



# NEW H.Q. ADMIN. OFFICE & LAB FACILITY

## 2474 DEVONDALE

### ROCHESTER HILLS, MI 48309

**ARCHITECT**  
 STUCKY VITALE ARCHITECTS  
 27172 WOODWARD AVENUE  
 ROYAL OAK, MICHIGAN 48067  
 CONTACT: ANDREW DANAHER  
 248.546.6700

**PROJECT MANAGER / OWNER REP.**  
 JMA MANAGEMENT GROUP  
 16948 MARYWOOD DR  
 MACOMB TWP, MI 48042  
 CONTACT: MICHAEL PIETTE  
 248.766.8337

**CONSTRUCTION MANAGER**  
 FRANK REWOLD AND SON, INC.  
 333 E. SECOND STREET  
 ROCHESTER, MI 48307  
 CONTACT: JASON REWOLD  
 248.651.7242

**MECHANICAL + ELECTRICAL ENGINEER**  
 MA ENGINEERING  
 400 S. OLD WOODWARD, SUITE 100  
 BIRMINGHAM, MI 48009  
 CONTACT: SALIM SESSINE  
 248.258.1610

**STRUCTURAL ENGINEER**  
 PARADIS ASSOCIATES CONS. ENG.  
 418 S. MAIN ST., SUITE A  
 ROCHESTER, MI 48307  
 CONTACT: MICHAEL PARADIS  
 248.650.4905

**PROJECT DATA**

BUILDING CODE AUTHORITY:  
 CITY OF ROCHESTER HILLS, MI

OWNER:  
 ARAYMOND  
 2600 AUBURN ROAD, SUITE 160  
 AUBURN HILLS, MI 48326  
 CONTACT: CHUCK LEE  
 PHONE: 248.310.2919

TYPE OF CONSTRUCTION:  
 IIB (2B); FULLY SPRINKLED

USE GROUP:  
 B - BUSINESS (OFFICE & HIGH BAY (LAB)  
 NO SEPARATION REQUIRED - MBC 2012

PROJECT AREA:  
 OFFICE AREA 13,966 GSF  
 HIGH-BAY & SHOWROOM 5,610 GSF  
 SUPPORT SPACES 2,424 GSF  
 TOTAL PROJECT AREA 22,000 GSF

OCCUPANT LOAD:  
 REFER TO SHEET CS1.1 FOR BREAKDOWN  
 TOTAL (CALCULATED - MBC): 169 OCCUPANTS

EGRESS WIDTH:  
 REFER TO CS1.1 FOR ADDITIONAL CODE INFORMATION

PLUMBING FIXTURE COUNTS:  
 REFER TO PLUMBING FIXTURE TABLE - SHEET CS1.1

ACCESSIBILITY (ADA):  
 ALL ENTRANCES / EXITS TO BE FULLY ACCESSIBLE. MAIN ENTRY DOOR  
 TO HAVE ADA AUTO OPERATOR (\*NOTE: NOT REQUIRED BY MBC)

APPLICABLE CODES: (COMMERCIAL)

BUILDING CODE:  
 2015 MICHIGAN REHABILITATION FOR EXISTING BUILDING  
 2015 MICHIGAN BUILDING CODE (MBC) AS AMENDED

MECHANICAL CODE:  
 2015 MICHIGAN MECHANICAL CODE AS AMENDED

PLUMBING CODE:  
 2015 MICHIGAN PLUMBING CODE AS AMENDED

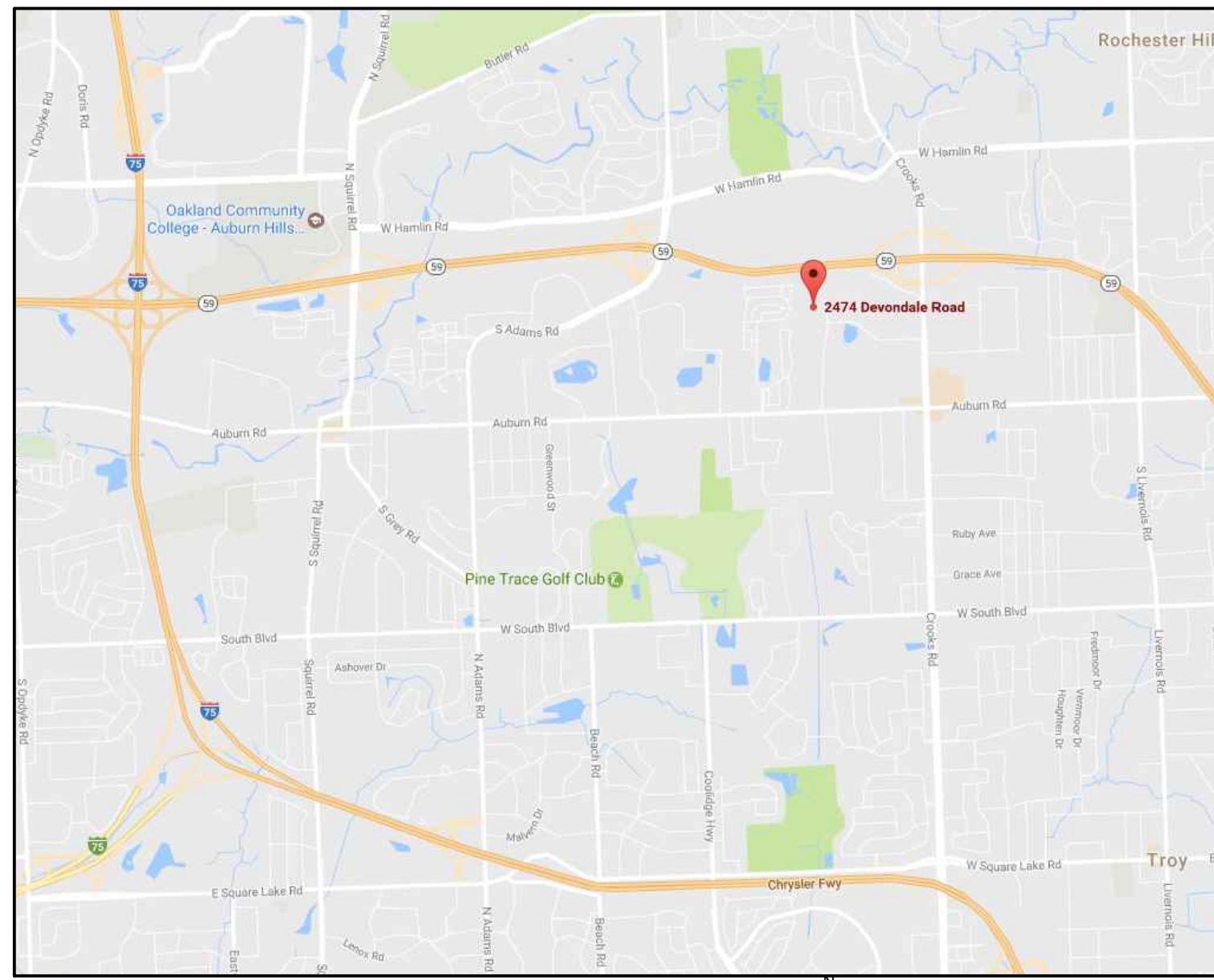
ELECTRICAL CODE:  
 2014 NATIONAL ELECTRIC CODE (NEC) AS AMENDED & MICHIGAN  
 AMMENDMENTS PART 8.

