

1. ALL CONCRETE WORK SHALL CONFORM TO THE REQUIREMENTS OF ACI 318, "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS", EXCEPT AS AMENDED BY THE "SECTION 05100 - CONCRETE" REQUIREMENTS.
2. ALL CONCRETE SHALL HAVE A MINIMUM OF 3000 PSI 28 DAY COMPRESSIVE STRENGTH (871 LBS. OF CEMENT PER CUBIC YARD MINIMUM (5.5 BAGS) & A WATER/CEMENT RATIO NOT TO EXCEED 5. GALLONS PER CUBIC YARD.
3. THE USE OF ADDITIVES SUCH AS FLY ASH OR CALCIUM CHLORIDE IS NOT ALLOWED UNLESS PRIOR REVIEW FROM THE ENGINEER.
4. THE CONCRETE CONTRACTOR SHALL SUBMIT THE DESIGN MIX OF EACH TYPE FOR REVIEW BY THE ENGINEER AND ARCHITECT PRIOR TO PLACEMENT.

1903.1 GENERAL MATERIALS USED TO PRODUCE CONCRETE AND TESTING THEREOF SHALL COMPLY WITH THE APPLICABLE STANDARDS LISTED IN ACI 318 AND THIS SECTION. TEST OF CONCRETE AND MATERIALS USED IN CONCRETE SHALL BE IN ACCORDANCE WITH ACI 318, SECTION 3.8. WHERE REQUIRED, SPECIAL INSPECTIONS AND TESTS SHALL BE IN ACCORDANCE WITH CHAPTER 17.

1. ADEQUATE EQUIPMENT SHALL BE PROVIDED FOR HEATING CONCRETE MATERIALS AND PROTECTING CONCRETE DURING FREEZING OR NEAR-FREEZING WEATHER.

3. FROZEN MATERIALS OR MATERIALS CONTAINING ICE SHALL NOT BE USED

1905.13 HOT WEATHER REQUIREMENTS. DURING HOT WEATHER, PROPER ATTENTION SHALL BE GIVEN TO INGREDIENTS, PRODUCTION METHODS, HANDLING, PLACING, PROTECTION AND CURING TO PREVENT EXCESSIVE CONCRETE TEMPERATURES OR WATER EVAPORATION THAT COULD IMPAIR THE REQUIRED STRENGTH OR SERVICEABILITY OF THE MEMBER OR STRUCTURE.

1908.1 GENERAL. THE TEXT OF ACI 318 SHALL BE MODIFIED AS INDICATED IN SECTIONS 1908.1.1 THROUGH 1908.1.7.

CONCRETE FOR FOUNDATION TO BE 3000 PSI QUALITY/ 28 DAY TEST  
5½ BAG MIX, NO ADDITIVES TO BE USED WITHOUT SPECIAL PERMISSION  
AND SUPERVISION. ALL REINFORCING TO BE CLEAN DEFORMED AT  
MIN. RE-ROD PER 1804.3 OF THE 1996 BOCA.

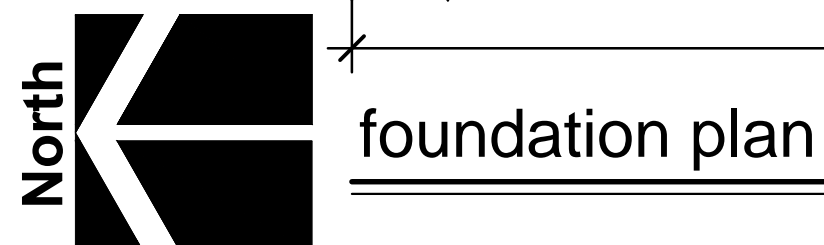
NORMAL WEIGHT AND LIGHT WEIGHT CONCRETE EXPOSED TO FREEZING AND THAWING OR DEICER CHEMICALS SHALL BE AIR ENTRAINED WITH THE AIR CONTENT INDICATED IN TABLE 1907.1J OF THE 1936 BOCA.

STEEL REINFORCEMENT IN CAST CONCRETE FOOTING SHALL HAVE A MINIMUM 3" OF CONCRETE COVER.

1. ALL TOP SOIL, ORGANIC AND VEGETATIVE MATERIAL SHOULD BE REMOVED PRIOR TO CONSTRUCTION. ANY REQUIRED FILL SHALL BE CLEAN, GRANULAR MATERIAL COMPACTED TO AT LEAST 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1557.

2. FOUNDATIONS BEARING ON EXISTING SOILS ARE DESIGNED FOR A MINIMUM ALLOWABLE SOIL BEARING CAPACITY OF 3000 PSF, UNLESS NOTED OTHERWISE. THE ALLOWABLE SOIL BEARING CAPACITY MUST BE VERIFIED BY A REGISTERED SOILS ENGINEER PRIOR TO THE START OF CONSTRUCTION AND IS THE RESPONSIBILITY OF THE OWNER OR CONTRACTOR.

3. NOTIFY THE BUILDING DESIGN ENGINEER/ARCHITECT IF THE ALLOWABLE SOIL BEARING CAPACITY IS LESS THAN 2000 PSF SO THAT THE FOUNDATIONS CAN BE REDESIGNED FOR THE NEW ALLOWABLE BEARING CAPACITY.


$$1/4'' = 1'-0''$$

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Bid Docs.	03/03/20
S.P.A.	11/06/19

Proposed  
Group Home for:

Grace  
Properties, L.L.C.  
1841 Crooks Road  
Rochester Hills, MI




Grace  
Properties, L.L.C.  
Walnut Creek Dr.  
Macomb Twp., MI 48044  
(248) 568-7194

Sheet Title:  
FOUNDATION PLAN

Project Number:  
R19-216

Drawn By:  
JFN

Checked By: \_\_\_\_\_  
F.S.

 preliminary  
 construction  
 record

Sheet Number:

**A-1**

fire suppression system note: NFPA 13R SYSTEM

ENTIRE BUILDING TO BE 100% FIRE SUPPRESSED.  
FIRE PROTECTION CONTRACTOR TO PROVIDE  
M/GP DRAWINGS FOR APPROVAL.  
PRIOR TO THE INSTALLATION OF AN AUTOMATIC SPRINKLER SYSTEM, PLANS SHALL BE SUBMITTED  
AND APPROVED BY THE FIRE MARSHAL. A MINIMUM OF THREE (3) SETS OF COMPLETE SPRINKLER  
PLANS SHALL BE SUBMITTED. TWO (2) SETS WILL BE RETAINED BY THE FIRE DEPARTMENT, AND  
ALL OTHERS WILL BE RETURNED TO THE SPRINKLER CONTRACTOR. THE SPRINKLER SYSTEM SHALL  
BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH NFPA 13R AND ALL LOCAL ORDINANCES.

note:

FRANK SALAMONE ARCHITECT SHALL  
ACT AS THE REGISTERED DESIGN  
PROFESSIONAL IN RESPONSIBLE  
CHARGE.

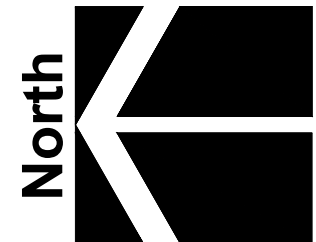
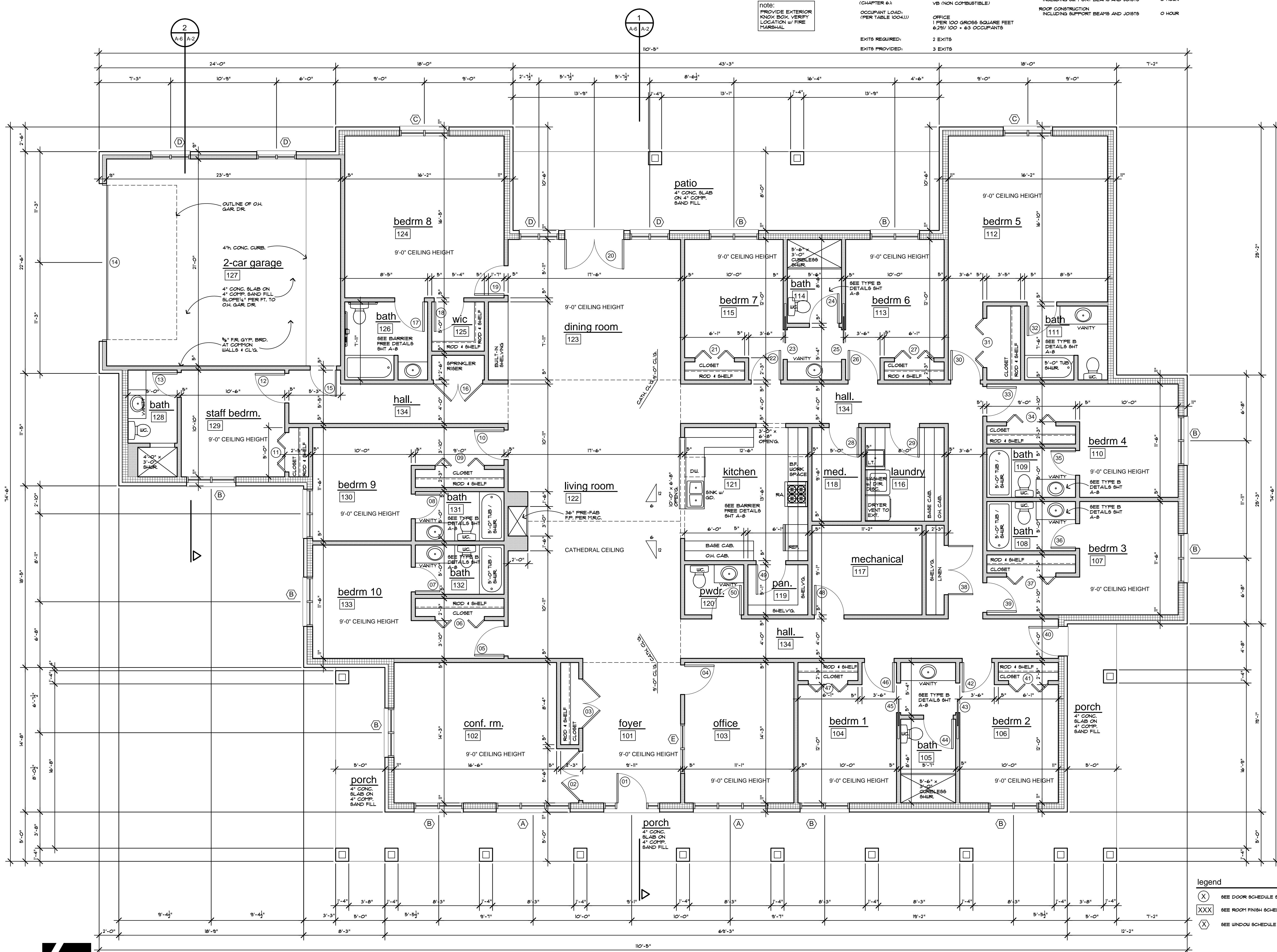
building data

LOCAL AGENCY:	CITY OF ROCHESTER HILLS BUILDING AND SAFETY 300 ROCHESTER HILLS DR. ROCHESTER HILLS, MI 48309	TABLE 603.1: INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY FOR SPRINKLED BUILDINGS
REFERENCE CODES:	2019 MICHIGAN BUILDING CODE WITH STATE AMENDMENTS 2019 MICHIGAN PLUMBING CODE WITH STATE AMENDMENTS 2019 MICHIGAN MECHANICAL CODE WITH STATE AMENDMENTS 2019 MICHIGAN ELECTRICAL CODE WITH STATE AMENDMENTS MICHIGAN ENERGY CODE ASHRAE 90.1-2019	EXIT ENCLOSURES AND EXIT PASSAGEWAYS CORRIDORS OTHER EXITWAYS ROOFS AND ENCLOSED SPACES
BUILDING AREA:	LIVING AREA: 5,380 SQ. FT. PORCH/PATIO: 911 TOTAL: 6,291	TABLE 601: FIRE RESISTANCE RATINGS OF BUILDING ELEMENTS
USE GROUP (CHAPTER 3):	R-4 (RESIDENTIAL)	STRUCTURAL FRAME INCLUDING COLUMNS, GIRDERS, AND TRUSSES
PROPOSED USE:	GROUP HOME	BEARING WALLS EXTERIOR INTERIOR
CONSTRUCTION TYPE (CHAPTER 6):	VB (NON COMBUSTIBLE)	NONBEARING WALLS EXTERIOR INTERIOR
OCCUPANT LOAD: (PER TABLE 1004.1.1)	OFFICE 1 PER 100 GROSS SQUARE FEET 6,291/100 = 63 OCCUPANTS	FLOOR CONSTRUCTION INCLUDING SUPPORT BEAMS AND JOISTS
EXITS REQUIRED:	2 EXITS	ROOF CONSTRUCTION INCLUDING SUPPORT BEAMS AND JOISTS
EXITS PROVIDED:	3 EXITS	

allowable area:

Type VB Construction:  
ALLOWABLE AREA PER M.B.C. TABLE 506.2, 513R • 1,000 SF.  
(R-4) Residential Group  
ALLOWABLE AREA CALCULATIONS:  
FIRE AREA: 6,291 SQUARE FEET

NOTE:  
FIRE AREA IS UNDER ALLOWABLE AREA.



floor plan 5,380 sq. ft.

