
 SCALE: 1/8" = 1'-0"

PLOTTED: 10/27/2017 9:10 AM



exit and emergency lighting notes:

INSTALL ILLUMINATED EXIT SIGNS OVER EXIT DOORS. DIRECTIONAL EXIT SIGNS MAY ALSO BE REQUIRED TO PROPERLY IDENTIFY THE PATHWAY LEADING TO THE EXIT ITSELF. ELECTRICAL CONTRACTOR SHOULD CONTACT THE FIRE MARSHAL FOR PROPER PLACEMENT OF EXIT LIGHTING UNITS.

PROVIDE EMERGENCY LIGHTING AS DESIGNATED BY THE FIRE MARSHAL TO ILLUMINATE THE EXIT ACCESS IN CASES OF A COMMERCIAL POWER OUTAGE. ELECTRICAL CONTRACTOR SHOULD CONTACT THE FIRE MARSHAL FOR PROPER PLACEMENT OF EMERGENCY LIGHTING UNITS. ADDITIONAL UNITS MAY BE NEEDED IN OFFICE AREA.

PROVIDE LOCK OPEN DEVICES ON ALL CIRCUIT BREAKERS PROTECTING EMERGENCY LIGHT AND EXIT LIGHT CIRCUITS.

address note:

OWNER TO PROVIDE ADDRESS IN NUMERICAL BLOCK FORM FOR EACH TENANT SPACE AND BE DISPLAYED AT THE FRONT AND REAR OF THE BUILDING. ALL NUMBERS SHALL BE VISIBLE TO OCCUPANTS OF VEHICLES ON THROUGHFARES AND THE COLORS SHALL BE IN CONTRAST WITH THE BACKGROUND IN WHICH THEY ARE MOUNTED.

fire extinguisher note

TYPE APPROVED ABC DRY CHEMICAL OR EQUIVALENT WITH MINIMUM 2A RATING EXTINGUISHERS TO BE COMPATIBLE WITH THE HAZARD PROTECTED.

AMOUNT LIGHT HAZARD: AN ADEQUATE NUMBER TO PROVIDE A MAXIMUM NORMAL TRAVEL DISTANCE OF 75 FEET BETWEEN OR TO EXTINGUISHERS. ORDINARY HAZARD: A MINIMUM OF TWO REQUIRED TO PROVIDE A MAXIMUM NORMAL TRAVEL DISTANCE OF 75 FEET BETWEEN OR TO EXTINGUISHERS.

MOUNTING EXTINGUISHERS SHALL BE INSTALLED ON HANGERS OR IN THE BRACKETS SUPPLIED, OR IN APPROVED TYPE EXTINGUISHER CABINETS UNLESS THE EXTINGUISHERS ARE OF WHEELED TYPE.

EXTINGUISHERS SHALL BE CONSPICUOUSLY LOCATED WHERE THEY WILL BE READILY ACCESSIBLE AND IMMEDIATELY AVAILABLE IN THE EVENT OF FIRE. THEY SHALL BE LOCATED ALONG NORMAL PATHS OF TRAVEL, INCLUDING EXITS FROM AN AREA.

EXTINGUISHERS SHALL BE INSTALLED SO THAT THE TOP OF THE EXTINGUISHER IS NOT MORE THAN FIVE FEET ABOVE THE FLOOR.

note:

ALL EXIT DOORS MUST BE OPERABLE FROM INSIDE WHEN LOCKED IN ONE MOTION WITHOUT A KEY REQUIRED.

PROVIDE 8'-0" x 6'-0" CLEAR AREA W/ MAX 1/4" PER FOOT SLOPE AWAY FROM BUILDING (TYP AT ALL EGRESS DOORS)

MAXIMUM SLOPE ON SIDEWALK RAMP IS 1/20 AND MINIMUM WIDTH IS 5'-0"

FRONT APPROACHES TO PUSH SIDE OF SWINGING DOORS, EQUIPPED WITH A CLOSURE AND A LATCH SHALL HAVE MANEUVERING SPACE THAT EXTENDS 12" x 48" BEYOND THE LATCH SIDE OF THE DOOR.

ALL TILE WITHIN MEANS OF EGRESS TO BE SLIP-RESISTANT

fire suppression system note:

ENTIRE TENANT SPACE TO BE 100% FIRE SUPPRESSED. FIRE PROTECTION CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR APPROVAL.