ENERGY CODE:  
 2015 MICHIGAN BUILDING CODE (CHAPTER 13)  
 2009 MICHIGAN UNIFORM ENERGY CODE  
 ASHRAE 90.1-2013 ENERGY STANDARDS FOR BUILDINGS

FIRE CODE:  
 2015 INTERNATIONAL FIRE CODE REFERENCED IN 2015 MICHIGAN  
 BUILDING CODE

BARRIER FREE REQUIREMENTS:  
 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN (DOJ)  
 MBC-2012 (CHAPTER 11)  
 ICC / ANSI 117.1 - 2009, EXCEPT SECTION 611 & 707

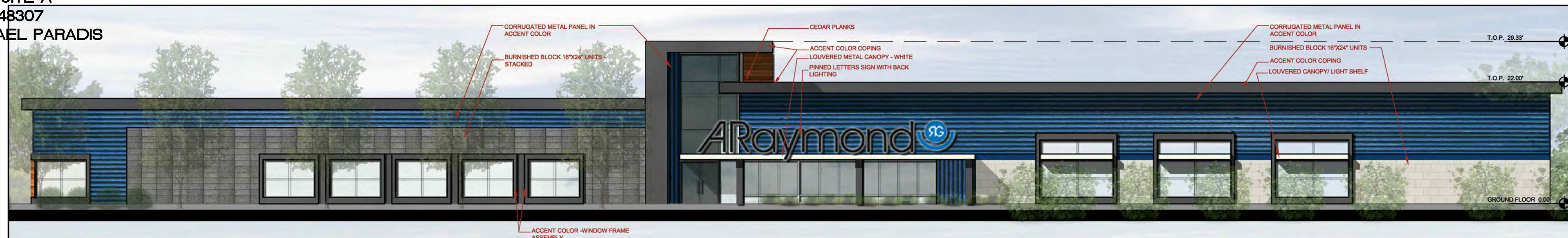
LIFE SAFETY CODES:  
 2015 NFPA 101 LIFE SAFETY CODE  
 2015 NFPA 13 STANDARD FOR INSTALLATION OF SPRINKLER SYSTEMS  
 2015 NFPA 72 NATIONAL FIRE ALARM CODE



VICINITY MAP  
 SCALE: N.T.S.