1/4" = 1'-0"

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engineers  
planners

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Project:

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Client:

Grace  
Properties, L.L.C.  
Walnut Creek Dr.  
Macomb Twp., MI 48044  
(248) 568-7194

Sheet Title:

FLOOR PLAN

Project Number:

R19-216

Drawn By:

JFN

Checked By:

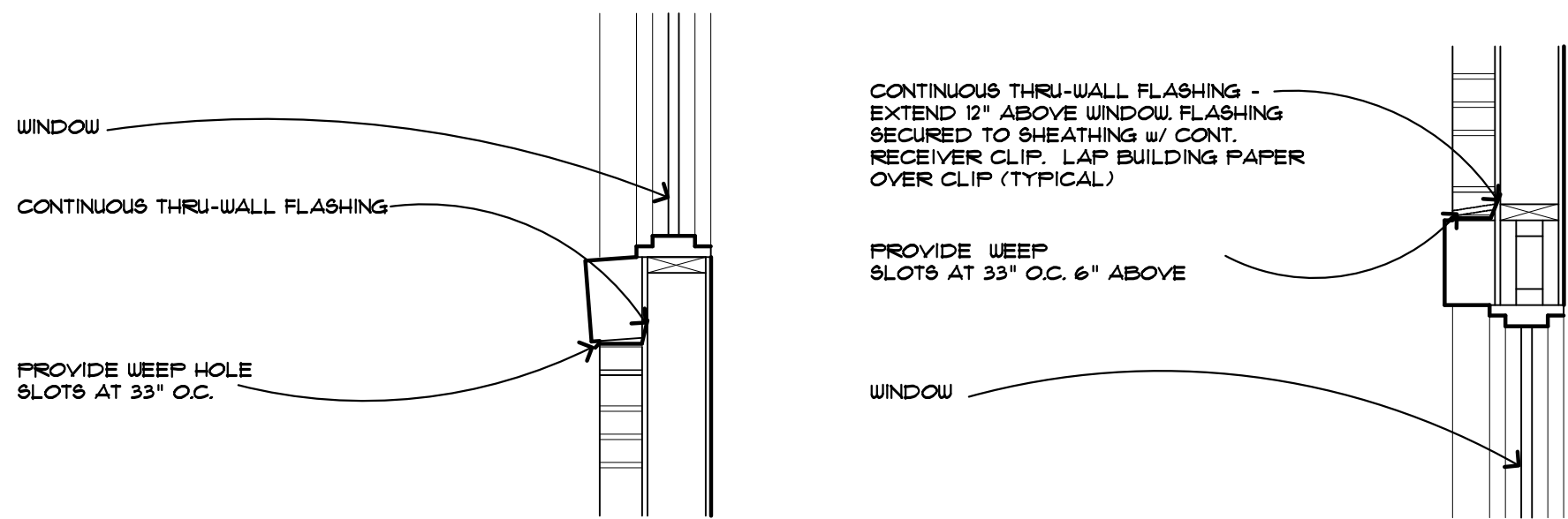
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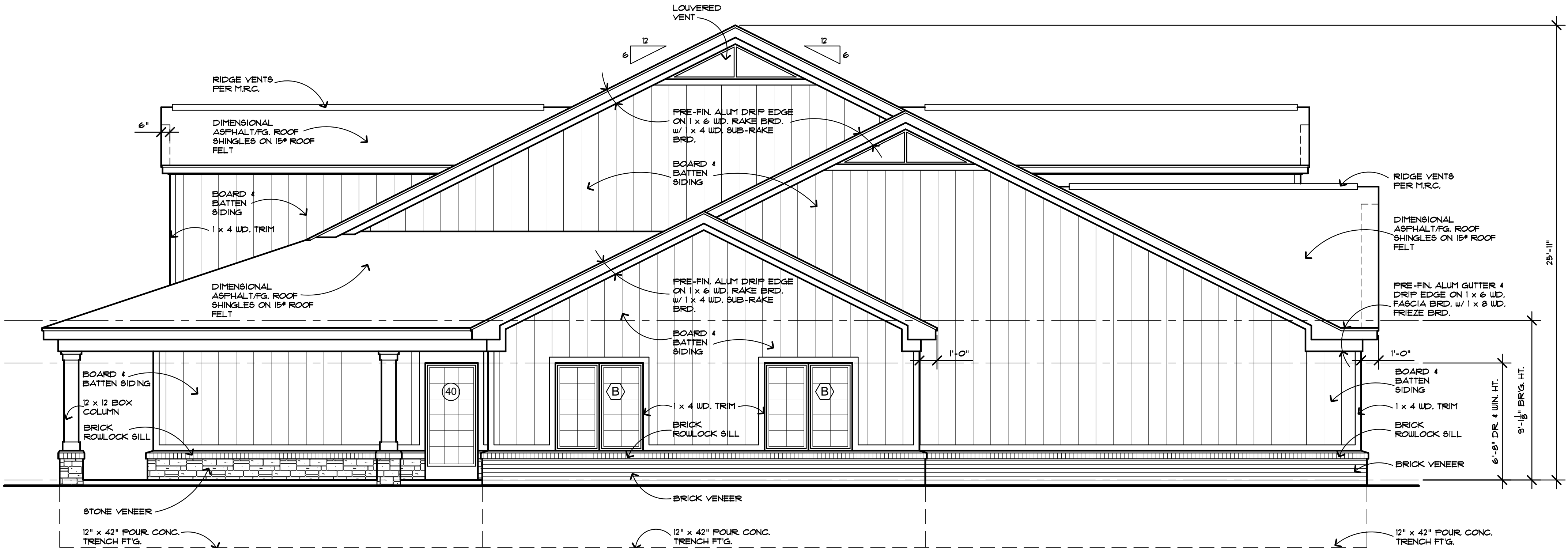
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- ☐ record

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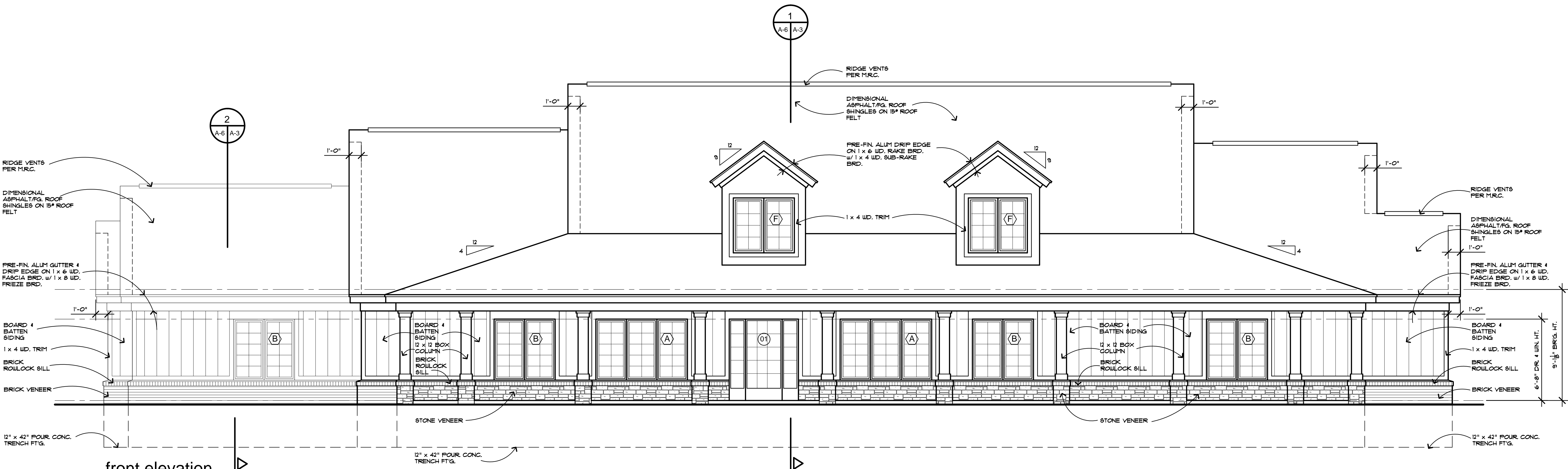
A-2



typ. flashing details 3/4" = 1'-0"



right side elevation 1/4" = 1'-0"



front elevation 1/4" = 1'-0"

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Sheet Title:  
FRONT AND  
RIGHT ELEVATION

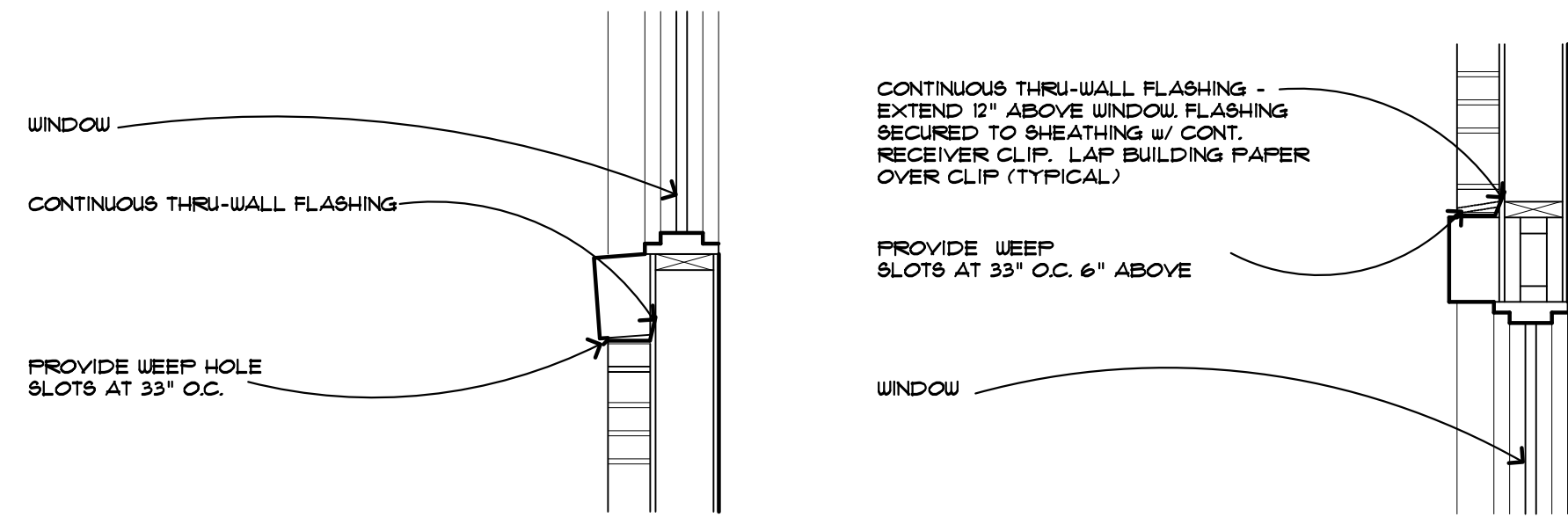
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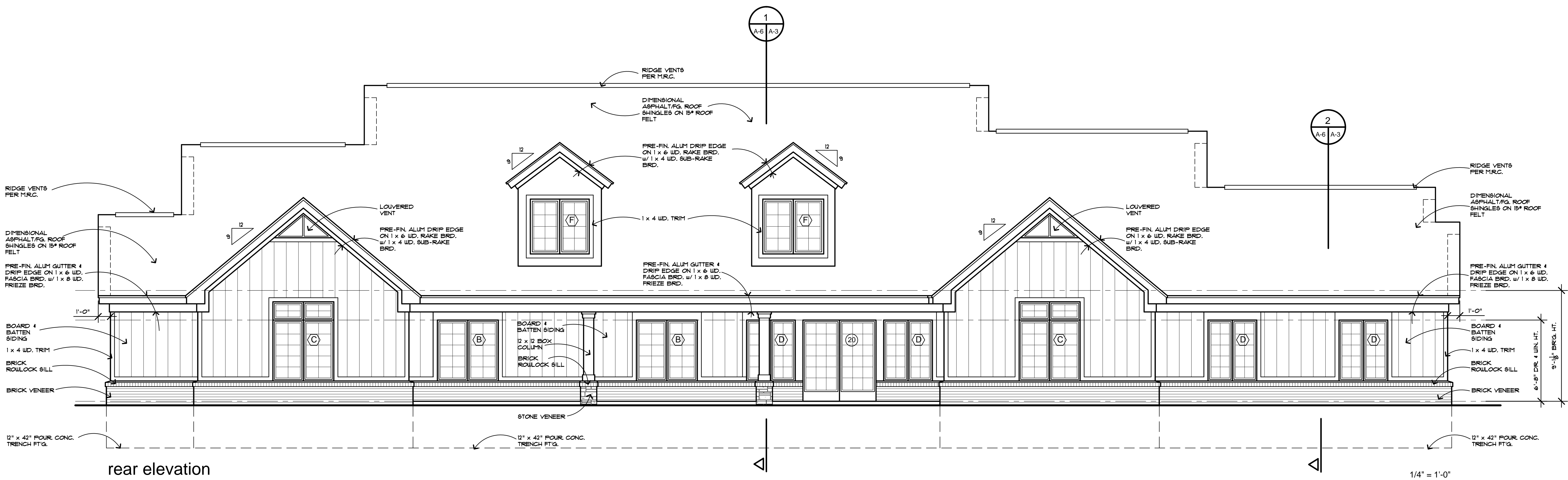
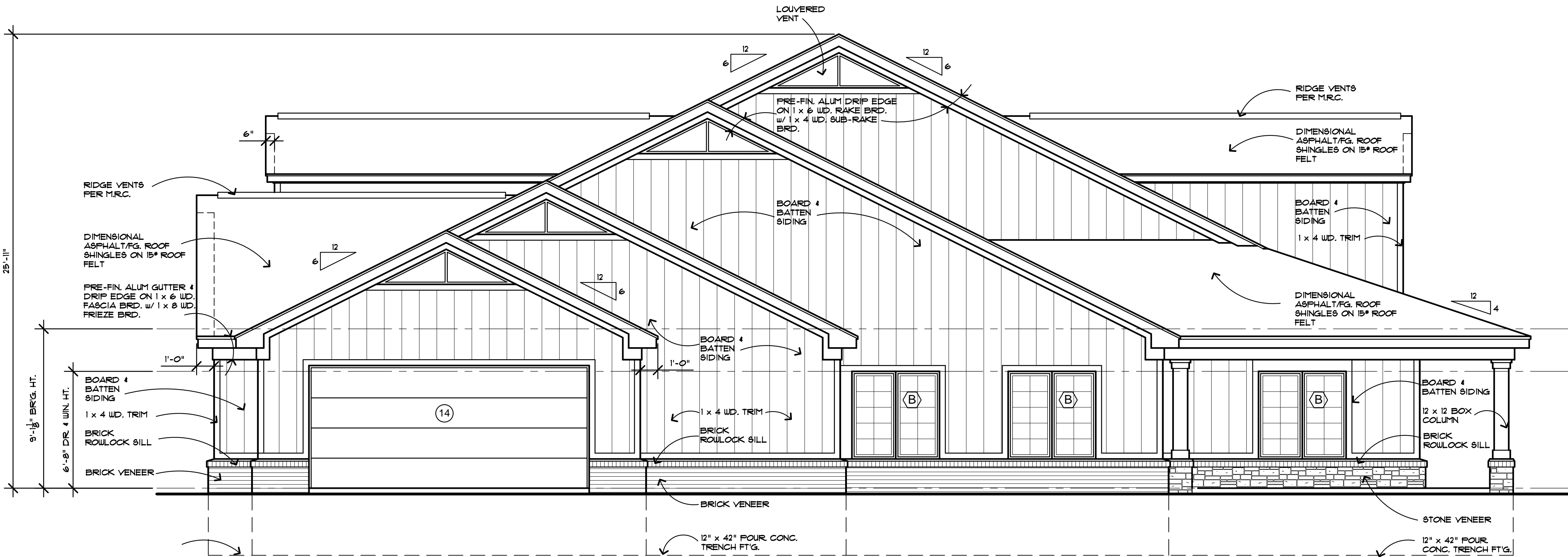
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typ. flashing details

3/4" = 1'-0"



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Sheet Title:  
REAR AND  
LEFT ELEVATION

Project Number:  
R19-216

Drawn By:  
JFN

Checked By:  
F.S.

Issue:  
☐ preliminary  
☒ construction  
☐ record

Sheet Number:

A-4


$$1/4'' = 1'-0''$$

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Project:

Grace  
Properties, L.L.C.

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1841 Crooks Road  
Rochester Hills, MI

Client:

Grace  
Properties, L.L.C.  
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Sheet Title:  
ROOF PLAN

Project Number: R19-216

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JFN

Checked By: \_\_\_\_\_  
F.S.