PRIOR TO THE INSTALLATION OF AN AUTOMATIC SPRINKLER SYSTEM, PLANS SHALL BE SUBMITTED AND APPROVED BY THE FIRE MARSHAL. A MINIMUM OF THREE (3) SETS OF COMPLETE SPRINKLER PLANS SHALL BE SUBMITTED. TWO (2) SETS WILL BE RETAINED BY THE FIRE DEPARTMENT, AND ALL OTHERS WILL BE RETURNED TO THE SPRINKLER CONTRACTOR. THE SPRINKLER SYSTEM SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH NFPA 13 AND ALL LOCAL ORDINANCES.

fire alarm system

PROVIDE AN APPROVED CLOSED CIRCUIT, SELF SUPERVISED, ELECTRICAL FIRE ALARM SYSTEM PER STATE OF MICHIGAN DEPARTMENT OF CONSUMER & INDUSTRY SERVICES, SECTION 840. PULL STATIONS TO BE LOCATED AT ALL EXTERIOR DOORS. NEWLY INSTALLED SYSTEM TROUBLE ALARMS SHALL BE LOCATED IN AN AREA NORMALLY OCCUPIED BY STAFF. PULL STATIONS TO BE MOUNTED BETWEEN 42" AND 54" AFF. SHOP DRAWINGS TO BE SUBMITTED TO BUREAU OF CONSTRUCTION CODES AND FIRE SAFETY FOR REVIEW AND APPROVAL.

building data

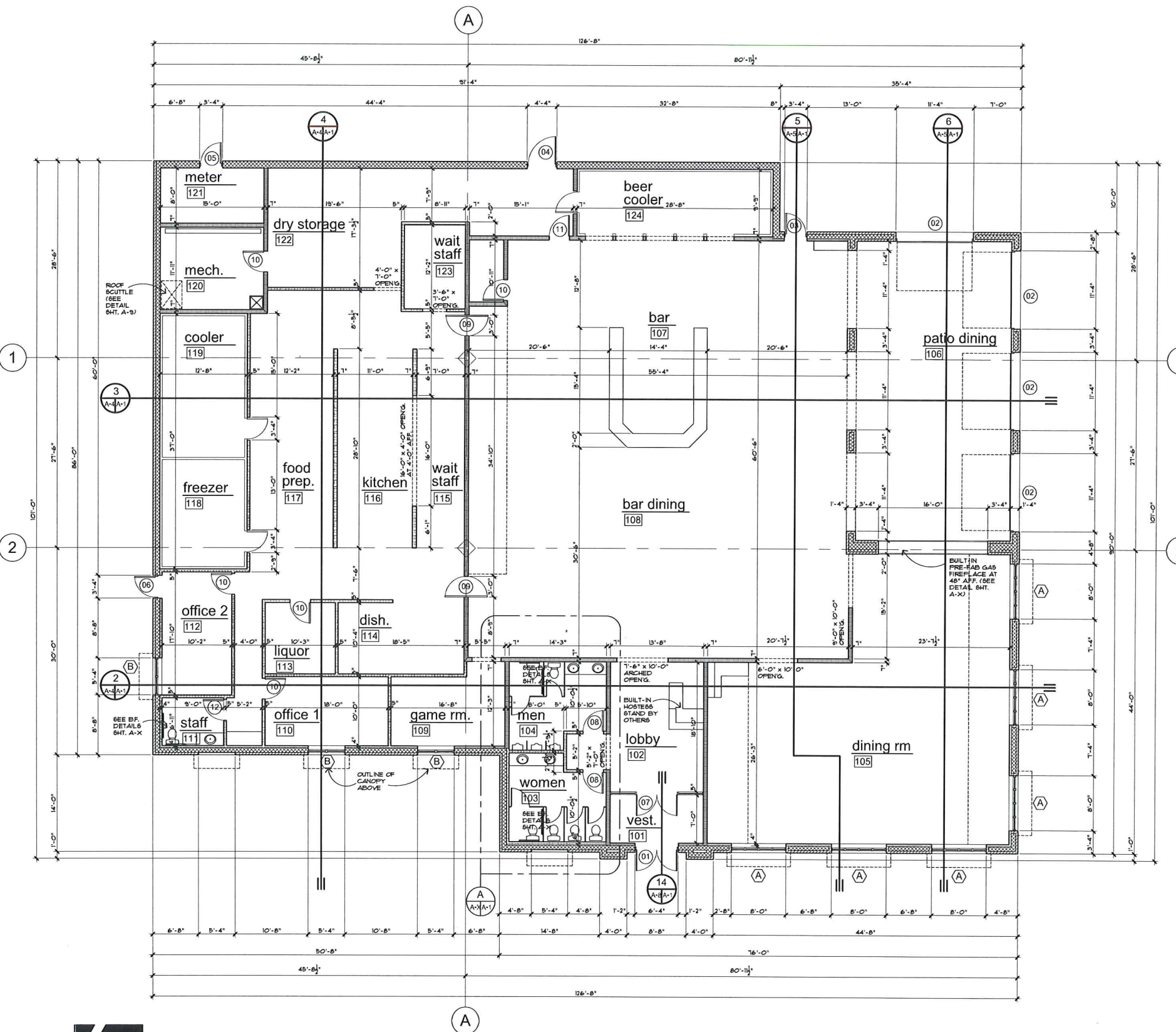
LOCAL AGENCY:	WASHINGTON TOWNSHIP BUILDING DEPARTMENT 87800 VAN DYKE WASHINGTON, MI 48094
REFERENCE CODES:	202 MICHIGAN BUILDING CODE WITH STATE AMENDMENTS 202 MICHIGAN PLUMBING CODE WITH STATE AMENDMENTS 202 MICHIGAN MECHANICAL CODE WITH STATE AMENDMENTS 201 NATIONAL ELECTRICAL CODE WITH STATE AMENDMENTS MICHIGAN ENERGY CODE ASHRAE 90.1 2007
BUILDING AREA:	11,600 SQ. FT. (GRDGS)
USE GROUP (CHAPTER 5):	(A-2) ASSEMBLY
PROPOSED USE:	RESTAURANT / BAR
CONSTRUCTION TYPE (CHAPTER 6):	II-B (NON COMBUSTIBLE)
OCCUPANT LOAD:	SEE ANALYSIS THIS SHEET
MINIMUM NUMBER OF EXITS FOR OCCUPANT LOAD PER TABLE 1001.1:	(2 REQUIRED) (2 PROVIDED)
MINIMUM LENGTH OF EXIT ACCESS TRAVEL PER TABLE 1006.1 (WITH FIRE SUPP. SYSTEMS):	250 FEET
MINIMUM REQUIRED WIDTH OF PASSAGEWAYS PER SECTION 1005.1 (WITH FIRE SUPP. SYSTEMS):	2 x 50 OCCUPANTS = 30' 44' MINIMUM REQUIRED