SYMBOL LEGEND		ABBREVIATION	
	DARKENED ARROW INDICATES ELEVATED SECTION	@	ACOUSTICAL
	ELEVATION NUMBER	A.C.T.	ACOUSTICAL CEILING TILE
	SHEET NUMBER WHERE ELEVATION IS LOCATED	ADJ.	ADJACENT
	ELEVATION NUMBER	A.F.F.	ABOVE FINISH FLOOR
	SHEET NUMBER WHERE ELEVATION IS LOCATED	ALUM.	ALUMINUM
	DETAIL REFERENCE NUMBER	ANOD.	ANODIZED
	SHEET NUMBER WHERE DETAIL IS LOCATED	BD.	BOARD
	DETAIL NAME	BLDG.	BUILDING
	SHEET NUMBER WHERE DETAIL IS REFERENCED	BLK.	BLOCK
	DETAIL NAME	BLCKG.	BLOCKING
	SHEET NUMBER WHERE DETAIL IS REFERENCED	CEM.	CEMENT
	DETAIL NAME	C.J.	CONTROL JOINT
	SHEET NUMBER WHERE DETAIL IS REFERENCED	CLG.	CEILING
	DETAIL NAME	CL.	CENTER LINE
	SHEET NUMBER WHERE DETAIL IS REFERENCED	C.O.	CLEAN OUT
	DETAIL NAME	COL.	COLUMN
	SHEET NUMBER WHERE DETAIL IS REFERENCED	CONC.	CONCRETE
	DETAIL NAME	C.G.	CORNER GUARD
	SHEET NUMBER WHERE DETAIL IS REFERENCED	CONST.	CONSTRUCTION
	DETAIL NAME	CONT.	CONTINUOUS
	SHEET NUMBER WHERE DETAIL IS REFERENCED	CORR.	CORRUGATED
	DETAIL NAME	CPT.	CARPET
	SHEET NUMBER WHERE DETAIL IS REFERENCED	C.T.	CERAMIC TILE
	DETAIL NAME	DET.	DETAIL
	SHEET NUMBER WHERE DETAIL IS REFERENCED	DIA.	DIAMETER
	DETAIL NAME	DM.	DIMENSION
	SHEET NUMBER WHERE DETAIL IS REFERENCED	DN.	DOWN
	DETAIL NAME	D.O.	DOOR OPENING
	SHEET NUMBER WHERE DETAIL IS REFERENCED	DR.	DOOR
	DETAIL NAME	DWG.	DRAWING
	SHEET NUMBER WHERE DETAIL IS REFERENCED	EA.	EACH
	DETAIL NAME	ELEV.	ELEVATION
	SHEET NUMBER WHERE DETAIL IS REFERENCED	E.W.	EACH WAY
	DETAIL NAME	EXG.	EXISTING
	SHEET NUMBER WHERE DETAIL IS REFERENCED	EXIST.	EXISTING
	DETAIL NAME	EXP.	EXPANSION, EXPOSED
	SHEET NUMBER WHERE DETAIL IS REFERENCED	EXT.	EXTERIOR
	DETAIL NAME	F.D.	FLOOR DRAIN
	SHEET NUMBER WHERE DETAIL IS REFERENCED	FDN.	FOUNDATION
	DETAIL NAME	F.R.P.	FIBER REINFORCED PANELS
	SHEET NUMBER WHERE DETAIL IS REFERENCED	FIN.	FINISH
	DETAIL NAME	FLR.	FLOOR
	SHEET NUMBER WHERE DETAIL IS REFERENCED	F.O.	FACE OF
	DETAIL NAME	F.O.S.	FACE OF STUD
	SHEET NUMBER WHERE DETAIL IS REFERENCED	FR.	FRAME
	DETAIL NAME	FTG.	FOOTING
	SHEET NUMBER WHERE DETAIL IS REFERENCED	GA.	GAUGE
	DETAIL NAME	GALV.	GALVANIZED
	SHEET NUMBER WHERE DETAIL IS REFERENCED	GYP.	GYPSONUM
	DETAIL NAME	HDW.	HARDWARE
	SHEET NUMBER WHERE DETAIL IS REFERENCED	H.M.	HOLLOW METAL
	DETAIL NAME	HORIZ.	HORIZONTAL
	SHEET NUMBER WHERE DETAIL IS REFERENCED	HT.	HEIGHT
	DETAIL NAME	I.D.	INSIDE DIAMETER
	SHEET NUMBER WHERE DETAIL IS REFERENCED	INSUL.	INSULATION
	DETAIL NAME	INT.	INTERIOR
	SHEET NUMBER WHERE DETAIL IS REFERENCED	JT.	JOINT
	DETAIL NAME	LAV.	LAVATORY
	SHEET NUMBER WHERE DETAIL IS REFERENCED	LG.	LONG
	DETAIL NAME	L.L.O.	LONG LEG OUTSTANDING
	SHEET NUMBER WHERE DETAIL IS REFERENCED	L.L.V.	LONG LEG VERTICAL
	DETAIL NAME	MAX.	MAXIMUM
	SHEET NUMBER WHERE DETAIL IS REFERENCED	MECH.	MECHANICAL
	DETAIL NAME	MET.	METAL
	SHEET NUMBER WHERE DETAIL IS REFERENCED	MEZZ.	MEZZANINE
	DETAIL NAME	M.I.	MISCELLANEOUS IRON
	SHEET NUMBER WHERE DETAIL IS REFERENCED	MIN.	MINIMUM
	DETAIL NAME	MISC.	MISCELLANEOUS
	SHEET NUMBER WHERE DETAIL IS REFERENCED	M.Q.	MASONRY OPENING
	DETAIL NAME	N.I.C.	NOT IN CONTRACT
	SHEET NUMBER WHERE DETAIL IS REFERENCED	N.T.S.	NOT TO SCALE
	DETAIL NAME	O.C.	ON CENTER
	SHEET NUMBER WHERE DETAIL IS REFERENCED	O.D.	OUTSIDE DIAMETER
	DETAIL NAME	OPNG.	OPENING
	SHEET NUMBER WHERE DETAIL IS REFERENCED	OPP.	OPPOSITE
	DETAIL NAME	PL.G.	PLATE GLASS
	SHEET NUMBER WHERE DETAIL IS REFERENCED	P.L.S.	PLASTIC LAMINATE
	DETAIL NAME	P.LAM	PLASTER
	SHEET NUMBER WHERE DETAIL IS REFERENCED	PREFAB	PREFABRICATED
	DETAIL NAME	PROJ.	PROJECT, PROJECTION
	SHEET NUMBER WHERE DETAIL IS REFERENCED	P.S.F.	POUNDS PER SQUARE FOOT
	DETAIL NAME	P.T.	PAINT, POINT
	SHEET NUMBER WHERE DETAIL IS REFERENCED	R.	RISER
	DETAIL NAME	R.A.	RETURN AIR
	SHEET NUMBER WHERE DETAIL IS REFERENCED	R.B.	RUBBER BASE
	DETAIL NAME	R.C.	ROOF CONDUCTOR
	SHEET NUMBER WHERE DETAIL IS REFERENCED	R.C.P.	REFLECTED CEILING PLAN
	DETAIL NAME	R.D.	ROOF DRAIN
	SHEET NUMBER WHERE DETAIL IS REFERENCED	R.F.	RUBBER FLOORING
	DETAIL NAME	REINF.	REINFORCED, REINFORCING
	SHEET NUMBER WHERE DETAIL IS REFERENCED	REQ'D.	REQUIRED
	DETAIL NAME	RFG.	ROOFING
	SHEET NUMBER WHERE DETAIL IS REFERENCED	RM.	ROOM
	DETAIL NAME	R.S.	ROOF SUMP
	SHEET NUMBER WHERE DETAIL IS REFERENCED	R.T.	RUBBER TILE
	DETAIL NAME	SAN.	SANITARY
	SHEET NUMBER WHERE DETAIL IS REFERENCED	SCHED.	SCHEDULE
	DETAIL NAME	SHT.	SHEET
	SHEET NUMBER WHERE DETAIL IS REFERENCED	SIM.	SIMILAR
	DETAIL NAME	SPEC.	SPECIFICATION
	SHEET NUMBER WHERE DETAIL IS REFERENCED	S.S.	SERVICE SINK
	DETAIL NAME	STL.	STEEL
	SHEET NUMBER WHERE DETAIL IS REFERENCED	STD.	STANDARD
	DETAIL NAME	STR.	STRUCTURE
	SHEET NUMBER WHERE DETAIL IS REFERENCED	STRUCT.	STRUCTURAL
	DETAIL NAME	SUSP.	SUSPENDED
	SHEET NUMBER WHERE DETAIL IS REFERENCED	SW.	SWITCH
	DETAIL NAME	SYM.	SYMMETRICAL
	SHEET NUMBER WHERE DETAIL IS REFERENCED	T.	TREAD
	DETAIL NAME	T&B	TOP AND BOTTOM
	SHEET NUMBER WHERE DETAIL IS REFERENCED	TERR.	TELEPHONE TERRAZZO
	DETAIL NAME	T&G	TONGUE AND GROOVE
	SHEET NUMBER WHERE DETAIL IS REFERENCED	THK.	THICK, THICKNESS
	DETAIL NAME	THR.	THRESHOLD
	SHEET NUMBER WHERE DETAIL IS REFERENCED	T.O.S.	TOP OF STEEL
	DETAIL NAME	TYP.	TYPICAL
	SHEET NUMBER WHERE DETAIL IS REFERENCED	U/C	UNDERCUT
	DETAIL NAME	U.N.O.	UNLESS NOTED OTHERWISE
	SHEET NUMBER WHERE DETAIL IS REFERENCED	V.B.	VINYL BASE
	DETAIL NAME	V.C.T.	VINYL COMPOSITION TILE
	SHEET NUMBER WHERE DETAIL IS REFERENCED	V.I.F.	VERIFY IN FIELD
	DETAIL NAME	W.	WIDE
	SHEET NUMBER WHERE DETAIL IS REFERENCED	VERT.	VERTICAL
	DETAIL NAME	WAINSCOT	WAINSCOT
	SHEET NUMBER WHERE DETAIL IS REFERENCED	W.C.	WATER CLOSET
	DETAIL NAME	WOOD WINDOW	WOOD WINDOW
	SHEET NUMBER WHERE DETAIL IS REFERENCED	WT.	WEIGHT
	DETAIL NAME	W.W.F.	WELDED WIRE FABRIC