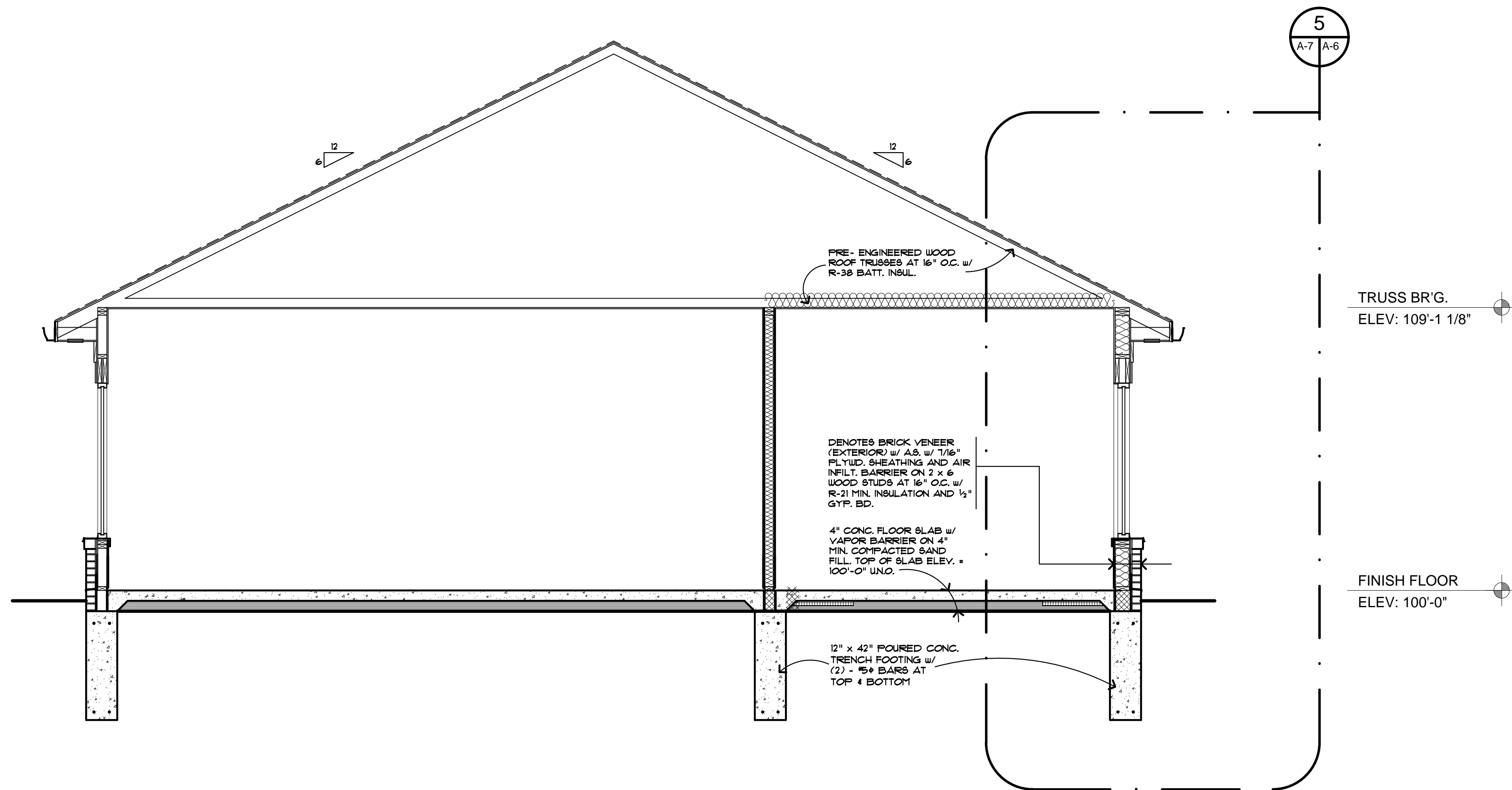
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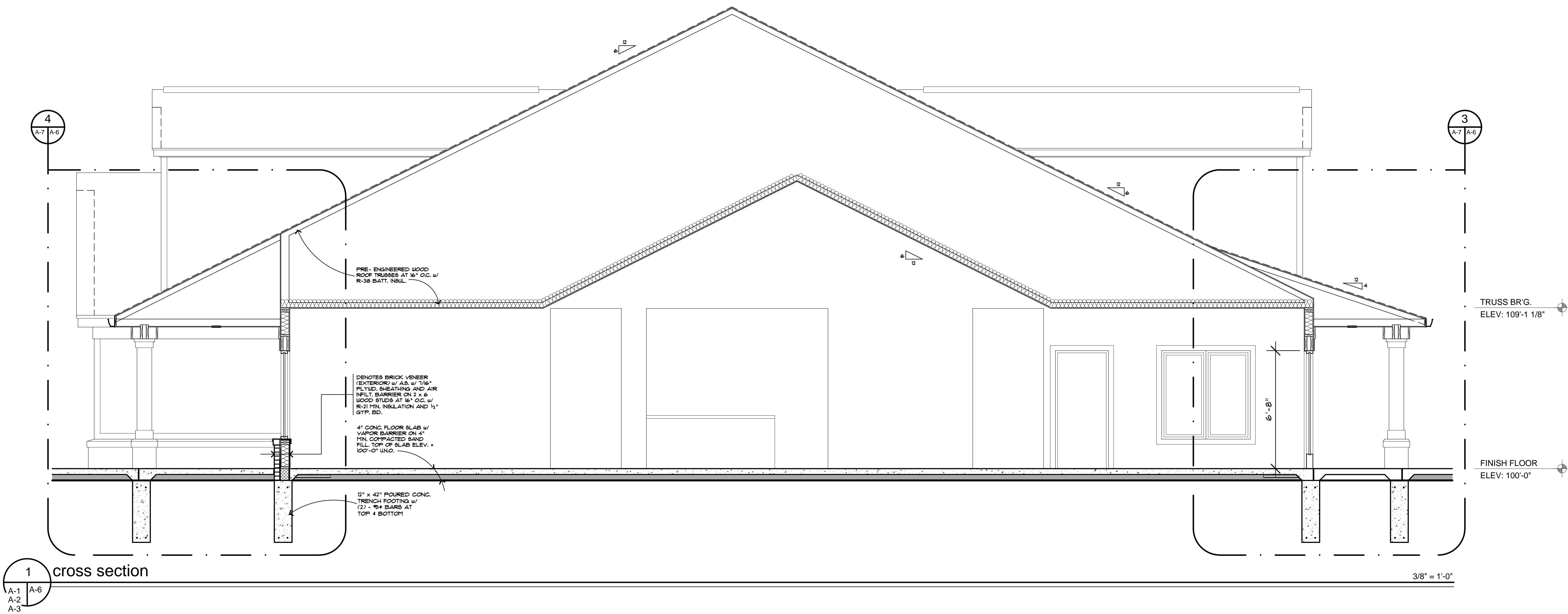
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A-5





2 cross section  
3/8" = 1'-0"



1 cross section  
3/8" = 1'-0"

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Rochester Hills, MI

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Sheet Title:  
CROSS SECTIONS