occupancy load analysis

BAR DINING:	1 OCCUPANT CHAIR / 1 OCCUPANT PER 24" OF BOOTH LENGTH. 54 CHAIRS = 54 OCCUPANTS 48' BOOTH / 24" = 24 OCCUPANTS TOTAL: 108 OCCUPANTS
DINING AREA:	1 OCCUPANT CHAIR / 1 OCCUPANT PER 24" OF BOOTH LENGTH. 64 CHAIRS = 64 OCCUPANTS 108' BOOTH / 24" = 54 OCCUPANTS TOTAL: 118 OCCUPANTS
BAR AREA:	FIXED SEATING (PER 1004.1) 1 OCCUPANT PER CHAIR OR 18" OF BAR LENGTH. 46' BAR LENGTH / 24" = 23 OCCUPANTS
PATIO AREA:	1 OCCUPANT CHAIR / 1 OCCUPANT PER 24" OF BOOTH LENGTH. 48 CHAIRS = 48 OCCUPANTS
KITCHEN:	KITCHENS COMMERCIAL (PER TABLE 1004.1) 1 OCCUPANT PER 200 GRDGS SQUARE FEET 3,600 SQUARE FEET / 200 = 18 OCCUPANTS
Total:	315 Occupants MINIMUM NUMBER OF ACCESSIBLE SEATING (PER 1009.10) = 5% OF SEATING AREA. 315 x .05 = 16 SPACES 16 PROVIDED

wall types:

	DENOTES 4" BRICK VENEER ON 8" CONC. BLOCK w/ 3/8" METAL STUDS AT 16" O.C. w/ 1/2" GYPSUM BRD. BOTH SIDES. (VERIFY HT. w/ REFLECTED CEILING PLAN)
	DENOTES 3 1/2" or 3 3/8" METAL STUDS AT 16" O.C. w/ (1) LAYER 1/2" GYPSUM BRD. BOTH SIDES. (VERIFY HT. w/ REFLECTED CEILING PLAN)
	DENOTES 3 1/2" or 3 3/8" METAL STUDS AT 16" O.C. w/ (1) LAYER 1/2" GYPSUM BRD. BOTH SIDES TO UNDERSIDE OF ROOF DECK ABOVE w/ 5 1/2" SOUND INSUL. BATT.