MATERIAL LEGEND	
	ACOUSTICAL CEILING
	BATT/LOOSE INSULATION
	BLOCKING/ROUGH LUMBER
	CONCRETE
	FINISHED WOOD
	GLASS
	GYPSONUM WALLBOARD
	MASONRY
	PARTICLE BOARD
	PLYWOOD



CONCEPTUAL RENDERING  
 SCALE: N.T.S.

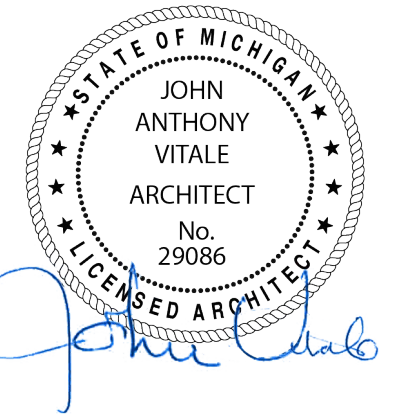
MINIMUM CLEARANCES FOR MANUAL DOORS	
DOORS (ADA + ANSI A117.1)	
<p><b>FRONT APPROACH - SWING DOORS</b></p> <p>X = 1'-6" WITH 5'-0" CLEARANCE          X = 2'-0" WITH 4'-0" CLEARANCE OR LESS</p>	<p><b>SLIDING, POCKET OR ACCORDIAN</b></p> <p>3'-0" MIN. CLEAR</p>
<p><b>SIDE APPROACH - SWING DOORS</b></p> <p>X = 3'-0" IF Y = 5'-0"          X = 3'-6" IF Y &lt; 5'-0"</p>	<p><b>SLIDING, POCKET OR ACCORDIAN</b></p> <p>1'-10" MIN. CLEAR</p>

TYPICAL MOUNTING HEIGHT SCHEDULE	
WALL MOUNTED ACCESSORIES (ADA + ANSI A117.1)	
<p>48" AFF MAX TO OPERABLE PARTS</p> <p>48" AFF MAX</p> <p>4" MIN. CLEAR</p> <p>48" MAX. CLEAR</p> <p>44" (TYP) CLEAR</p> <p>43" (TYP) CLEAR</p> <p>48" MAX. CLEAR</p> <p>48" MAX. CLEAR</p> <p>48" MAX. CLEAR</p> <p>60" MAX. CLEAR</p> <p>60" MAX. CLEAR</p>	<p>48" AFF MAX TO OPERABLE PARTS</p> <p>48" AFF MAX</p> <p>4" MIN. CLEAR</p> <p>48" MAX. CLEAR</p> <p>44" (TYP) CLEAR</p> <p>43" (TYP) CLEAR</p> <p>48" MAX. CLEAR</p> <p>48" MAX. CLEAR</p> <p>48" MAX. CLEAR</p> <p>60" MAX. CLEAR</p> <p>60" MAX. CLEAR</p>
<p>KEY SWITCH or PUSH BUTTON FORWARD APPROACH</p> <p>LIGHT SWITCH or DIMMER CONTROLS</p> <p>DOOR HARDWARE</p> <p>HVAC CONTROLS (THERMOSTAT)</p> <p>CARD READER</p> <p>FIRE ALARM PULL BOX</p> <p>HAND DRYER</p> <p>ROOM NAME SIGN OR PLAQUE</p> <p>FIRE EXIT SIGN @ ELEVATORS</p>	<p>KEY SWITCH or PUSH BUTTON FORWARD APPROACH</p> <p>LIGHT SWITCH or DIMMER CONTROLS</p> <p>DOOR HARDWARE</p> <p>HVAC CONTROLS (THERMOSTAT)</p> <p>CARD READER</p> <p>FIRE ALARM PULL BOX</p> <p>HAND DRYER</p> <p>ROOM NAME SIGN OR PLAQUE</p> <p>FIRE EXIT SIGN @ ELEVATORS</p>