Project Number:  
R19-216

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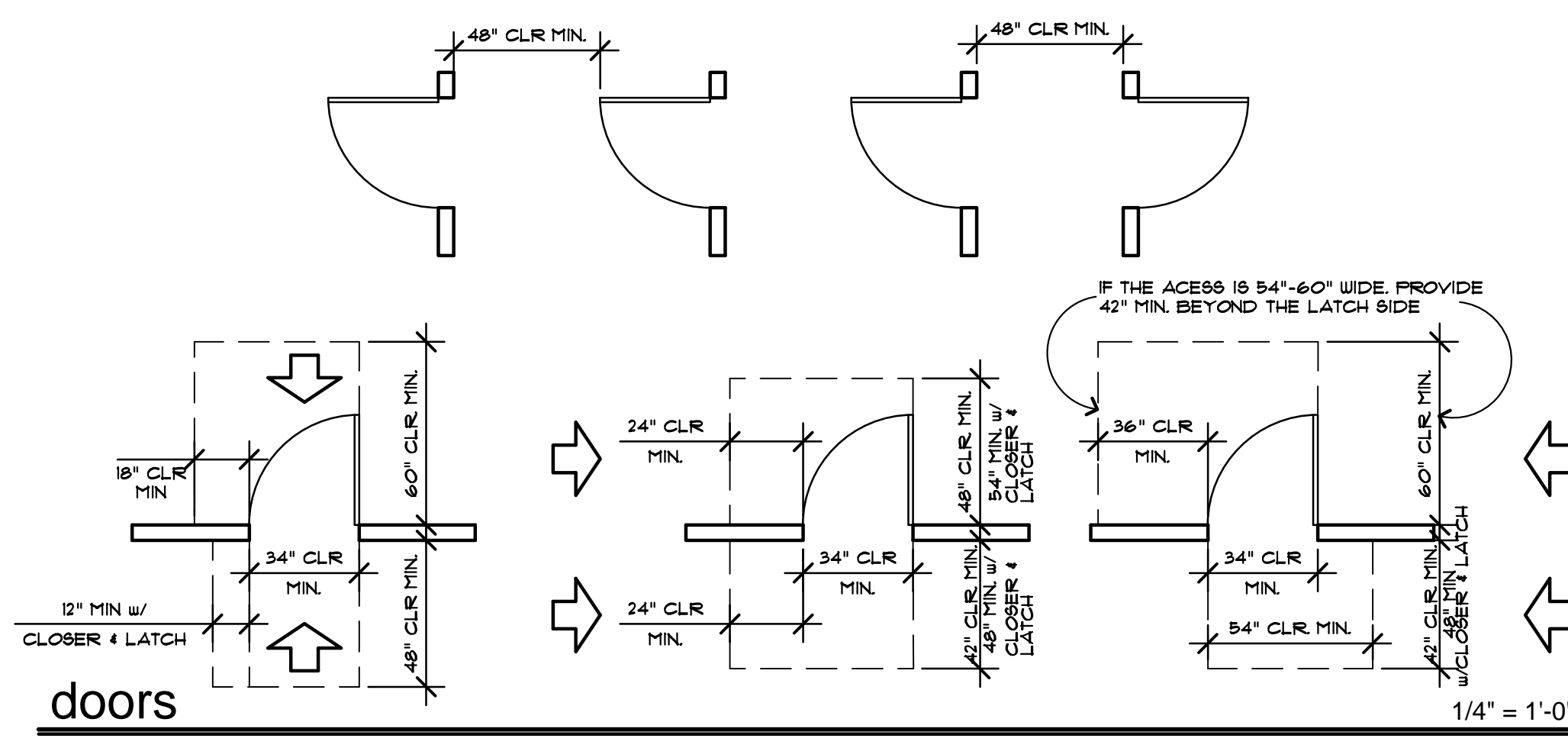
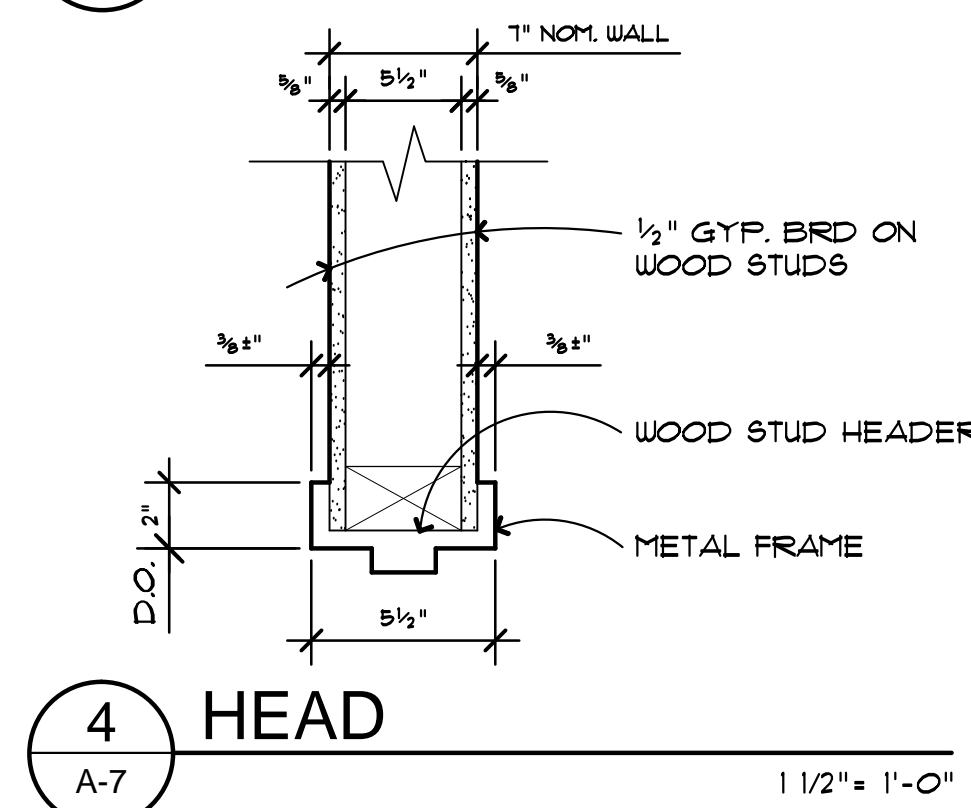
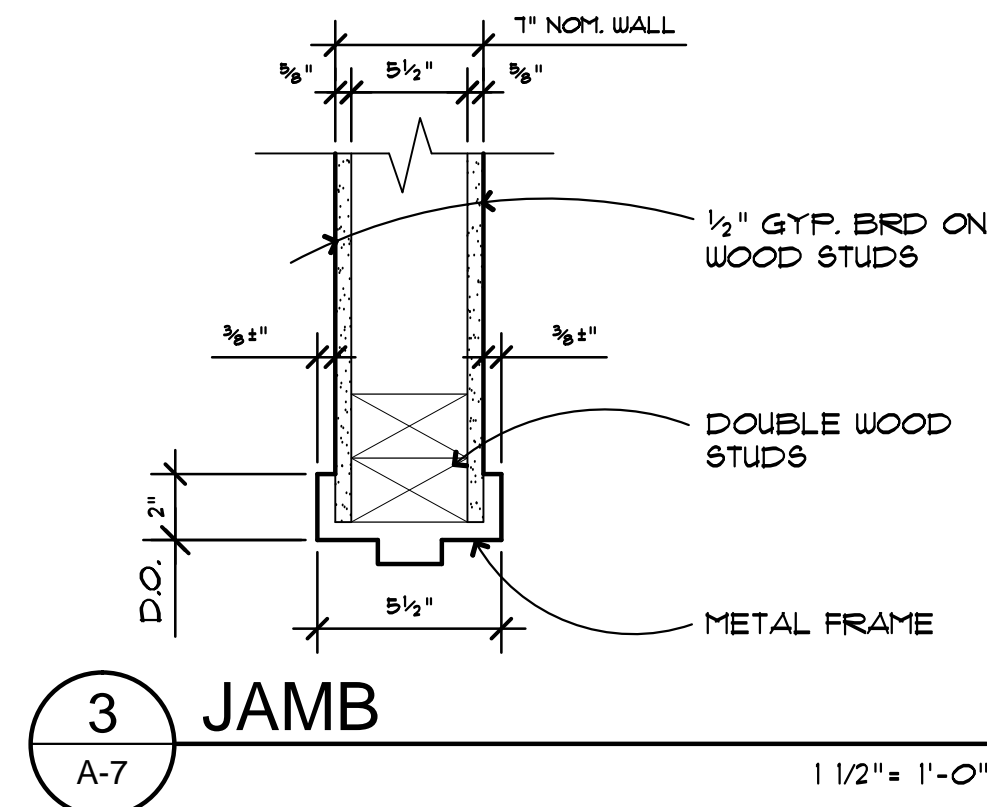
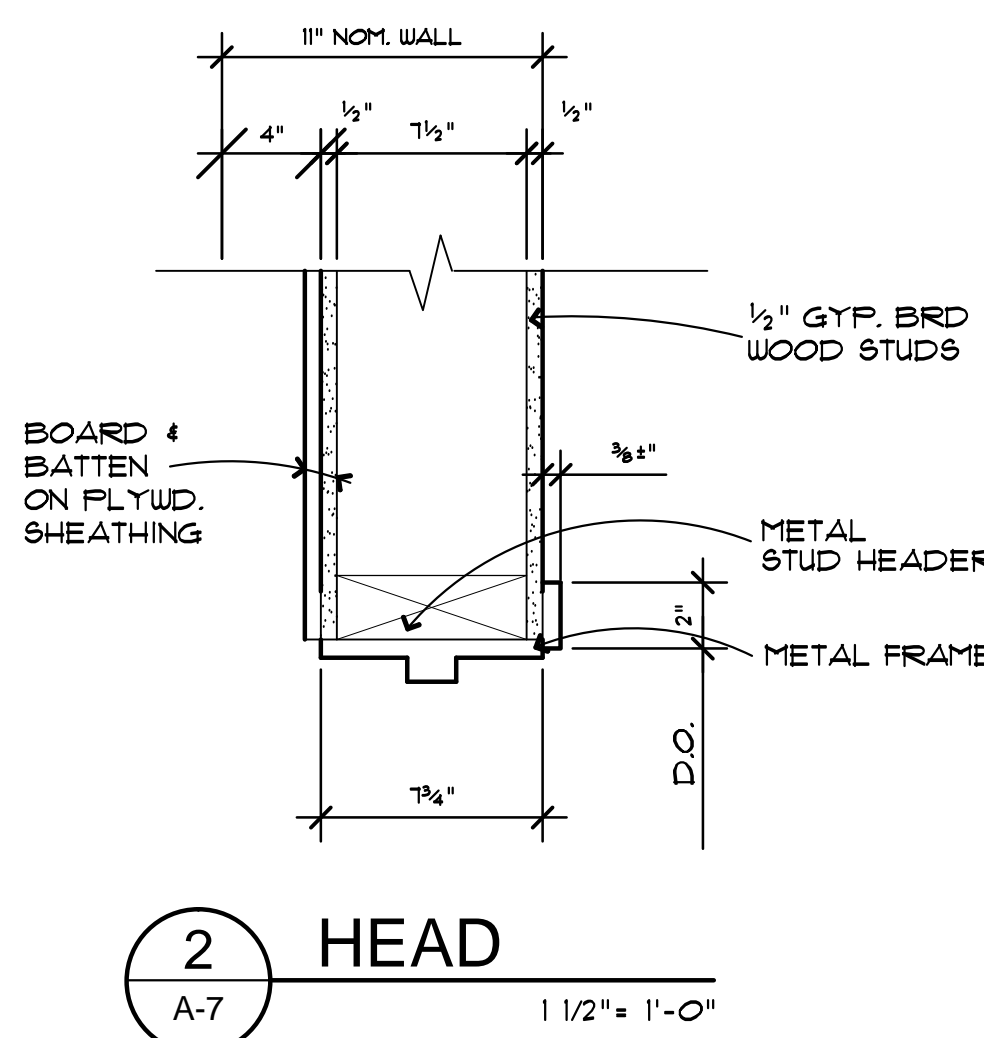
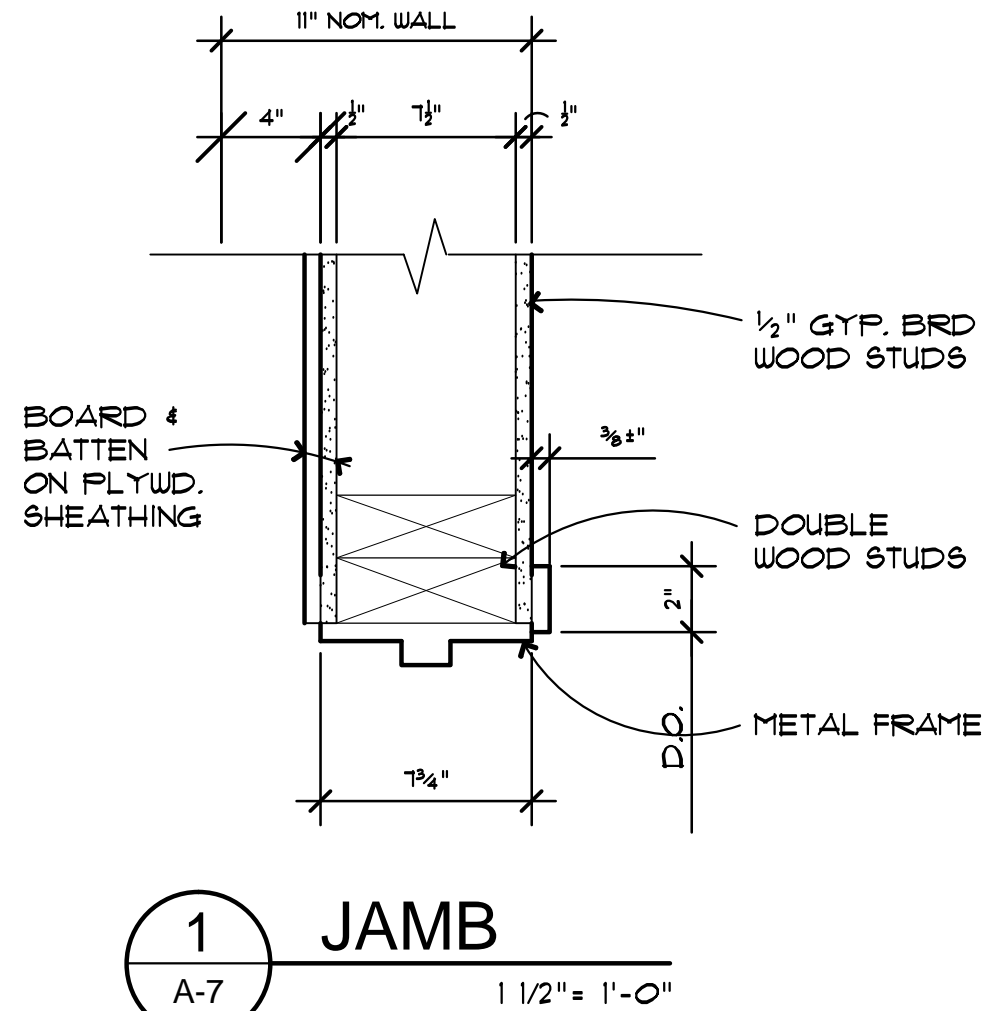
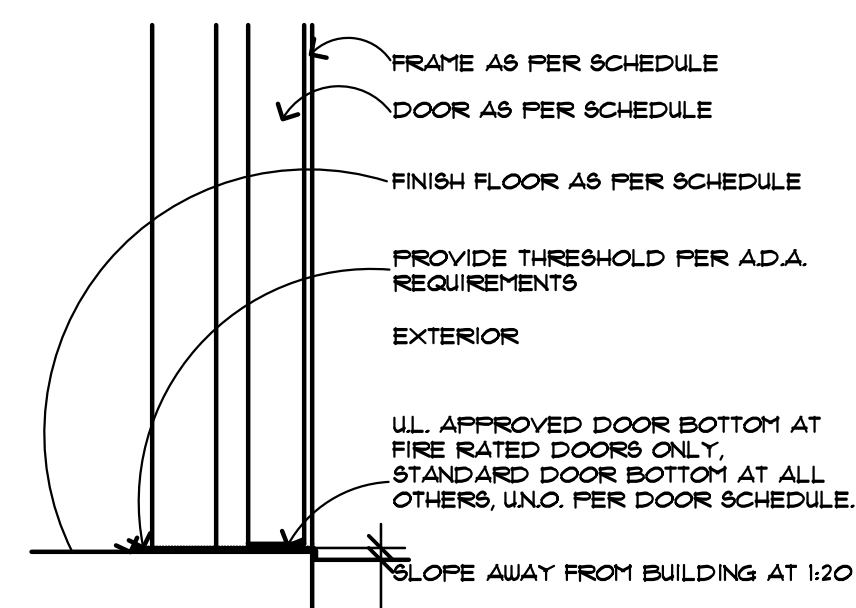
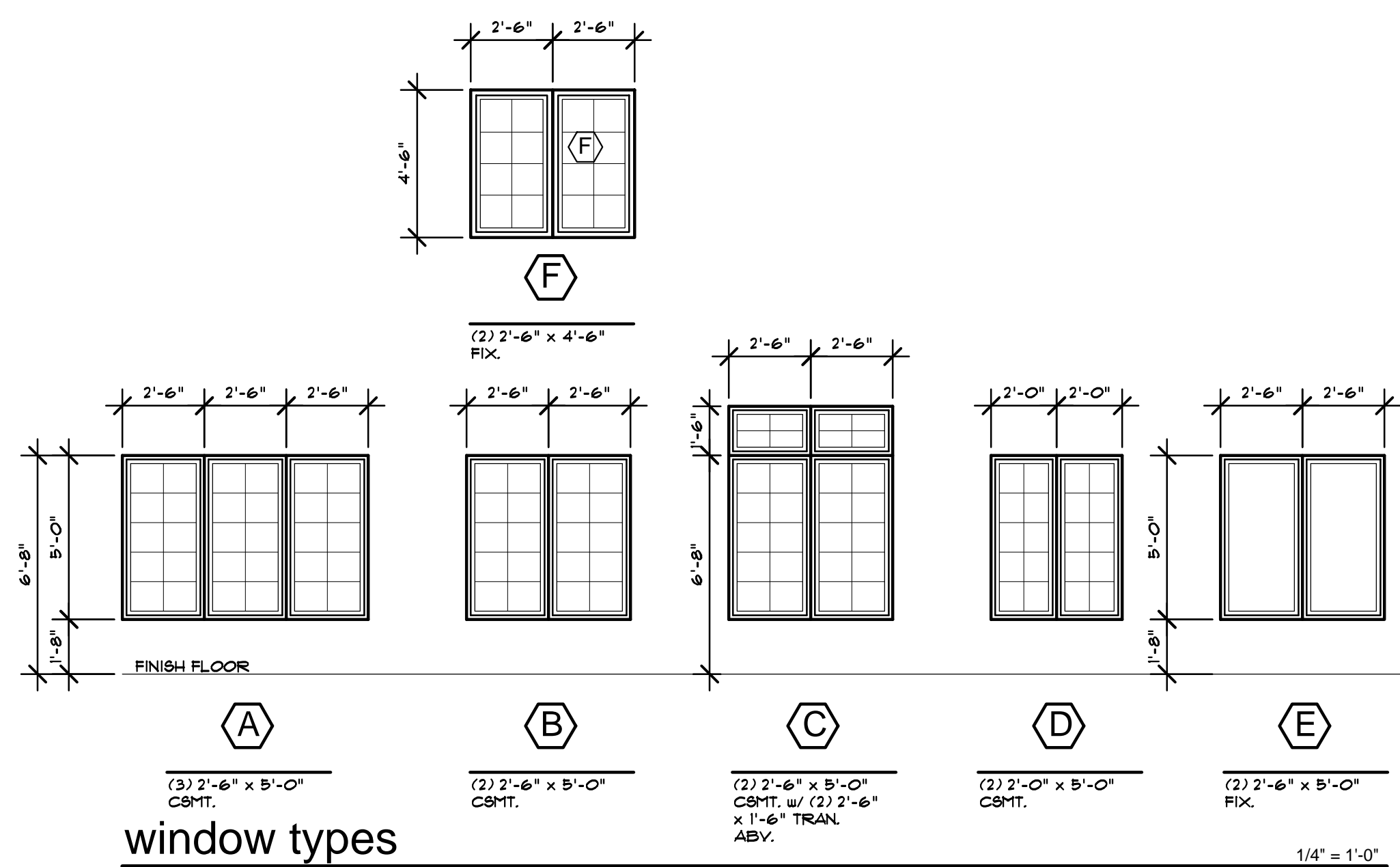
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ROOM FINISH SCHEDULE						
No.	Room Name	Floor	Base	Wall	Ceiling	C/g Ht.
101	FOYER	CERAMIC TILE	CERAMIC BASE	PAINT	GYP/PM BOARD CEILING	9'-0"
102	CONFERENCE ROOM	CARPET	CARPET BASE	PAINT	GYP/PM BOARD CEILING	9'-0"
103	MANAGERS OFFICE	CARPET	CARPET BASE	PAINT	GYP/PM BOARD CEILING	9'-0"
104	BEDROOM 1	VNTL PLANK FLOORING	RUBBER COVE BASE	PAINT	GYP/PM BOARD CEILING	9'-0"
105	BATHROOM 1	CERAMIC TILE	CERAMIC BASE	PAINT	GYP/PM BOARD CEILING	9'-0"
106	BEDROOM 2	VNTL PLANK FLOORING	RUBBER COVE BASE	PAINT	GYP/PM BOARD CEILING	9'-0"
107	BEDROOM 3	VNTL PLANK FLOORING	RUBBER COVE BASE	PAINT	GYP/PM BOARD CEILING	9'-0"
108	BATHROOM 1	CERAMIC TILE	CERAMIC BASE	PAINT	GYP/PM BOARD CEILING	9'-0"
109	BATHROOM 1	CERAMIC TILE	CERAMIC BASE	PAINT	GYP/PM BOARD CEILING	9'-0"
110	BEDROOM 4	VNTL PLANK FLOORING	RUBBER COVE BASE	PAINT	GYP/PM BOARD CEILING	9'-0"
111	BATHROOM 1	CERAMIC TILE	CERAMIC BASE	PAINT	GYP/PM BOARD CEILING	9'-0"
112	BEDROOM 5	VNTL PLANK FLOORING	RUBBER COVE BASE	PAINT	GYP/PM BOARD CEILING	9'-0"
113	BEDROOM 6	VNTL PLANK FLOORING	RUBBER COVE BASE	PAINT	GYP/PM BOARD CEILING	9'-0"
114	BATHROOM 1	CERAMIC TILE	CERAMIC BASE	PAINT	GYP/PM BOARD CEILING	9'-0"
115	BEDROOM 1	VNTL PLANK FLOORING	RUBBER COVE BASE	PAINT	GYP/PM BOARD CEILING	9'-0"
116	LAUNDRY ROOM	VNTL PLANK FLOORING	RUBBER COVE BASE	PAINT	GYP/PM BOARD CEILING	9'-0"
117	MECHANICAL ROOM	VNTL PLANK FLOORING	RUBBER COVE BASE	PAINT	GYP/PM BOARD CEILING	9'-0"
118	MEDICATION ROOM	VNTL PLANK FLOORING	RUBBER COVE BASE	PAINT	GYP/PM BOARD CEILING	9'-0"
119	PANTRY	VNTL PLANK FLOORING	RUBBER COVE BASE	PAINT	GYP/PM BOARD CEILING	9'-0"
120	POULDER ROOM	VNTL PLANK FLOORING	RUBBER COVE BASE	PAINT	GYP/PM BOARD CEILING	9'-0"
121	KITCHEN	VNTL PLANK FLOORING	RUBBER COVE BASE	PAINT	GYP/PM BOARD CEILING	9'-0"
122	LIVING ROOM	VNTL PLANK FLOORING	RUBBER COVE BASE	PAINT	GYP/PM BOARD CEILING	CATH.
123	DINING ROOM	VNTL PLANK FLOORING	RUBBER COVE BASE	PAINT	GYP/PM BOARD CEILING	9'-0"
124	BEDROOM 8	VNTL PLANK FLOORING	RUBBER COVE BASE	PAINT	GYP/PM BOARD CEILING	9'-0"
125	WALK IN CLOSET	VNTL PLANK FLOORING	RUBBER COVE BASE	PAINT	GYP/PM BOARD CEILING	9'-0"
126	BATHROOM 1	CERAMIC TILE	CERAMIC BASE	PAINT	GYP/PM BOARD CEILING	9'-0"
127	GARAGE	SEALED CONCRETE		PAINT	GYP/PM BOARD CEILING	9'-0"
128	BATHROOM 1	CERAMIC TILE	CERAMIC BASE	PAINT	GYP/PM BOARD CEILING	9'-0"
129	STAFF BEDROOM	VNTL PLANK FLOORING	RUBBER COVE BASE	PAINT	GYP/PM BOARD CEILING	9'-0"
130	BEDROOM 9	VNTL PLANK FLOORING	RUBBER COVE BASE	PAINT	GYP/PM BOARD CEILING	9'-0"
131	BATHROOM 1	CERAMIC TILE	CERAMIC BASE	PAINT	GYP/PM BOARD CEILING	9'-0"
132	BATHROOM 1	CERAMIC TILE	CERAMIC BASE	PAINT	GYP/PM BOARD CEILING	9'-0"
133	BEDROOM 10	VNTL PLANK FLOORING	RUBBER COVE BASE	PAINT	GYP/PM BOARD CEILING	9'-0"
134	HALLWAY	VNTL PLANK FLOORING	RUBBER COVE BASE	PAINT	GYP/PM BOARD CEILING	9'-0"