North

floor plan
11,600 sq. ft.
legend

- SEE WINDOW SCHEDULE SHEET A-3
- SEE DOOR SCHEDULE SHEET A-3
- SEE ROOM FINISH SCHEDULE SHEET A-10

1/8" = 1'-0"



masonry specifications:

1. ALL MASONRY WORK SHALL BE IN ACCORDANCE WITH A.C.I. 530-92, AND SPECIFICATIONS FOR MASONRY STRUCTURES A.C.I. 530.1-92. CONCRETE MASONRY UNITS SHALL CONFORM TO ASTM C-90, GRADE N, TYPE I FOR HOLLOW CONCRETE MASONRY UNITS, AND ASTM C49, GRADE N, TYPE I FOR SOLID CONCRETE MASONRY UNITS. BRICK SHALL MEET THE LATEST REVISIONS OF ASTM C216, GRADE 8U.
2. ALL MORTAR SHALL CONFORM TO ASTM C270, TYPE M OR S, MINIMUM COMPRESSIVE STRENGTH FC=1800 PSI AT 28 DAYS.
3. ALL CONCRETE MASONRY UNITS SHALL HAVE A CMR = 2000 PSI.
4. EXPANSION JOINTS FOR BRICK MASONRY SHALL BE PLACED AT 20' TO 30' O.C. MAXIMUM.
5. CONTROL JOINTS FOR CONCRETE MASONRY SHALL BE PLACED AT 24' O.C. MAXIMUM, UNO.
6. ALL CONCRETE BLOCK WALLS SHALL HAVE "BUR-O-WALL" OR EQUIVALENT LADDER-TYPE HORIZONTAL REINFORCING INSTALLED AT EVERY OTHER COURSE. HORIZONTAL WIRE REINFORCEMENT SHALL BE #3 GA. WIRE WITH ASTM A641 GALVANIZED COATING UNLESS NOTED OTHERWISE. WALLS WITH VERTICAL REINFORCEMENT SHALL HAVE ONLY "LADDER" TYPE REINFORCEMENT. DO NOT EXTEND HORIZONTAL REINFORCING THROUGH CONTROL JOINTS.
7. INSTALL VERTICAL REINFORCING (AS NOTED OF PLANS) IN THE CENTER OF BLOCK CORES AND GROUT IN MAXIMUM OF FOUR FOOT HEIGHTS. ALL REINFORCING STEEL SHALL BE ASTM #5 GRADE 60. LAP AND TIE BAR SPLICES SHALL HAVE A MINIMUM LENGTH OF 48" BAR DIAMETERS.
8. ALL BRICK WORK SHALL HAVE PROPER TIES TO THE STRUCTURE IN ACCORDANCE WITH THE MOST RECENT SPECIFICATIONS OF THE BRICK INSTITUTE OF AMERICA.
9. THE MASONRY CONTRACTOR IS SOLELY RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF ALL TEMPORARY SHORING AND FALSE WORK REQUIRED TO WITHSTAND WIND LOADS AND TEMPORARY CONSTRUCTION LOADS. ALL WORK PERFORMED SHALL BE IN ACCORDANCE WITH ALL OSHA REQUIREMENTS.
10. ALL BEAMS BEARING ON MASONRY WALLS SHALL HAVE A 1 1/2" X 1 1/2" X 1/8" BEARING PLATE WITH TWO 1/2" DIAMETER X 12" LONG ANCHOR BOLTS, UNO. THE TOP THREE COURSES OF BLOCK BELOW THE BEARING SHALL BE GROUTED SOLID.
11. ALL LINTEL BEARINGS ON MASONRY SHALL HAVE 8" MINIMUM BEARINGS AT EACH END. STEEL BEAM LINTELS SUPPORTING MASONRY FROM THE BOTTOM FLANGE SHALL HAVE A CONTINUOUS 5/16" STEEL PLATE WELDED TO THE BOTTOM FLANGE AS REQUIRED.
12. SINGLE W/THU CPU SHALL HAVE AN INTEGRAL WATER REPELLANT WHICH SHALL ALSO BE ADDED TO THE FIELD MORTAR MIX. ALL SINGLE W/THU CPU SHALL ALSO RECEIVE A POST APPLIED CLEAR LIQUID WATER REPELLANT.

NOTE:
ALL COLORS OF EXTERIOR MATERIALS TO BE COMPATIBLE.