**Project :**  
 A. RAYMOND  
 2474 DEVONDALE RD.  
 ROCHESTER HILLS, MI  
 48309

**Issued for :**  
 CONCEPT PLAN REVIEW 02.03.17  
 SITE PLAN SUBMITTAL 02.28.17  
 SITE PLAN SUBMITTAL #2 03.15.17



**Drawn by :**  
 AD, JRB  
**Checked by :**  
 JAV, MJB

**Sheet Title :**  
 TITLE SHEET,  
 SHEET INDEX, +  
 LOCATOR PLAN

**Project No. :**  
 2016.143

**Sheet No. :**  
 TS1.1

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E

D

C

B

A

6

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1

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SHEET INDEX		ISSUED FOR			
DRAWING INDEX KEY:		02.03.17	02.26.17	03.15.17	
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<input type="checkbox"/> PREVIOUSLY ISSUED					
<input checked="" type="checkbox"/> ISSUED					
<input type="checkbox"/> REFERENCE					
<b>GENERAL</b>					
TS1.1	TITLE SHEET AND LOCATOR PLAN	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
TS1.1	SHEET INDEX	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
CS1.1	CODE SUMMARY	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
<b>CIVIL</b>					
	COVER SHEET	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
C-1.0	TOPOGRAPHIC SURVEY	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
C-2.1	PRELIMINARY DIMENSION AND PAVING PLAN	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
C-2.2	PRELIMINARY FIRE PROTECTION	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
C-3.0	PRELIMINARY UTILITY AND GRADING PLAN	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	PHOTOMETRIC PLAN	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
<b>LANDSCAPE</b>					
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L1.1	PRELIMINARY LANDSCAPE DETAILS	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
<b>ARCHITECTURAL</b>					
SP1.1	SITE PLAN	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
A0.1	WALL LEGEND PLAN	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
A1.1	OVERALL ARCHITECTURAL FLOOR PLAN	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
A1.2	PARTIAL ARCHITECTURAL FLOOR PLAN	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
A1.3	PARTIAL ARCHITECTURAL FLOOR PLAN	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
A1.4	PARTIAL ARCHITECTURAL FLOOR PLAN	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
A2.1	REFLECTED CEILING PLAN	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
A3.1	EXTERIOR ELEVATIONS	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
A3.2	EXTERIOR ELEVATIONS	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
A3.3	EXTERIOR ELEVATIONS	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
A4.1	BUILDING SECTIONS	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
A4.2	WALL SECTIONS	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
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A6.1	INTERIOR ELEVATIONS	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
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A7.1	MILLWORK SECTIONS	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
A9.1	DOOR SCHEDULE	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
<b>STRUCTRAL ENGINEERING</b>					
<b>MECHANICAL ENGINEERING</b>					
<b>ELECTRICAL ENGINEERING</b>					

NOTE:  
 THESE CONSTRUCTION DRAWINGS WERE PREPARED FOR COMPLIANCE WITH THE MICHIGAN CONSTRUCTION CODES IN EFFECT AT THE TIME OF PERMIT SUBMITTAL. ALL ENGINEERS, CONTRACTORS AND SUPPLIERS INVOLVED WITH THIS PROJECT SHALL COMPLY WITH THE SAME CODES. ISSUED AND APPROVED CODE MODIFICATIONS AND/OR CITY CODE AUTHORITY CONSTRUCTION BOARDS OF APPEALS RULINGS AND WHENEVER REQUIRED SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS CLEARLY DESCRIBING COMPLIANCE TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR REVIEW AND APPROVAL.

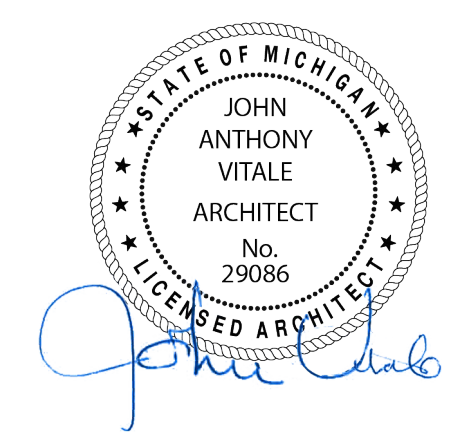


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**Project :**  
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 48309

**Issued for :**  
 SITE PLAN SUBMITTAL #2  
 03.15.17



**Drawn by :**  
 AD, JRB  
**Checked by :**  
 JAV, MJB

**Sheet Title :**  
 TITLE SHEET,  
 SHEET INDEX, +  
 LOCATOR PLAN

**Project No. :**  
 2016.143

**Sheet No. :**  
 TS1.2

DO NOT SCALE DRAWINGS  
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DATE: 03/15/17 10:58 AM  
 FILE: 2016.143 - 20170315171058.dwg  
 USER: JAV

PLUMBING FIXTURE COUNT

MICHIGAN PLUMBING CODE 2015	WATER CLOSETS			URINALS			LAVATORIES			BATHTUBS / SHOWERS		JANITOR'S CLOSETS	DRINKING FOUNTAIN	SECTION REFERENCES
	MALE	FEMALE	UNISEX	MALE	MALE	FEMALE	UNISEX	MALE	FEMALE					
USE GROUP AREA B = POPULATION 169														
WC (URINALS): 1:25 FOR FIRST 50 1:50 FOR REMAINDER EXCEEDING 50	2 1	2 1									1	1:100 = 2	MPC (TABLE 403.1)	
LAV: 1:40 FOR FIRST 80 1:80 FOR REMAINDER EXCEEDING 80				1	2	2							NOTE: URINALS MAY BE SUBSTITUTED FOR UP TO 50% OF THE WATER CLOSETS IN MEN'S ROOM.	
NUMBER PROVIDED	2	3		1	4	4		1	1					

MEANS OF EGRESS OCCUPANT LOAD (TABLE 1004.1.1)

OCCUPANCY	SQUARE FEET OF FLOOR AREA PER OCCUPANT	BUILDING FLOOR AREA FOR USE	OCCUPANT LOAD	SECTION REFERENCES
OFFICE AREA	1:100 (BUSINESS, OFFICE & INDUSTRIAL)	13,966 GSF	140 OCCUPANTS	MBC 1004; TABLE 1004.1.2 NFPA 101 (26-2.7)
ACCESSORY STORAGE AREA (SHOWROOM / HIGHBAY)	1:300	5,610 GSF	19 OCCUPANTS	MBC 1004; TABLE 1004.1.2 NFPA 101 (26-2.7)
MECHANICAL EQUIPMENT ROOM	1:300	2,349 GSF	8 OCCUPANTS	MBC 1004; TABLE 1004.1.2 NFPA 101 (26-2.7)
LOCKER ROOMS	1:50	75 GSF	2 OCCUPANTS	MBC 1004; TABLE 1004.1.2 NFPA 101 (26-2.7)