door schedule

Door No.	Door										Framing						Fire Rating		Remarks
	Type	Mat.	Finish	Glass	Details			Type	Mat.	Finish	Details								
					Width	Height	Thick.				Jamb	Head	Sill	Label	Hour				
01	A	ALUM.	PRE-FIN.	TEMP.	(2) 3'-0"	6'-8"	R <sub>8</sub> *	1	ALUM.	PRE-FIN.	1	2	MET. THR.			1, 3, 9			
02	B	WOOD	PAINT	TEMP.	(2) 2'-6"	6'-8"	R <sub>8</sub> *	2	WOOD	PAINT	3	4				1, 10			
03	C	WOOD	PAINT		(2) 2'-6"	6'-8"	R <sub>8</sub> *	2	WOOD	PAINT	3	4				1, 10			
04	D	WOOD	PAINT	TEMP.	3'-0"	6'-8"	R <sub>8</sub> *	3	WOOD	PAINT	3	4				1, 12			
05	E	WOOD	PAINT		3'-0"	6'-8"	R <sub>8</sub> *	3	WOOD	PAINT	3	4				1, 10			
06	F	WOOD	PAINT		(2) 2'-6"	6'-8"	R <sub>8</sub> *		WOOD	PAINT						6			
07	E	WOOD	PAINT		3'-0"	6'-8"	R <sub>8</sub> *	3	WOOD	PAINT	3	4				1, 4			
08	E	WOOD	PAINT		3'-0"	6'-8"	R <sub>8</sub> *	3	WOOD	PAINT	3	4				1, 4			
09	F	WOOD	PAINT		(2) 2'-6"	6'-8"	R <sub>8</sub> *		WOOD	PAINT						6			
10	E	WOOD	PAINT		3'-0"	6'-8"	R <sub>8</sub> *	3	WOOD	PAINT	3	4				1, 10			
11	G	WOOD	PAINT		(2) 2'-0"	6'-8"	R <sub>8</sub> *		WOOD	PAINT						6			
12	E	WOOD	PAINT		3'-0"	6'-8"	R <sub>8</sub> *	3	WOOD	PAINT	3	4				1, 4			
13	E	WOOD	PAINT		3'-0"	6'-8"	R <sub>8</sub> *	3	WOOD	PAINT	3	4				1, 10			
14	H	STEEL	PAINT		16'-0"	7'-0"	R <sub>8</sub> *		STEEL	PAINT						14			
15	E	WOOD	PAINT		3'-0"	6'-8"	R <sub>8</sub> *	3	WOOD	PAINT	3	4				1, 10			
16	C	WOOD	PAINT		(2) 2'-6"	6'-8"	R <sub>8</sub> *	2	WOOD	PAINT	3	4				1, 10			
17	E	WOOD	PAINT		3'-0"	6'-8"	R <sub>8</sub> *	3	WOOD	PAINT	3	4				1, 3, 4, 9			
18	E	WOOD	PAINT		3'-0"	6'-8"	R <sub>8</sub> *	3	WOOD	PAINT	3	4				1, 10			
19	E	WOOD	PAINT		3'-0"	6'-8"	R <sub>8</sub> *	3	WOOD	PAINT	3	4				1, 10			
20	A	WOOD	PAINT	TEMP.	(2) 3'-0"	6'-8"	R <sub>8</sub> *	4	WOOD	PAINT	1	2	MET. THR.			1, 3, 9			
21	F	WOOD	PAINT		(2) 2'-6"	6'-8"	R <sub>8</sub> *		WOOD	PAINT						6			
22	E	WOOD	PAINT		3'-0"	6'-8"	R <sub>8</sub> *	3	WOOD	PAINT	3	4				1, 10			
23	E	WOOD	PAINT		3'-0"	6'-8"	R <sub>8</sub> *	3	WOOD	PAINT						12			
24	E	WOOD	PAINT		3'-0"	6'-8"	R <sub>8</sub> *	3	WOOD	PAINT	3	4				4			
25	E	WOOD	PAINT		3'-0"	6'-8"	R <sub>8</sub> *	3	WOOD	PAINT						12			
26	E	WOOD	PAINT		3'-0"	6'-8"	R <sub>8</sub> *	3	WOOD	PAINT	3	4				1, 10			
27	F	WOOD	PAINT		(2) 2'-6"	6'-8"	R <sub>8</sub> *		WOOD	PAINT						6			
28	E	WOOD	PAINT		3'-0"	6'-8"	R <sub>8</sub> *	3	WOOD	PAINT	3	4				1, 2			
29	E	WOOD	PAINT		3'-0"	6'-8"	R <sub>8</sub> *	3	WOOD	PAINT	3	4				1, 10			
30	E	WOOD	PAINT		3'-0"	6'-8"	R <sub>8</sub> *	3	WOOD	PAINT	3	4				1, 10			
31	F	WOOD	PAINT		(2) 2'-6"	6'-8"	R <sub>8</sub> *		WOOD	PAINT						6			
32	E	WOOD	PAINT		3'-0"	6'-8"	R <sub>8</sub> *	3	WOOD	PAINT	3	4				1, 4			
33	E	WOOD	PAINT		3'-0"	6'-8"	R <sub>8</sub> *	3	WOOD	PAINT	3	4				1, 10			
34	F	WOOD	PAINT		(2) 2'-6"	6'-8"	R <sub>8</sub> *		WOOD	PAINT						6			
35	E	WOOD	PAINT		3'-0"	6'-8"	R <sub>8</sub> *	3	WOOD	PAINT	3	4				1, 4			
36	E	WOOD	PAINT		3'-0"	6'-8"	R <sub>8</sub> *	3	WOOD	PAINT	3	4				4			
37	F	WOOD	PAINT		(2) 2'-6"	6'-8"	R <sub>8</sub> *		WOOD	PAINT						6			
38	C	WOOD	PAINT		(2) 2'-6"	6'-8"	R <sub>8</sub> *	2	WOOD	PAINT	3	4				1, 10			
39	E	WOOD	PAINT		3'-0"	6'-8"	R <sub>8</sub> *	3	WOOD	PAINT	3	4				1, 10			
40	A	ALUM.	PRE-FIN.	TEMP.	3'-0"	6'-8"	R <sub>8</sub> *	2	ALUM.	PRE-FIN.	1	2	MET. THR.			1, 3, 9			
41	F	WOOD	PAINT		(2) 2'-6"	6'-8"	R <sub>8</sub> *		WOOD	PAINT						6			
42	E	WOOD	PAINT		3'-0"	6'-8"	R <sub>8</sub> *	3	WOOD	PAINT	3	4				1, 10			
43	E	WOOD	PAINT		3'-0"	6'-8"	R <sub>8</sub> *	3	WOOD	PAINT						12			
44	E	WOOD	PAINT		3'-0"	6'-8"	R <sub>8</sub> *	3	WOOD	PAINT	3	4				1, 4			
45	E	WOOD	PAINT		3'-0"	6'-8"	R <sub>8</sub> *	3	WOOD	PAINT						12			
46	E	WOOD	PAINT		3'-0"	6'-8"	R <sub>8</sub> *	3	WOOD	PAINT	3	4				1, 10			
47	F	WOOD	PAINT		(2) 2'-6"	6'-8"	R <sub>8</sub> *		WOOD	PAINT						6			
48	E	WOOD	PAINT		3'-0"	6'-8"	R <sub>8</sub> *	3	WOOD	PAINT	3	4				1, 10			
49	E	WOOD	PAINT		3'-0"	6'-8"	R <sub>8</sub> *	3	WOOD	PAINT	3	4				1, 4			
50	E	WOOD	PAINT		3'-0"	6'-8"	R <sub>8</sub> *	3	WOOD	PAINT	3	4				1, 4			

door schedule general notes:

1. ALL DOORS SHALL HAVE HANDLES, PULLS, LATCHES, AND OPERATING DEVICES WHICH DO NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE. REFER TO SECTION 8.3.4.3J OF THE MICH. BARRIER FREE DESIGN GRAPHICS
2. PRIMARY LOOKING AND LATCHING DEVICES ON DOORS SHALL BE MOUNTED NO HIGHER THAN 60" AND SECONDARY LOCKING DEVICES NO HIGHER THAN 48". REFER TO SECTION 8.3.4.3.B OF THE MICH. BARRIER FREE DESIGN GRAPHICS
3. ALL EXIT DOORS SHALL SWING IN THE DIRECTION OF EGRESS.
4. NO INTERIOR KEY LOCKS OR BOLT-TYPE LOCKING DEVICES ARE PERMITTED ON EXIT DOORS.

door schedule remarks

1. WALL OR FLOOR STOP
2. LOCK SET
3. DOOR CLOSER
4. PUSH BUTTON LOCKSET
5. BARRIER FREE SIGNAGE AND  
SYMBOLS COMPLIANCE
6. STANDARD BI-FOLD DOOR HARDWARE  
INCLUDING TRUCK, GLIDES, AND DUMPTY GLIDES
7. 18" WIDE SIDE LITE w/ 1/4" TEMP. GLASS
8. 24" WIDE SIDE LITE w/ 1/4" TEMP. GLASS
9. DEADBOLT - THUMBLEATCH
10. PASSAGE LOCKSET
11. DOUBLE SLUNG HINGESET
12. POCKET DOOR HARDWARE
13. PROVIDE AIR TIGHT SEAL
14. MOTORIZED OPENER
15. FIRE ACTIVATED
16. LEAD LINED

NOTE:

SLIDING AND FOLDING DOORS REQUIRE THE SAME MANEUVERING SPACE AS APPROACHES TO THE PUSH SIDE ON SWING DOORS.

HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERABLE PARTS ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT FINCHING, OR TWISTING OF THE WRIST TO OPERATE. WHEN SLIDING DOORS ARE IN THE FULLY OPEN POSITION, OPERATING HARDWARE SHALL BE EXPOSED AND USABLE FROM BOTH SIDES.

DOOR CLOSERS SHALL BE ADJUSTED TO TAHT FROM AN OPEN POSITION OF 90°, THE TIME REQUIRED TO MOVE THE DOOR TO AN OPEN POSITION OF 12° WILL BE 3 SECONDS MIN.

FIRE DOORS SHALL HAVE THE MINIMUM OPENING FORCE ALLOWABLE BY APPLICABLE CODES. THE REQUIRED FORCE FOR PUSHING OR PULLING OPEN DOORS OTHER THAN FIRE DOORS SHALL BE 5.0 LBS MAX. THIS FORCE DOES NOT APPLY TO THE FORCE REQUIRED TO RETRACT LATCH BOLTS OR DISENGAGE OTHER DEVICES TAHT HOLD THE DOOR IN A CLOSED POSITION.

POWER-ASSISTED DOORS SHALL COMPLY WITH ANSI/BHMA A156.19. TIME REQUIRED FOR SUCH DOORS TO OPEN THE BACK CHECK POSITION SHALL 3 SECONDS MIN. THE FORCE REQUIRED TO STOP DOOR MOVEMENT SHALL BE 15 LB MAX.

THE BOTTOM 12" OF ALL SWINGING DOORS TAHT ARE NOT AUTOMAT  
OR POWER-ASSITED SHALL HAVE A SMOOTH, UNINTERRUPTED  
SURFACE.

NOTE:

DOOR C

SUCH THAT FROM AN OPEN POSITION OF 90 DEGREES, THE LENGTH OF TIME IT TAKES FOR THE DOOR TO START CLOSING TO AN OPEN POSITION OF 12 DEGREES IS A MINIMUM OF 5 SECONDS.

HANDLES, PULLS, LATCHES, LOOKS AND OTHER OPERABLE PARTS ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST TO OPERATE. SUCH HARDWARE SHALL BE 34 INCHES MINIMUM AND 48 INCHES MAXIMUM ABOVE THE FLOOR OR GROUND. ALL DOOR HARDWARE SHALL COMPLY.









SITE PLAN

SITE NOTES:

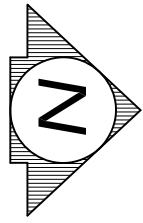
ZONING: R-1  
FRONT SETBACK: 40 FT.  
SIDE: 15 FT. / TOTAL 30 FT.  
REAR: 35 FT.

3 FULL WORKING DAYS  
BEFORE YOU DIG CALL  
811

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Rochester, MI 48306



SCALE: 1" EQ. 20'   
 0 10 20 40

LEGEND:

- FOUND IRON
- SET IRON
- RECORDED DISTANCE
- MEASURED DISTANCE
- EXISTING GRAVEL
- EXISTING CONCRETE
- EXISTING ASPHALT
- EXISTING LANDSCAPED AREA
- EXISTING STORM SEWER
- EXISTING SANITARY SEWER
- EXISTING WATERMAIN
- EXISTING OVERHEAD WIRES
- EXISTING FENCE
- EXISTING UTILITY POLE
- EXISTING WATER SHUT OFF
- EXISTING GATE VALVE
- EXISTING HYDRANT
- EXISTING GAS SHUT OFF
- EXISTING SANITARY STRUCTURE
- EXISTING STORM STRUCTURE
- EXISTING DOWN SPOUT
- EXISTING UTILITY PEDESTAL
- EXISTING BOULDER RET. WALL
- EXISTING GRADE
- PROPOSED GRADE
- PROPOSED CONCRETE
- PROPOSED BUILDING
- PROPOSED SILT FENCE
- PROP. DRAINAGE ARROW
- PROP. MAJOR CONTOURS
- PROP. MINOR CONTOURS

NOTES:

CONSTRUCTION SITES SHALL BE SAFEGUARDED IN ACCORDANCE WITH  
M.C. CHAPTER 14.

OPEN BURNING IS NOT PERMITTED. INCLUDING THE BURNING OF  
TRASH, DEBRIS OR LAND CLEARING MATERIALS. OPEN BURNING FOR  
WARMING SAND AND/OR WATER FOR PREPARATION OF MORTAR  
SHALL BE WITHIN CITY OF ROCHESTER HILLS BURN PERMIT  
GUIDELINES. CONTACT ROCHESTER HILLS FIRE DEPARTMENT FOR  
PERMIT INFORMATION.

