

EASEMENT

KNOW ALL MEN BY THESE PRESENTS, that Winifred B. Johnson Living Trust
whose address is 2611 Lake Charnwood Drive, Troy, Michigan 48098-2177
party of the first part, for and in consideration of the sum of One Dollar (\$1.00)
paid to Winifred B. Johnson Living Trust by the
City of Rochester Hills, A Michigan Municipal Corporation, party of the
second part, whose address is 1000 Rochester Hills Drive, Rochester Hills, Michigan 48309
do hereby grant to the said party of the second part, the right to construct, operate, maintain, repair and/or replace
SIDEWALK/SAFETY PATH within a PERMANENT easement across and through the following described land situated in:

SEE EXHIBIT ATTACHED
SIDWELL NO. 15-30-451-038

As further consideration for the grant of this Easement: The premises so disturbed by reason of the exercise of any of the foregoing powers shall be reasonably restored to its original condition by the party of the second part.

The party of the first part reserves the right to grant other nonexclusive easements over, under, and across the easement granted hereunder upon obtaining written consent of the party of the second part, provided such rights are not inconsistent with the Sidewalk/Safety Path Easement.

This instrument shall be binding upon and inure to the benefit of the parties hereto, their heirs, representatives, successors, and assigns and the covenants contained herein shall run with the land.

Exempt from Transfer Taxes under MCL 207.505(a) and 207.524(a).

IN WITNESS WHEREOF, the undersigned hereunto affixed their signatures this 17th
day of May, A.D. 20 22.

WINIFRED B. JOHNSON LIVING TRUST

By: [Signature] (L.S.) _____ (L.S.)
Sharon DeMeritt, Trustee

Sharon DeMeritt *

* Please print or type name in BLACK INK beneath signature.

COUNTY OF OAKLAND)
) SS
STATE OF MICHIGAN)

The foregoing instrument was acknowledged before me this 17 day of May, 2022,
by Sharon DeMerritt, Trustee, on behalf of the Winifred B. Johnson Living Trust.

Notary Public: [Signature]

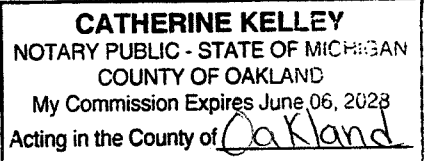
* Catherine Kelley

My commission expires: 6/6/2028
Oakland County, Michigan
Acting in the County of Oakland

(Individual) John Staraw
Approved as to form

Prepared by:
City of Rochester Hills
Assisted By: Gary M. Chalice, P.S.
Hubbell, Roth & Clark, Inc.
555 Hulet Drive
P.O. Box 824
Bloomfield Hills, MI 48303-0824

Return to:
City Clerk
City of Rochester Hills
1000 Rochester Hills Drive
Rochester Hills Michigan 48309



[Handwritten mark]
10/3

12/17/2021 8:53 AM

SKETCH OF EASEMENT



SCALE: 1" = 50'

S. ADAMS ROAD

ABANDONED GRAND TRUNK R.R.

N.E. COR. LOT 36

P.O.B.

S64°12'00"W
10.81'

N64°12'00"E 33.00'

N53°56'37"W 39.54'

N64°12'00"E 329.15'

S03°25'54"E 37.70'

SIDEWALK/SAFTY PATH EASEMENT

S03°25'54"E 325.25'

LOT 36

LEACH ROAD

2516 LEACH RD.
15-30-451-038

LOT 35

10.00'

N64°12'00"W 184.65'

LOT 34

LOT 33

2910 WATERVIEW DR.
15-30-451-009

V: \202102\20210292\F\Property\210292_ES01.dwg

Hebert Dave

JOB NO. 20210292
DATE 12/17/21


HUBBELL, ROTH & CLARK, INC
 CONSULTING ENGINEERS SINCE 1915

555 HULET DRIVE
 BLOOMFIELD HILLS, MICH. P.O. BOX 824
 48303 - 0824
 PHONE: (248) 454-6300
 FAX (1st. Floor): (248) 454-6312
 FAX (2nd. Floor): (248) 454-6359
 WEB SITE: [http:// www.hrcenr.com](http://www.hrcenr.com)

SHEET NO.
 1
 OF 2

DESCRIPTION OF PROPERTY (TAKEN FROM RECORD 15-30-451-038)

LOTS 34, 35 AND 36, EXCEPT THE EAST 10 FEET OF ALL SAID LOTS OF "AUBURN HIGHLANDS" PART OF THE E. 1/4 OF SECTION 30, T.03N., R.11E., AVON TOWNSHIP (NOW CITY OF ROCHESTER HILLS), OAKLAND COUNTY, MICHIGAN, AS RECORDED IN LIBER 40 OF PLATS, PAGE 19, OAKLAND COUNTY RECORDS.

SUBJECT TO RESERVATIONS, RESTRICTIONS AND EASEMENTS OF RECORD, IF ANY.

ALSO KNOW AS SIDWELL NO. 15-30-451-038.

DESCRIPTION OF SIDEWALK/SAFETY EASEMENT

PART OF LOT 36 OF "AUBURN HIGHLANDS" PART OF THE E. 1/4 OF SECTION 30, T.03N., R.11E., AVON TOWNSHIP (NOW CITY OF ROCHESTER HILLS), OAKLAND COUNTY, MICHIGAN, AS RECORDED IN LIBER 40 OF PLATS, PAGE 19, OAKLAND COUNTY RECORDS, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF SAID LOT 36; THENCE S 64°12'00" W 10.81 FEET; THENCE S 03°25'54" E 37.70 FEET; THENCE N 53°56'37" W 39.54 FEET; THENCE N 64°12'00" E 33.00 FEET TO THE POINT OF BEGINNING. CONTAINING 575 SQUARE FEET, OR 0.01 ACRES, MORE OR LESS.

JOB NO. 20210292	 HUBBELL, ROTH & CLARK, INC CONSULTING ENGINEERS SINCE 1915	555 HULET DRIVE BLOOMFIELD HILLS, MICH.	P.O. BOX 824 48303 - 0824	SHEET NO.
DATE 12/17/21		PHONE: (248) 454-6300 FAX (1st. Floor): (248) 454-6312 FAX (2nd. Floor): (248) 454-6359 WEB SITE: http:// www.hrcengr.com	2	OF 2