BUILDING CODE SUMMARY

GENERAL BUILDING CODE INFORMATION	MICHIGAN BUILDING CODE 2015 EDITION	REFERENCED SECTION	REMARKS
BUILDING USE GROUP	BUSINESS - OFFICE (NO SEPARATION REQUIRED)	MBC - CHAPTER 3	
BUILDING CONSTRUCTION TYPE FIRE SUPPRESSION PROVIDED	TYPE IIB (2B) YES; AUTOMATIC SYSTEM, NFPA 13	MBC - CHAPTER 3 NFPA 101 (7-7) AND NFPA 13	
ALLOWABLE HEIGHT (WITH SPRINKLER MODIFICATION) ALLOWABLE AREA (WITH SPRINKLER MODIFICATION)	2 STORIES - 55' H (3 STORIES - 75' H) 23,000 SF (46,000 SF)	MBC - CHAPTER 3 (SECTION 503) MBC - CHAPTER 3 (SECTION 506)	
FIRE SUPPRESSION PROVIDED	YES; AUTOMATIC SYSTEM, NFPA 13	NFPA 101 (7-7) AND NFPA 13	
ACTUAL FLOOR AREA (PER STORY)	FIRST FLOOR = 22,000 GSF		EGRESS WIDTH REQUIRED: STAIRS = .3" PER OCCUPANT EXITS = .2" PER OCCUPANT
TOTAL OCCUPANT LOAD (PER STORY)	FIRST FLOOR = 169 OCCUPANTS	MBC - TABLE 1004.1.1	
MAXIMUM LENGTH OF EXIT TRAVEL (FULLY SPRINKLED)	300' MAXIMUM	MBC - TABLE 1016.2 NFPA 101 - TABLE A-5-6.1	
MAXIMUM COMMON PATH OF TRAVEL (FULLY SPRINKLED)	100' MAXIMUM	MBC - TABLE 1014.3 NFPA 101 - TABLE A-5-6.1	
MAXIMUM DEAD-END CORRIDOR (FULLY SPRINKLED)	50' MAXIMUM	MBC - TABLE 1017.3 NFPA 101 - TABLE A-5-6.1	
MAXIMUM DEAD-END CORRIDOR (FULLY SPRINKLED)	50' MAXIMUM		
CAPACITY OF EGRESS COMPONENTS			
EXIT ACCESS CORRIDORS STAIRWAYS RAMPS DOORS	0.15" (WITH SPRINKLER SYSTEM); 44" MIN 0.2" (WITH SPRINKLER SYSTEM); 44" MIN 0.15" (WITH SPRINKLER SYSTEM); 36" MIN BETWEEN HANDRAILS 0.15" (WITH SPRINKLER SYSTEM); 32" MIN CLEAR		0.15" (169) = 25.35" 0.2" (169) = 33.8" 0.15" (169) = 25.35" 0.15" (169) = 25.35"
FIRE RESISTANCE RATINGS OF EGRESS COMPONENTS			
CORRIDORS (B USE - FULLY SPRINKLED) EXIT PASSAGEWAYS (FULLY SPRINKLED) STAIRS, ELEVATOR AND UTILITY SHAFTS (FULLY SPRINKLED)	0 HOUR 1 HOUR FIRE BARRIER 1 HOUR FIRE BARRIER (<3 STORIES; 2 HOUR > 3 OR MORE)	MBC - TABLE 1018.2 MBC - SECTION 1023.3 MBC - SECTION 1009.3.1.2	NEW FOOTNOTES ABOVE FOR CORRIDORS.
FIRE RESISTANCE RATINGS OF STRUCTURAL COMPONENTS			
STRUCTURAL FRAME BEARING EXTERIOR WALLS BEARING INTERIOR WALLS NON-BEARING EXTERIOR WALLS (X<30') NON-BEARING INTERIOR WALLS FLOOR CONSTRUCTION AND SECONDARY MEMBERS ROOF CONSTRUCTION AND SECONDARY MEMBERS	0 HOUR (IIB) 0 HOUR (IIB) 0 HOUR (IIB) 0 HOUR (IIB) [1 HOUR REQUIRED WHERE SEPARATION <30'] 0 HOUR (IIB) 1 HOUR (IIB) 1 HOUR (IIB)	MBC - TABLE 601 MBC - TABLE 601 MBC - TABLE 601 MBC - TABLE 601 & TABLE 602 MBC - TABLE 601 MBC - TABLE 601 MBC - TABLE 601	STEEL FRAME: COLUMNS = 0 HOUR BEAMS = 0 HOUR

AREA MODIFICATIONS (SECTION 506)

SECTION REFERENCES	FORMULA	VARIABLES	FORMULA EXECUTED	SECTION REFERENCES
AREA MODIFICATION	TWO-STORY OR LESS: TABULATED AREA = ALLOWABLE AREA +110% INCREASE FOR OPEN AREA +200% INCREASE FOR SPRINKLERS  MORE THAN TWO-STORIES: TABULATED AREA = ALLOWABLE AREA +110% INCREASE FOR OPEN AREA +100% INCREASE FOR SPRINKLERS	SIZE OF BUILDING DOES NOT REQUIRE INCREASE	TWO-STORY OR LESS: TABULATED AREA = ALLOWABLE AREA [110% (23,000) + [200% (23,000)]] = 2,300 + 46,000 = 48,300 SF	MBC SECTION 506
FRONTAGE INCREASE		SIZE OF BUILDING DOES NOT REQUIRE INCREASE		MBC SECTION 506
SPRINKLER INCREASE	TABULATED AREA = ALLOWABLE AREA +300% INCREASE FOR ONE STORY +200% INCREASE FOR TWO STORY +100% INCREASE FOR > TWO STORIES		TABULATED AREA = ALLOWABLE AREA +300% (23,000 SF) = 69,000 SF +200% (23,000 SF) = 46,000 SF	
UNLIMITED AREA BUILDING		SIZE OF BUILDING DOES NOT REQUIRE INCREASE		MBC SECTION 507

**LEGEND**

ALL NEW WORK TO CONFORM TO:

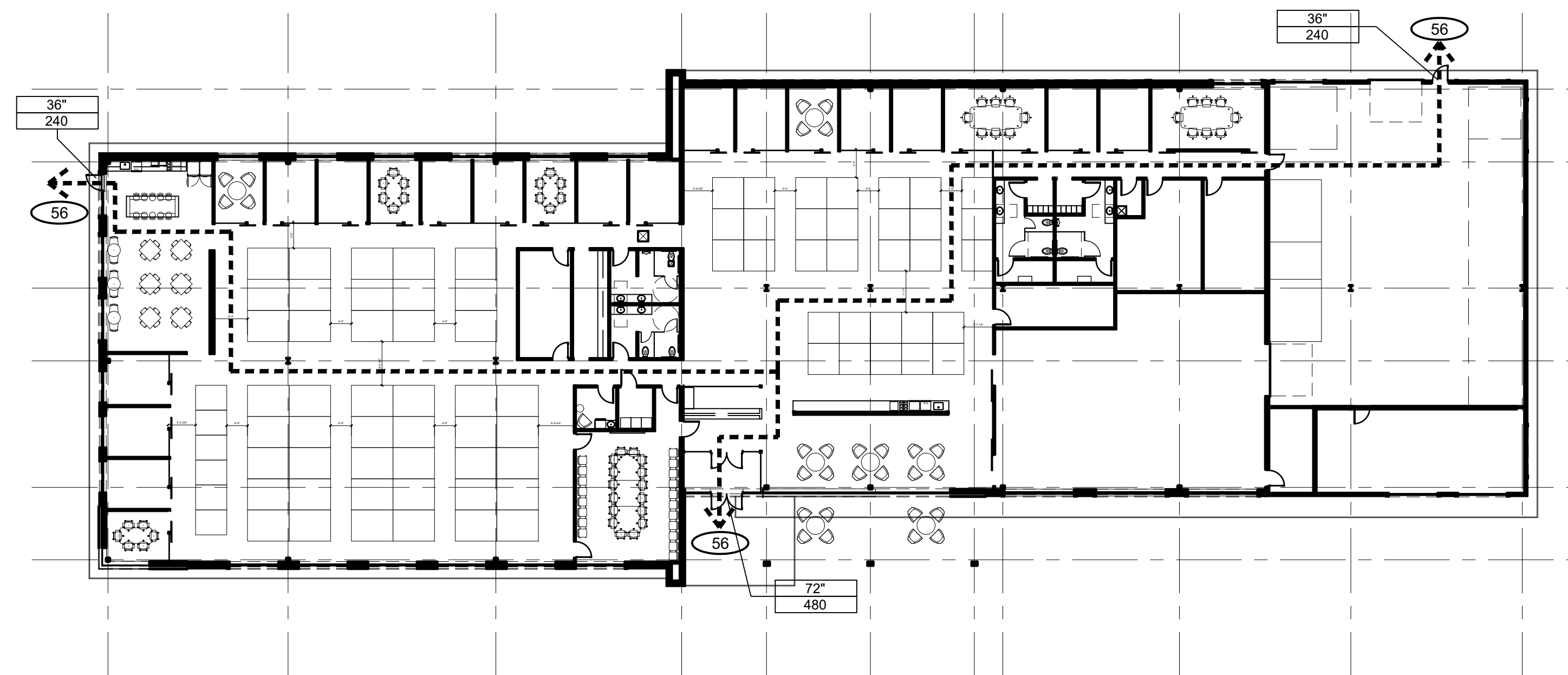
- 2 HOUR FIRE RATED WALL  
90 MINUTE OPENINGS
- 1 HOUR FIRE RATED WALL  
60 MINUTE OPENINGS  
45 MINUTE DOORS
- 1/2 HOUR FIRE RATED WALL  
20 MINUTE OPENINGS

EXIT WIDTH PROVIDED  
ALLOWABLE OCCUPANTS

OCCUPANCY  
FLOOR AREA PER OCCUPANT  
FLOOR AREA  
OCCUPANT LOAD

TOTAL EXIT LOAD

EGRESS PATH - DISTANCE TO EXIT



NOTE: ALL ENTRANCES / EXITS INDICATED ARE TO BE FULLY ACCESSIBLE PER ADA 2010 REQUIREMENTS. MAIN ENTRY DOOR TO BE AUTOMATIC OPERATED

**LIFE SAFETY PLAN**  
SCALE: N.T.S.

**SVA**  
STUCKY VITALE ARCHITECTS  
27172 WOODWARD AVENUE  
ROYAL OAK, MI 48067-0925  
P. 248.546.6700  
F. 248.546.8454  
WWW.STUCKYVITALE.COM

**Project :**  
A. RAYMOND

2474 DEVONDALE RD.  
ROCHESTER HILLS, MI  
48309

**Issued for :**  
OWNER REVIEW 02.03.17  
SITE PLAN REVIEW 02.20.17  
SITE PLAN SUBMITTAL #2 03.15.17



**Drawn by :**  
AD  
**Checked by :**  
JAV, MJB  
**Sheet Title :**  
CODE SUMMARY

**Project No. :**  
2016.143  
**Sheet No. :**  
CS1.1

DO NOT SCALE DRAWINGS ©2017 Stucky Vitale Architects

PRELIMINARY SITE PLANS FOR

# ARAYMOND ENGINEERING HEADQUARTERS FACILITY

## 2474 DEVONDALE ROAD

CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

**OWNER**

A. RAYMOND TINNEMAN INDUSTRIAL, INC.  
 CONTACT: CHUCK LEE, PRESIDENT AND CEO  
 PHONE: (248) 310-2919  
 EMAIL: CHUCK.LEE@ARAYMOND.COM