A KNOX KEY SYSTEM SHALL BE INSTALLED IN A LOCATION  
APPROVED BY THE FIRE CODE OFFICIAL. ORDERING INFORMATION IS  
AVAILABLE FROM THE KNOX COMPANY AT KNOXBOX.COM.

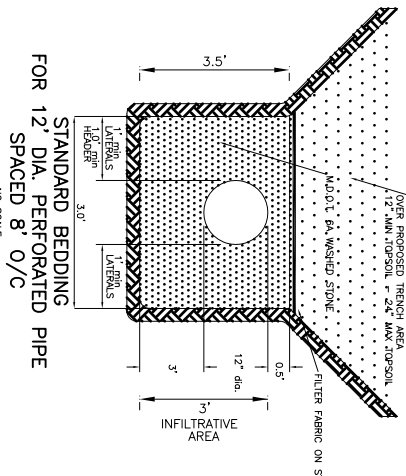
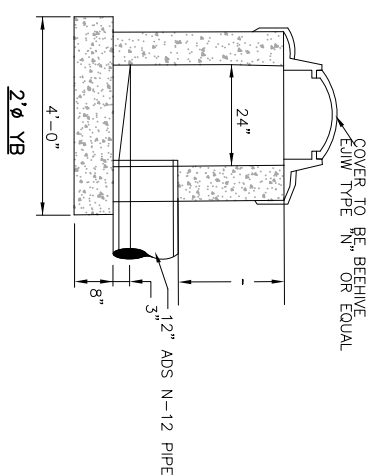
FIRE LANCES SHALL BE CONSPICUOUSLY POSTED ON BOTH SIDES OF  
THE FIRE LANE. WITH FIRE LANCE SIGNS SPACED NOT MORE THAN  
100 FT. APART. FIRE LANE SIGNS SHALL READ "NO STOPPING,  
STANDING, PARKING, FIRE LANE" AND IN CONFORMANCE WITH THE  
MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.

NO DUMPSTER ON SITE. TRASH WILL BE PICKED UP BY TRASH  
BINS.

THERE WILL BE NO OUTSIDE POST LIGHTS.

STORM FIELD DETAIL:

N.T.S.



NOTE:

1. SUMP PUMP MUST BE INSTALLED TO FRONT DITCH.
2. A SOIL EROSION PERMIT FROM OAKLAND COUNTY DRAIN OFFICE  
IS REQUIRED FOR ANY EROSION OR DEGRADATION OF PUBLIC  
SERVICES CITY OF ROCHESTER HILLS.
3. A PERMIT FROM THE CITY OF ROCHESTER HILLS D.P.S. IS  
REQUIRED FOR THE SANITARY SEWER TAP IN CROOKS AVE. ROW.

NOTES:

1. INSTALL SOIL EROSION CONTROLS PRIOR TO
2. COMPLETE ALL EARTH DISRUPTION.
3. RIGHT-OF-WAY, ALL SWALE AREAS, ALL
4. AROUND MAJOR STRUCTURES MUST BE STABILIZED
5. PRIOR TO FINAL GRADE INSPECTION.
6. AFTER REMOVAL EARTH STABILIZATION IS
7. MEASURED.
8. SOIL EROSION CONTROL WILL BE MAINTAINED
9. UNTIL THE EROSION CONTROL IS REMOVED.
10. SWALE LEAD TO BE CONNECTED TO AN
11. DRAIN APPROACH NOT TO CROSS PROPERTY
12. LINE PROTECTED.

REQUIRED STORAGE 917 CUFT. < 1281 CUFT. - THEREFORE, OK.

AREA IN TRENCH LESS PIPE 1034 CF

TOTAL STORAGE AREA 1281 CF

APPROVED DRAINAGE SYSTEM

DATE 2/27/20

CHECK G.H.R.

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1. SHEET METAL DUCTWORK CONSTRUCTION WORK SHALL BE IN ACCORDANCE WITH THE MOST CURRENT EDITION OF "SMACNA" LV88B STANDARDS, NFPA 96A, NFPA 90A AND 96, AND THE LATEST EDITION OF THE BOCA MECHANICAL CODE AND THE ASHRAE GUIDE AND DATA BOOKS. DUCT SIZES, AS NOTED ON DRAWINGS, ARE NET INTERNAL DIMENSIONS. ALL DUCTS SHALL BE SEALED AIR TIGHT. SHEET METAL SHALL MEET MINIMUM JOINT LEAKAGE THROUGHOUT THE ENTIRE SYSTEM. (SEE TABLE M-302I, BOCA NATIONAL MECHANICAL CODE - 1987, FOR MINIMUM SHEET METAL THICKNESS).
2. ALL HVAC SYSTEMS AND EQUIPMENT SHALL CONFORM TO ALL NATIONAL, STATE AND LOCAL BUILDING HEALTH AND SANITATION CODES, THE HVAC CONSTRUCTION PRESENT CERTIFICATE OF ADOPTION AND ALL APPLICABLE BUILDING PERMITS HAVE BEEN SECURED BEFORE STARTING ANY WORK AND PROVIDE TO THE OWNER ALL REQUIRED CERTIFICATES OF FINAL APPROVAL FROM ALL JURISDICTIONS PRIOR TO COMPLETION OF THE WORK.
3. FURNISH AND INSTALL FLEXIBLE DUCT CONNECTORS ON ALL DUCT CONNECTIONS TO AIR HANDLING UNITS.
4. PROVIDE OPPOSED BLADE BALANCING DAMPERS AT EACH BRANCH DUCT TAKE-OFF FROM MAIN DUCTS AND OTHER LOCATIONS AS REQUIRED TO PROPERLY BALANCE SYSTEMS.
5. FURNISH AND INSTALL FIRE DAMPERS WHERE INDICATED ON DRAWINGS AND WHERE DUCTWORK VIOLATES FIRE RATED CONSTRUCTION, AND/OR WHERE REQUIRED BY LOCAL OR STATE CODES. ALL FIRE DAMPERS SHALL BE TESTED, RATED AND BEAR THE LABEL OF UNDERWRITERS' LABORATORIES AND SHALL BE INSTALLED IN THE MANNER THEREBY REQUIRED. THEY WILL BE PROVIDED WITH A LABEL SIMILAR TO AIR BALANCE MODEL NO. 119-A1 OVERSIZE WITH 95% FREE AREA.

- A. DUCTWORK INSULATION SHALL BE AS FOLLOWS:  
ALL SUPPLY AIR DUCTWORK INSIDE THE BUILDING, IN NON-CONDITIONED SPACES SHALL BE INSULATED WITH DUCT WRAP OF 1" MINIMUM THICKNESS AND 1" DENSITY, WITH VAPOR BARRIER. JOINTS SHALL BE STAPLED AND TAPED, AS AN ALTERNATE TO DUCT WRAP, THE HVAC CONTRACTOR MAY LINE DUCTS WITH 1" THICK, 1/2" DENSITY FIBERGLASS DUCT LINER.
- B. DUCTWORK INSULATION SHALL HAVE A FLAME SPREAD/SMOKE DENSITY RATING NOT EXCEEDING 25/50 PER NFPA CHAPTER 90A.

7. VIBRATION ABSORBING SUPPORTS SHALL BE INSTALLED AS REQUIRED ON ALL EQUIPMENT TO PREVENT TRANSMISSION OF VIBRATION AND NOISE TO THE STRUCTURE. PROVIDE VIBRATION ISOLATION PER A.S.H.R.A.E. STANDARDS.
8. ALL MECHANICAL EQUIPMENT LOCATED ON THE ROOF SHALL BE PROPERLY SUPPORTED WITH PRE-FABRICATED CURBS, EQUIPMENT RAILS, OR OTHER MEANS AS APPROVED BY THE OWNER.
9. HEATING VENTILATING, AND AIR CONDITIONING SYSTEMS ARE DESIGNED ON THE FOLLOWING CONDITIONS:

WINTER: INSIDE TEMP. 72 F. D.B. OUTSIDE TEMP. 0 F. D.B. 15MPH WIND.  
SUMMER: INSIDE TEMP. 78 F. D.B. & 50% RELATIVE HUMIDITY (MAXIMUM)  
OUTSIDE TEMP. 98 F. D.B. & 74 F. W.B.

10. THE CONTRACTOR SHALL OBTAIN OTHER TRADES DRAWINGS AND COORDINATE HIS WORK WITH THE PROJECT AS IT RELATES TO ALL TRADES AND VISIT THE JOB SITE AT ALL TIMES TO BE SURE HE KNOWS HIMSELF WITH ACTUAL JOB CONDITIONS AND TO CHECK FOR ANY INTERFERENCE BETWEEN CONDITIONS AND THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCAL OR STATE CODES, LAWS, ORDINANCES, AND REGULATIONS. IF ANY INTERFERENCES OR CONDITIONS ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY. IF A CHANGE ORDER OR VARIATION ORDER IS REQUIRED, THE CONTRACT DOCUMENTS IS REQUIRED, THE CONTRACTOR SHALL NOTIFY THE OWNER BEFORE ENTERING INTO CONTRACT WITH THE OWNER. FAILURE TO PROVIDE THE CONTRACTOR WITH THE INFORMATION REQUIRED TO COMPLETE THE WORK SHALL BE THE CONTRACTOR BEING RESPONSIBLE TO COMPLETE ALL WORK TO MEET THE REQUIREMENTS OF THE CONTRACT DOCUMENTS WITH NO ADDITIONAL EXPENSE ("EXTRAS") BEING INCURRED BY THE OWNER.

11. SHEET METAL RUN-OUTS AND FLEX DUCT CONNECTIONS TO AIR DISTRIBUTION DEVICES SHALL BE THE SAME SIZE AS THE DEVICE NECK, UNLESS OTHERWISE NOTED.
12. DUCTS CONNECTING TO HVAC EQUIPMENT SHALL BE THE SAME SIZE AS EQUIPMENT DUCT CONNECTIONS, UNLESS OTHERWISE NOTED.
13. THE HVAC CONTRACTOR SHALL COORDINATE ELECTRICAL CHARACTERISTICS OF HIS EQUIPMENT WITH THE ELECTRICAL CONTRACTOR. REFER TO ELECTRICAL DIVISION FOR ELECTRICAL CHARACTERISTICS OF EQUIPMENT TO BE FURNISHED BY HVAC CONTRACTOR.

14. AIR DISTRIBUTION DEVICES LOCATIONS SHOWN ON PLANS ARE APPROXIMATE. THE HVAC CONTRACTOR SHALL VERIFY EXACT LOCATIONS OF ALL AIR DISTRIBUTION DEVICES WITH ARCHITECTURAL REFLECTED CEILING PLANS AND/OR ELECTRICAL PLANS BEFORE INSTALLATION. LIGHT FIXTURES AND SPRINKLER HEAD LOCATIONS SHALL, UNLESS OTHERWISE NOTED, TAKE PRECEDENCE OVER AIR DISTRIBUTION DEVICE LOCATIONS.

15. THE HVAC CONTRACTOR SHALL SUBMIT EQUIPMENT SHOP DRAWINGS TO THE OWNER FOR APPROVAL BEFORE INSTALLATION OF ANY OF THE FOLLOWING HVAC EQUIPMENT:
- A. AIR-COOLED UNITS
  - B. ROOF EXHAUST FANS
  - C. AIR DISTRIBUTION DEVICES

APPROVAL OF SHOP DRAWINGS DOES NOT RELIEVE THE HVAC CONTRACTOR OF HIS RESPONSIBILITY TO CONFORM TO THE CONTRACT DOCUMENTS.

APPROVAL OF SHOP DRAWINGS IS INTENDED FOR GENERAL CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS ONLY. ANY EQUIPMENT THAT IS INSTALLED THAT WILL INVOLVE THE WORK OF OTHER TRADES SHALL BE COORDINATED WITH THOSE TRADES. REFER TO OTHER TRADES' DRAWINGS.

16. FURNISH AND INSTALL ACCESS DOORS FOR ALL DAMPERS, AND OTHER AIR DISTRIBUTION BALANCING DEVICES THAT ARE LOCATED ABOVE NON-ACCESSIBLE CEILINGS OR IN WALLS.
17. THE HVAC CONTRACTOR SHALL GUARANTEE ALL WORK INSTALLED UNDER HIS CONTRACT TO BE FREE FROM DEFECTIVE WORKMANSHIP AND MATERIALS, FOR A PERIOD OF ONE YEAR AFTER THE ACCEPTANCE OF THE BUILDING BY THE OWNER, AND SHOULD DEFECTS OCCUR WITHIN THIS PERIOD, REPAIR AND/OR REPLACE DEFECTIVE ITEMS WITHOUT ANY DAMAGE RESULTING FROM FAILURE OF THESE ITEMS AT NO EXPENSE TO THE OWNER.
18. THE HVAC CONTRACTOR SHALL COORDINATE LOCATIONS OF HIS EQUIPMENT AND WORK WITH OTHER BUILDING TRADES TO AVOID ANY INTERFERENCES BETWEEN HIS WORK AND THE WORK OF OTHER TRADES.
19. ANY CUTTING AND PATCHING, THAT MAY BE REQUIRED FOR THE INSTALLATION OF THE HVAC SYSTEMS, SHALL BE DONE AND REPAIRED BY THE HVAC CONTRACTOR. NO ALTERATION OF THE STRUCTURE SHALL BE DONE WITHOUT THE WRITTEN APPROVAL OF THE OWNER BEING PREVIOUSLY OBTAINED.

TYPE B VENTS MUST BE LABELED, TESTED IN ACCORDANCE WITH UL441 AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. THE MINIMUM VENT HEIGHT SHALL BE 10 UNITS HORIZONTAL TO 2 UNITS VERTICAL OF THE ROOF PLANE AND SHALL TERMINATE WITH A LISTED AND LABELED CAP AND SIZED IN ACCORDANCE WITH SEC. 504.3 OF THE FUEL GAS CODE.

ALL CONDENSING UNITS TO HAVE R-22 REFRIGERANT WITH 4 LBS. PER UNIT AND SHALL BE IN ACCORDANCE WITH SEC. 1104 OF THE M.M.C. ALL PIPING MATERIAL AND CONNECTIONS ARE IN ACCORDANCE WITH THE QUALITY STANDARDS OF THE M.M.C.

ALL TIE MASTICS AND VIBRATION ISOLATION CONNECTORS SHALL HAVE A MAXIMUM FLAME SPREAD OF 15 AND SMOKE-DEVELOPED INDEX OF 10.0. TIE SPRINGS SHALL BE Labeled WITH AN UL-181 LABEL AND SHALL BE SMOKE WHEN TESTED IN ACCORDANCE WITH ASTM C 411 AND SEC. 604.3 OF THE MMC. FLEXIBLE DUCTS AND CONNECTORS SHALL BE TESTED IN ACCORDANCE WITH UL 181. ALL FLEXIBLE DUCTS AND CONNECTORS SHALL BE Labeled WITH FLEXIBILITY CONNECTORS BEING LIMITED TO A LENGTH OF 14 FEET. RIGID DUCTS MUST BE SUPPORTED AT INTERVALS NOT EXCEEDING 10 FEET AND DUCTS MUST BE Labeled IN ACCORDANCE WITH THE INTERNATIONAL ENERGY CONSERVATION CODE. ALL AIR HANDLERS SHALL BE TESTED AND Labeled AND MEET THE APPLICABLE STANDARD REFERENCED IN THE MMC.

NOTE:  
PROVIDE 75 CFM EXHAUST IN  
ALL BATHROOMS PER M.B.C.  
2015

DRYER SHALL BE EXHAUSTED  
IN ACCORDANCE WITH  
MANUFACTURE SPECIFICATION  
AND WITH SEC. 504 OF THE IM  
(VERIFY w/ MANUFACTURES  
SPECS.)

**NOTE:**  
AIR CONDITIONING  
EQUIPMENT TO BE  
410a REFRIGERANT

GAS AND REFERENT PIPING SHALL BE SUPPORTED NO MORE THAN 6 FEET HORIZONTAL AND 10 FEET VERTICAL

ALL MECHANICAL EQUIPMENT MUST BE  
INSTALLED IN ACCORDANCE WITH THE  
MANUF. INSTALLATION INSTRUCTIONS  
WHICH MUST BE AVAILABLE AT THE  
JOB SITE.

THE DRYER EXHAUST DUCTWORK SHALL BE CONSTRUCTED OF RIGID ROUND SHEETMETAL WITH NO MECHANICAL FASTENERS OR SCREW. LOCKED AND TAPED JOINTS MUST BE USED. MAXIMUM LENGTH OF 4"Ø RIGID METAL DUCT WITH (2) 90 DEGREE TURNS SHALL BE 44'-0"

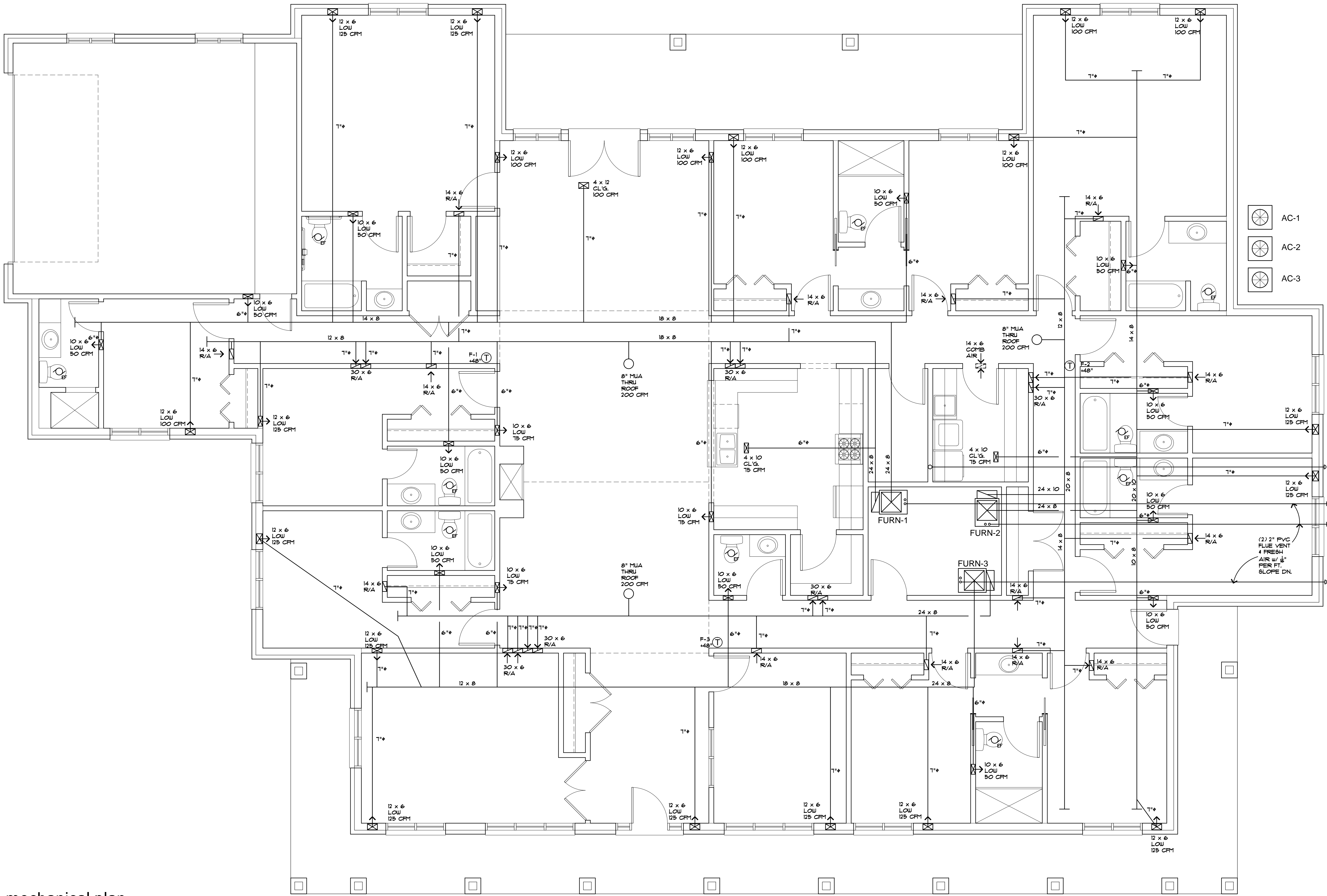
PROVIDE THE REQUIRED MAKE-UP  
AIR FOR DRYER PER M.B.C. 2012.

PROVIDE THE REQUIRED COMBUSTION  
AIR FOR FURNACE AND WATERHEATER  
PER M.B.C. 2012.

ALL OUTDOOR AIR INTAKE OPENINGS  
ARE LOCATED A MINIMUM OF 10 FEET  
FROM ANY PLUMBING VENT, FUEL FIRED  
APPLIANCE VENT OR EXHAUST FAN  
DISCHARGE

furnace schedule			
TAG	MODEL	FLOW	BTUH
FURN 1	BRYANT 915B480	UPFLOW	15,000

air conditioner schedule			
TAG	MODEL	TON	POWER
AC-1	BRYANT 113ANAO36	3	208 hp



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---

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**Project:** \_\_\_\_\_  
Proposed  
Group Home for:

Grace  
Properties, L.L.C.

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1841 Crooks Road  
Rochester Hills, MI

Client:

Grace  
Properties, L.L.C.  
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(248) 568-7194

Sheet Title:  
MECHANICAL PLAN

Project Number: R19-216

Drawn By: \_\_\_\_\_  
JFN

Checked By: \_\_\_\_\_  
F.S.

Issue:

☐ preliminary  
☒ construction  
☐ record

Sheet Number:

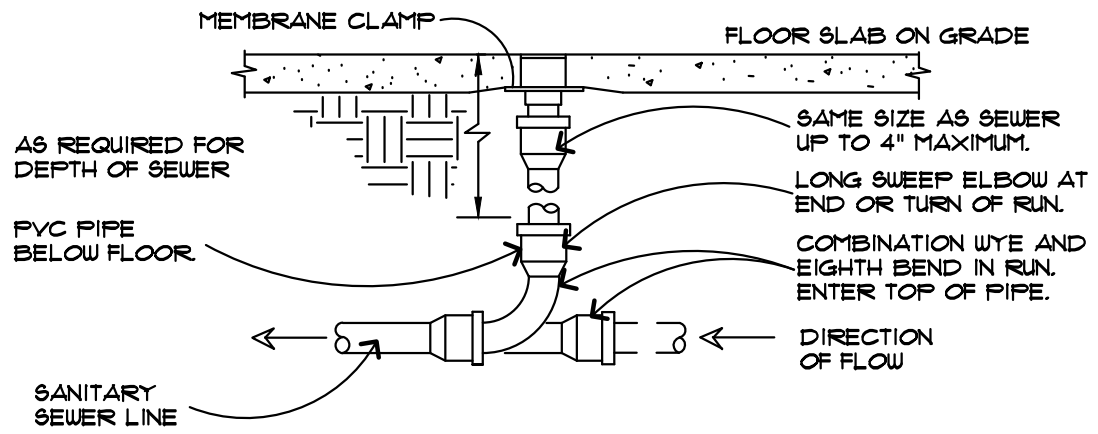


WATER HEATER - ELECTRIC					
Mark	Element Wattage	Capacity Gallons	Recovery @ 90 F. Rise	Make / Model	Remarks
WH-1 (FLOOR MOUNT)	4800	66	20	A.O. SMITH LITE 66D	PROVIDE WATER HEATER PAN & DRAIN

\* PROVIDE THERMAL EXPANSION CONTROL FOR HOT WATER SYSTEM

PLUMBING FIXTURE SCHEDULE						
MARK	FIXTURE	S or W	VENT	CW	HW	REMARKS
LAV-1	LAVATORY	1 1/2"	1 1/2"	1/2"	1/2"	COUNTER MOUNTED
WC-1	WATERCLOSET	3"	1 1/2"	1/2"	-	FLOOR MOUNTED, SIPHON JET
FD-1	FLOOR DRAIN	3"	-	-	-	PRIMER TRAP
S-1	SINK	1 1/2"	1 1/2"	1/2"	1/2"	COUNTER MOUNTED
TUB-1	BATHTUB	1 1/2"	1 1/2"	1/2"	1/2"	FLOOR MOUNTED
W-1	WASHER	1 1/2"	1 1/2"	1/2"	1/2"	FLOOR MOUNTED
LT-1	LAUNDRY TUB	1 1/2"	1 1/2"	1/2"	1/2"	FLOOR MOUNTED
SHWR	SHOWER	1 1/2"	1 1/2"	1/2"	1/2"	

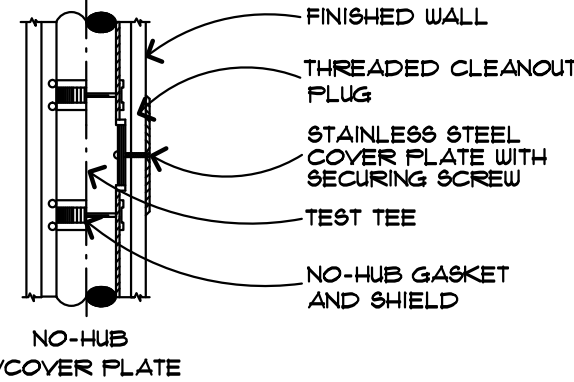
note:  
PROVIDE RPZ BACKFLOW PREVENTER ON WATER LINE AFTER METER PER MFC 2018 SECTION 608.1  
PROVIDE TEST RESULTS OF ALL BACKFLOW DEVICES, SANITARY AND VENTING AT FINAL INSPECTION.  
PROVIDE TRAP PRIMERS AT ALL FLOOR DRAINS.



LOCATE AT BUILDING EXIT, AT ENDS OF RUNS, AT TURNS OF PIPE GREATER THAN 45 DEGREES, AT 50' INTERVALS ON STRAIGHT RUNS, AND WHERE SHOWN ON PLANS. PROVIDE BACKFILL PER ARCHITECTURAL SPECIFICATIONS. LOCATE CLEANOUTS WHERE THERE IS 18\"/>

### floor clean out

NO SCALE



PROVIDE ROUND SECURED NICKEL BRONZE ADJUSTABLE TOP WITH 100' CAST IN COVER. PROVIDE CLEANOUT TOP WITH VARIATIONS SUITABLE FOR FLOOR COVERING (CARPET MARKER, NECESSARY FOR TILE, SCORED FOR UNFINISHED FLOORS). PROVIDE PLASTIC PLUG IN CAST IRON BODY. CLEAN THE TOP OF EXPOSED PCO AFTER INSTALLATION.

### wall clean out

NO SCALE

### plumbing notes

- FURNISH ALL LABOR, EQUIPMENT AND MATERIALS TO PROVIDE A COMPLETE SYSTEM OF PLUMBING, SEWERS, WATER PIPING, ECT. ALL PLUMBING MATERIALS AND WORKMANSHIP SHALL CONFORM TO ALL STATE AND LOCAL CODES.
- ALL PIPING IS SHOWN DIAGRAMMATICALLY ONLY, EXACT LOCATION WILL BE DETERMINED AT THE JOB SITE.
- PITCH ALL DRAIN LINES 1/4" OR LESS MINIMUM 1/4" PER FOOT. PITCH ALL DRAIN LINES 3" TO 6" MINIMUM 1/8" PER FOOT.
- ALL PLUMBING SHALL BE CONCEALED UNLESS OTHERWISE NOTED.
- ALL ELEVATIONS SHALL BE VERIFIED AT JOB SITE.
- ALL WATER PIPING SHALL BE INSTALLED WITH A PITCH TO THE DRAINS. PLUMBING CONTRACTOR SHALL PROVIDE DRAIHOFS AT ALL LOW POINTS. WATER PIPING SHALL BE GALVANIZED IRON OR TYPE "L" ABOVE GRADE AND TYPE "K" BELOW GRADE CORRESPONDING JOINTS.
- PROVIDE ALL REQUIRED SHUT-OFF VALVES, UNIONS AND FITTINGS. PROVIDE ALL VALVES AT ALL FLOOR SERVICE EQUIPMENT.
- HOT AND/OR COLD WATER DROPS TO 2 OF MORE FIXTURES SHALL RUN FULL SIZE TO AIR CHAMBERS BEYOND THE FURTHEST FIXTURE BRANCH FROM DROPS. PROVIDE 12" AIR CHAMBERS AT ALL FIXTURES.
- ALL HOT AND COLD WATER PIPING TO BE INSULATED. WRAP DOMESTIC COLD WATER WITH ANTI-SWEAT TAPE.
- ALL PLUMBING AND SEWER TRENCHING, BACKFILLING AND SPECIAL CUTTING SHALL BE BY THIS CONTRACTOR. INTERIOR TRENCHES SHALL BE BACKFILLED WITH SAND. EXTERIOR TRENCHES WHEN COMPLETED SHALL HAVE THE SAME LOAD BEARING CAPACITY AS ADJACENT GRADES.
- ALL WASTE AND SOIL PIPING SHALL BE GALVANIZED OR CAST IRON WHERE SUPPLEMENTED. CAST IRON WHERE UNDERGROUND PVC ACCEPTABLE WHERE CODE PERMITS. VITRIFIED CLAY PIPE 8"-0" FROM BUILDING.
- ALL PVC PIPING SHALL BE SCHEDULE 40, EXCEPT WHERE NOTED.
- ALL PIPING ABOVE THE CEILING TO BE OF NON-COMBUSTIBLE MATERIAL.
- THIS CONTRACTOR SHALL GUARANTEE THAT ALL THE EQUIPMENT, MATERIALS AND WORKMANSHIP SHALL BE FREE FROM DEFECTS FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE.

VALVES TO BE LOCATED ON THE INCOMING WATER SUPPLY, THE SUPPLY TO EACH FIXTURE, THE SUPPLY TO THE WATER HEATER AND THE DISCHARGE SIDE OF THE WATER HEATER.

THE WATER HEATER SHALL BEAR THE LABEL OF AN APPROVED AGENCY. THE TEMP. AND PRESSURE RELIEF VALVE SHALL BE LABELED AND TESTED IN ACCORDANCE WITH ANSI Z21.21. THE RELIEF VALVE MUST DISCHARGE THROUGH A RIGID PIPE THAT IS THE SAME SIZE AS THE RELIEF VALVE OUTLET AND IS RATED FOR 240 PSIG. THE PIPE MUST NOT DISCHARGE THROUGH AN AIR GAP THAT DOES NOT EXCEED 4 INCHES AND HAVE AN UNTHREADED END.

A BACKFLOW PREVENTER FOR ALL EQUIPMENT WITH A DIRECT CONNECTION TO THE POTABLE WATER SUPPLY SHALL BE PROVIDED.

THE DISINFECTION AND TESTING OF THE POTABLE WATER SYSTEM SHALL BE IN ACCORDANCE WITH SECTION 6001 OF THE MICHIGAN MECHANICAL CODE.

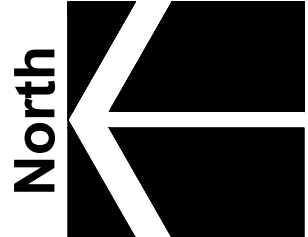
ALL DRAINAGE PIPING SHALL HAVE A MINIMUM PITCH OF 1/4" PER FOOT AND ALL CHANGES IN DIRECTION SHALL BE MADE WITH THE FITTINGS INDICATED IN TABLE 706.3. ALL VENTS MUST TERMINATE 12" ABOVE THE ROOF.

ALL PIPING SHALL BE IN ACCORDANCE WITH THE SUPPORT SPACING IN TABLE 308.8.

VALVES AND FITTINGS SHALL HAVE A MAXIMUM LEAD CONTENT OF 8% LEAD. ALL SOLDER SHALL CONFORM TO ASTM B 31 AND FLEX SHALL CONFORM TO ASTM B 815. SOLDERED JOINTS MUST BE DONE IN ACCORDANCE WITH ASTM B 815. LEAD FREE SHALL MEAN A CHEMICAL COMPOSITION EQUAL TO OR LESS THAN 0.2% LEAD.

A CLEANOUT SHALL BE PROVIDED AT THE BASE OF ALL STACKS. CLOTHES WASHER STANDPIPES MUST EXTEND A MINIMUM OF 18 INCHES AND A MAXIMUM OF 42 INCHES ABOVE THE TRAP.

WHERE QUICK CLOSING VALVES ARE UTILIZED, WATER HAMMER ARRESTORS THAT CONFORM TO ASSE 1000 MUST BE INSTALLED. THE LOCATION OF ARRESTORS MUST BE IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.



underground sanitary plan

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Bid Docs. 03/03/20  
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Properties, L.L.C.

1841 Crooks Road  
Rochester Hills, MI

### Client:

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Properties, L.L.C.

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### Sheet Title:

UNDERGROUND  
SANITARY PLAN

### Project Number:

R19-216

### Drawn By:

JFN

### Checked By:

F.S.

### Issue:

- ☐ preliminary
- ☒ construction
- ☐ record

### Sheet Number:

1/4" = 1'-0"

P-1

HANDLING AND ERECTION SPECIFICATIONS:

1. HANDLING AND ERECTION OF THE TRUSSES ARE NOT THE RESPONSIBILITY OF THE BUILDING DESIGN ENGINEER OR THE ARCHITECT. TRUSSES ARE TO BE HANDLED WITH PARTICULAR CARE DURING FABRICATION, BUNDLING, LOADING, DELIVERY, UNLOADING AND INSTALLATION IN ORDER TO AVOID DAMAGE AND WEAKENING OF THE TRUSSES.
2. MANDATORY TEMPORARY AND PERMANENT BRACING FOR HOLDING THE TRUSSES IN A STRAIGHT AND PLUMB POSITION SHALL BE DESIGNED AND INSTALLED BY THE ERECTING CONTRACTOR IN ACCORDANCE WITH "HIB-91" AS PUBLISHED BY THE TRUSS PLATE INSTITUTE. TEMPORARY BRACING DURING INSTALLATION INCLUDES CROSS BRACING BETWEEN THE TRUSSES TO PREVENT TOPPING OR "DOMINGING" OF THE TRUSSES.
3. PERMANENT BRACING SHALL BE INSTALLED IN ACCORDANCE WITH "HIB-91" AS PUBLISHED BY THE TRUSS PLATE INSTITUTE. PERMANENT BRACING CONSISTS OF LATERAL AND DIAGONAL BRACING NOT TO EXCEED SPACING REQUIREMENTS OF THE TRUSS FABRICATOR AND CONTACT TPI AT (800) 833-9300 FOR FURTHER INFORMATION. TOP CHORDS MUST BE CONTINUOUSLY BRACED BY ROOF SHEATHING UNLESS OTHERWISE NOTED. SHOP DRAWINGS. BOTTOM CHORDS MUST BE BRACED AT INTERVALS NOT TO EXCEED 10'-0".
4. CONSTRUCTION LOADS GREATER THAN THE DESIGN LOADS OF THE TRUSSES SHALL NOT BE APPLIED TO THE TRUSSES AT ANY TIME.
5. NO LOADS SHALL BE APPLIED TO THE TRUSSES UNTIL ALL FASTENING AND REQUIRED BRACING IS INSTALLED.
6. THE SUPERVISION OF THE TRUSS ERECTING SHALL BE UNDER THE DIRECT CONTROL OF PERSON(S) EXPERIENCED IN THE INSTALLATION AND PROPER BRACING OF WOOD TRUSSES. IMPROPER INSTALLATION AND BRACING OF TRUSSES CAN LEAD TO COLLAPSE AND POSSIBLE INJURIES TO WORKERS.
7. FIELD MODIFICATIONS OR CUTTING OF PRE-ENGINEERED ROOF TRUSSES IS STRICTLY PROHIBITED WITHOUT EXPRESSED PRIOR WRITTEN CONSENT AND DETAILS FROM A LICENSED PROFESSIONAL STRUCTURAL ENGINEER EXPERIENCED IN WOOD TRUSS DESIGN AND MODIFICATIONS.

TEMPORARY CONSTRUCTION SHORING:

1. THE BUILDING DESIGN ENGINEER ASSUMES NO RESPONSIBILITY FOR THE DESIGN OR PROPER INSTALLATION OF TEMPORARY BUILDING BRACING OR SHORING REQUIRED TO COMPLETE THE PROJECT. THE CONTRACTOR AND HIS ENGINEER ARE RESPONSIBLE FOR THE DESIGN AND PROPER INSTALLATION OF ALL TEMPORARY SHORING REQUIRED FOR A SAFE AND STRUCTURALLY SOUND PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGES INCURRED DUE TO IMPROPER SHORING AND BRACING DURING THE CONSTRUCTION PROJECT. ACCEPTANCE OF THE CONSTRUCTION PROJECT BY THE CONTRACTOR IS PROOF OF ACCEPTABLE OF THE ABOVE MENTIONED ITEMS.

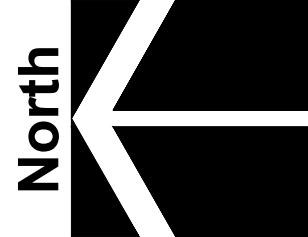
WOOD TRUSS SPECIFICATIONS:

1. DESIGNS SHALL CONFORM WITH THE LATEST VERSION OF (NDS), "THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" BY THE NATIONAL FOREST PRODUCTS ASSOCIATION, AND "DESIGN SPECIFICATIONS FOR LIGHT METAL PLATE CONNECTED WOOD TRUSSES" BY THE TRUSS PLATE INSTITUTE (TPI).
2. TRUSSES SHALL BE SPACED AS INDICATED ON THE PLANS UNLESS THE DESIGNER DETERMINES THAT DIFFERENT SPACING IS REQUIRED TO MEET THE DEFLECTION REQUIREMENTS.
3. MAXIMUM DEFLECTION OF FLOOR TRUSSES SHALL BE LIMITED TO L/240 FOR TOTAL LOAD AND L/360 FOR LIVE LOAD. MAXIMUM DEFLECTION OF ROOF TRUSSES SHALL BE LIMITED TO L/360 FOR TOTAL LOAD AND L/240 FOR LIVE LOAD, UNLESS NOTED OTHERWISE.
4. DESIGN LOADS:  
ROOF: 30 PSF TOP CHORD LIVE LOAD  
10 PSF TOP CHORD DEAD LOAD  
10 PSF BOTTOM CHORD DEAD LOAD  
\*A 15% INCREASE IN ALLOWABLE STRESSES FOR SHORT TERM LOADING IS ALLOWED. DRIFT LOADING SHALL BE ACCOUNTED FOR PER THE 1990 BOCA CODE REQUIREMENTS.  
\*ADD ADDITIONAL ATTIC STORAGE LIVE LOADS PER THE 1990 BOCA CODE REQUIREMENTS.
5. ADEQUATE CAMBER SHALL BE BUILT INTO ALL TRUSSES TO COMPENSATE FOR NORMAL DEAD LOAD DEFLECTION.

MATERIALS AND FABRICATION SPECIFICATIONS:

1. STEEL GUSSET CONNECTOR PLATES  
A. CONNECTORS SHALL BE A MINIMUM OF 20 GAUGE GALVANIZED STEEL. THE PLATES SHALL CONSIST OF PROJECTING TEETH PUNCHED OUT IN ROOF. THE FOLLOWING MINIMUM CONNECTOR PLATE SPECIFICATIONS SHALL BE MET (PER PAIR OF PLATES):  
430 PSI HOLDING CAPACITY IN DOUG FIR OR SOUTHERN PINE  
400 PSI HOLDING CAPACITY IN HEM FIR OR SPRUCE PINE FIR  
48K PLI SHEAR RESISTANCE (PARALLEL TO TEETH)  
800 PLI TENSION VALUE (LOADED PARALLEL TO TEETH)  
(NOTE: HOLDING VALUES ARE FOR PARALLEL TO TEETH LOADINGS)
2. LUMBER  
A. TRUSS CHORD MATERIALS SHALL BE #2 OR BETTER STRESS GRADED WITH A MOISTURE CONTENT (MC) NOT TO EXCEED 19%.
3. QUALITY  
A. TRUSSES SHALL BE FABRICATED IN ACCORDANCE WITH THE LATEST T.P.I. QUALITY CONTROL GUIDELINES.

- SHOP DRAWINGS:
1. THE TRUSS FABRICATOR SHALL SUBMIT TRUSS SHOP DRAWINGS TO THE ARCHITECT/ENGINEER FOR REVIEW PRIOR TO FABRICATION. THE SHOP DRAWINGS SHALL BE SEALED BY A REGISTERED PROFESSIONAL ENGINEER LICENSED IN THE STATE IN WHICH THE TRUSSES WILL BE USED.
  2. THE FOLLOWING INFORMATION SHALL APPEAR ON ALL TRUSS SHOP DRAWINGS:  
A. DESIGN CRITERIA INCLUDING LOAD INFORMATION ACCOUNTING FOR SNOW BUILDUP WHERE APPLICABLE.  
B. CONNECTOR PLATE MANUFACTURER, GAUGE, SIZE AND LOCATION AT EACH TRUSS JOINT.  
C. THE LUMBER GRADE AND SIZE OF ALL MEMBERS.  
D. ALL REQUIRED STRUCTURAL LATERAL BRACING (SIZE, CONNECTION AND LOCATION).
  3. COMPLETE TRUSS LAYOUTS (FRAMING PLANS) SHALL BE PREPARED BY THE TRUSS FABRICATOR. LAYOUTS SHALL INDICATE TRUSS TYPE, SPACING AND CONNECTIONS. REQUIRED TRUSS HANGER CONNECTIONS SHALL BE INDICATED ON THE LAYOUTS. THE TRUSS LAYOUTS SHALL BE SUBMITTED TO THE ARCHITECT/ENGINEER FOR REVIEW PRIOR TO FABRICATION.



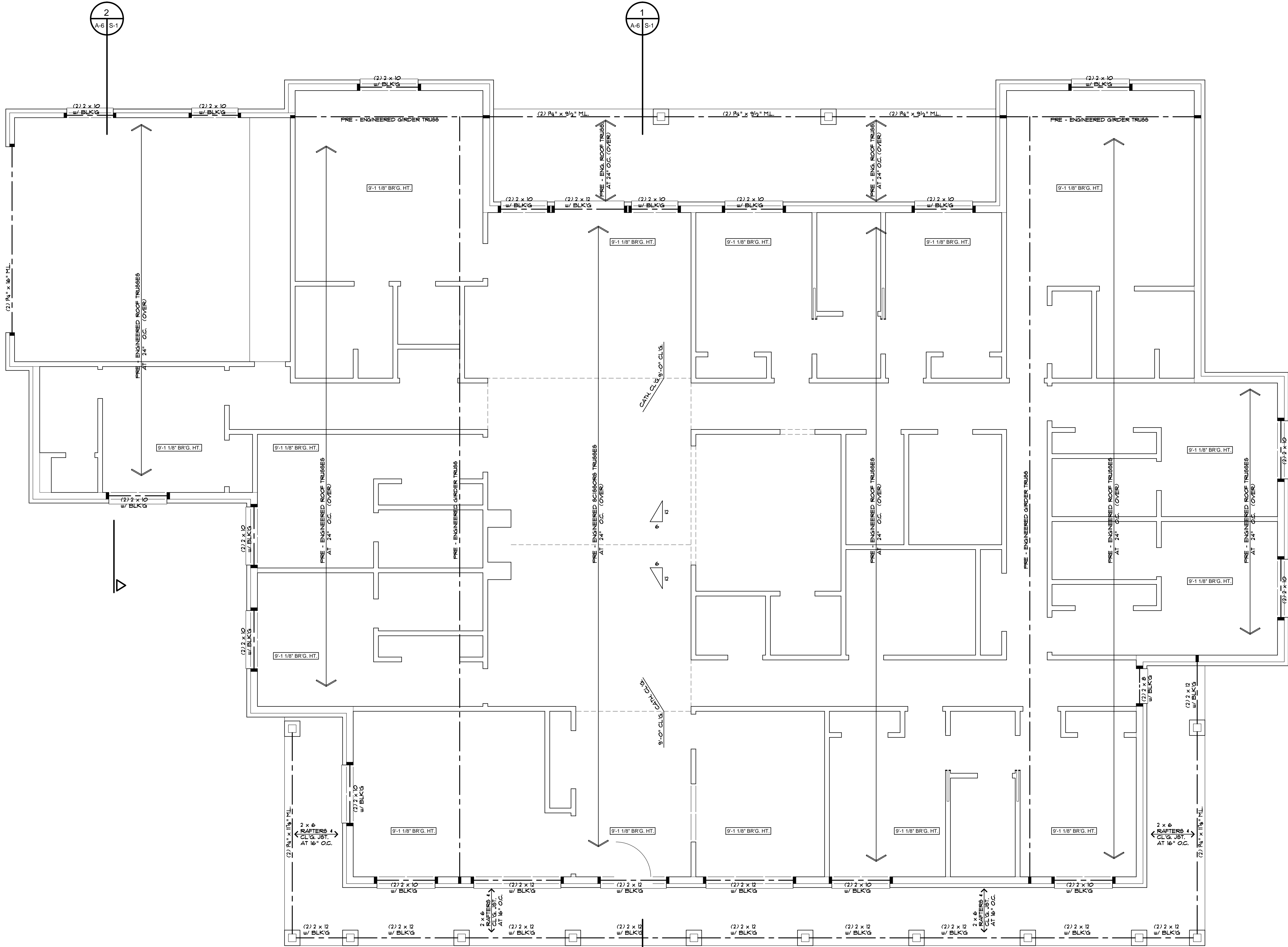
roof framing plan

roof design loads

SNOW	: 30 P.S.F.
GYP. BD.	: 10 P.S.F.
DEAD LOAD	: 7 P.S.F.
TOTAL LOAD	: 47 P.S.F.

structural post note

(2) 2 x 6 & 4 (2) 2 x 4 SOLID BEARING EXTERIOR AND  
(2) 2 x 4 SOLID BEARING INTERIOR UNLESS  
NOTED OTHERWISE (TYPICAL).



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Sheet Title:  
ROOF FRAMING PLAN

Project Number:  
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- ☐ preliminary  
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