**APPLICANT/CLIENT REP:**

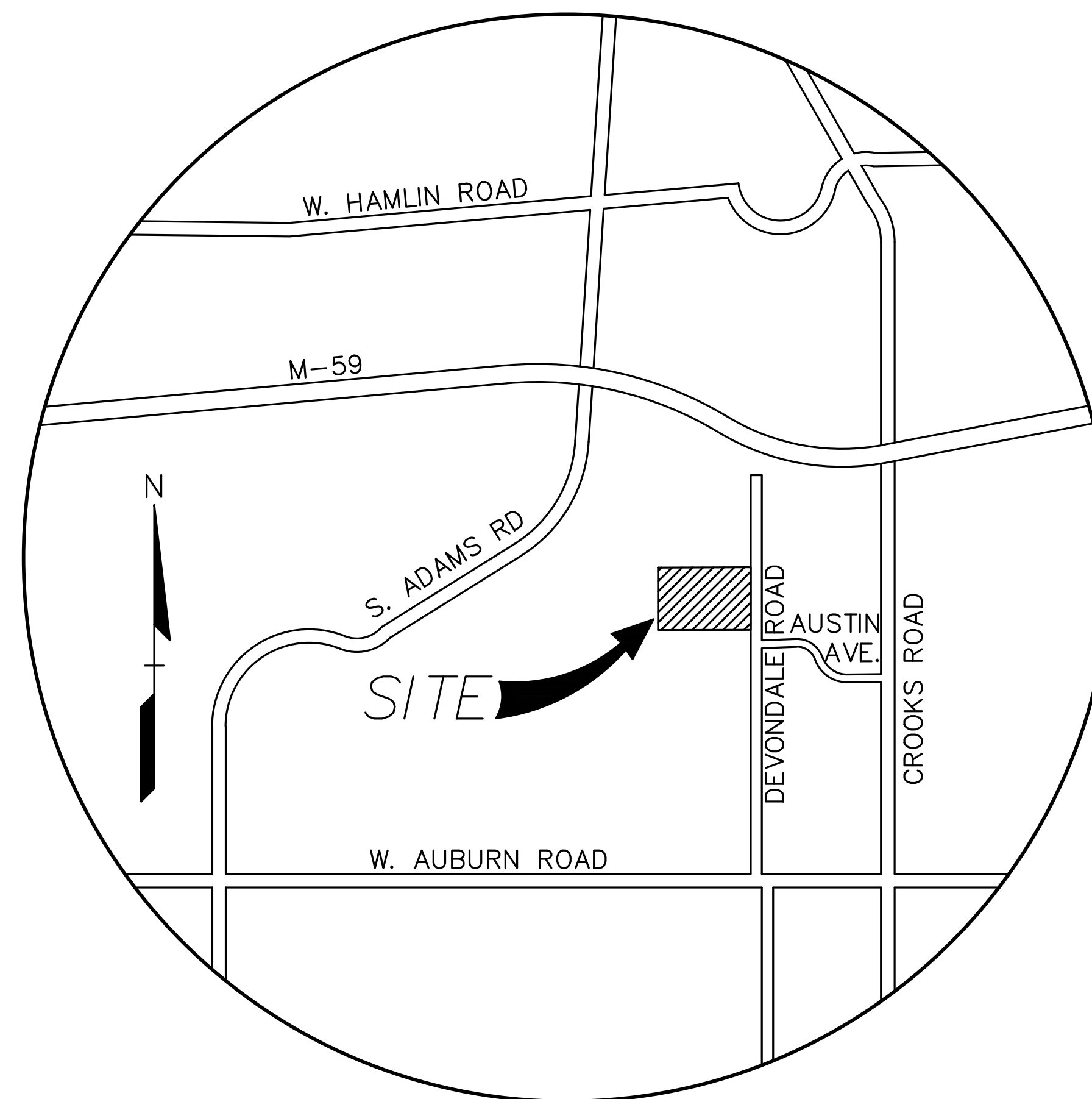
JMA MANAGEMENT GROUP  
 16948 MARYWOOD DR  
 MACOMB TOWNSHIP, MI 48042  
 CONTACT: MICHAEL D. PIETTE  
 CELL: (248)-766-8337  
 EMAIL: MIKE@JMAMGTGROUP.COM

**ARCHITECT:**

STUCKY VITALE ARCHITECTS  
 27172 WOODWARD AVENUE  
 ROYAL OAK, MI 48067-0925  
 CONTACT: ANDREW J. DANAHER, AIA, NCARB, LEED AP  
 PHONE: (248) 546-6700 EXT 115  
 CELL: (248) 227-5860  
 EMAIL: ADANAHER@STUCKYVITALE.COM

**CIVIL ENGINEER:**

PEA, INC.  
 2430 ROCHESTER CT, SUITE 100  
 TROY, MI 48083  
 CONTACT: EMIL S. BUNEK III, P.E.  
 PHONE: (248) 528-7361  
 FAX: (248) 689-1044  
 EMAIL: EBUNEK@PEAINC.COM



**LOCATION MAP**  
NO SCALE

**INDEX OF DRAWINGS:**

- C-1.0 COVER SHEET
- C-2.1 TOPOGRAPHIC SURVEY
- C-2.1 PRELIMINARY DIMENSION AND PAVING PLAN
- C-2.2 PRELIMINARY FIRE PROTECTION PLAN
- C-3.0 PRELIMINARY UTILITY AND GRADING PLAN
- L-1.0 PRELIMINARY LANDSCAPE PLAN
- L-1.1 PRELIMINARY LANDSCAPE DETAILS

NO.	BY	DATE	DESCRIPTION
1	ESB	2/20/17	ESB DNH SITE PLAN SUBMITTAL #2
2	ESB	3/15/17	ESB DNH SITE PLAN SUBMITTAL #2

**REVISIONS**

**CAUTION!!**  
 THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS MADE AS TO THE ACCURACY OF THESE LOCATIONS OR ELEVATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

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 F: 248 689 1044  
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**JMA MANAGEMENT GROUP, INC.**  
 16948 MARYWOOD DRIVE  
 MACOMB TOWNSHIP, MICHIGAN 48042

**COVER SHEET**

**ARAYMOND ENGINEERING HEADQUARTERS FACILITY**  
 PART OF THE SOUTHEAST 1/4 OF SECTION 29, T3N, R11E  
 CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

DES: ESB    DN: JKS    SUR: XXX    P.M.    XXX  
 ESB    DN: JKS    SUR: XXX    P.M.    XXX

S:\PROJECTS\2016\2016-330\_A\_RAYMOND - 2474\_DEVONDALE\_DRIVE\_R\_HILLS\DWG\Site Plans\C-000000-16330.dwg

ORIGINAL ISSUE DATE:  
FEBRUARY 03, 2017

PEA JOB NO. 2016-330

SCALE: 1" = NONE

DRAWING NUMBER:

**COVER**



**BENCHMARKS**  
(GPS DERIVED - NAVD88)

**BM #301**  
ARROW ON A HYDRANT LOCATED APPROX. 28'± EAST OF THE CENTERLINE OF DEVONDALE ROAD AND APPROX 180'± SOUTH OF NORTH ENTRANCE DRIVE OF 2350 AUSTIN AVENUE.  
ELEV. - 827.01

**BM #302**  
NUT ON FLANGE OF A HYDRANT LOCATED APPROX. 32'± NORTH OF THE NORTH PARKING LOT OF 2350 AUSTIN AVENUE AND APPROX. 170'± EAST OF THE CENTERLINE OF DEVONDALE ROAD.  
ELEV. - 821.91

**BM #303**  
(NOT SHOWN ON SURVEY)  
TAG ON EAST SIDE OF A UTILITY POLE LOCATED APPROX. 30'± WEST OF THE CENTERLINE OF DEVONDALE ROAD AND APPROX. 30'± SOUTH OF THE CENTERLINE OF AUSTIN AVENUE.  
ELEV. - 820.38

**FLOODPLAIN NOTE:**  
BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE "X", AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 26125C0393F, DATED SEPTEMBER 29, 2006.

**LEGAL DESCRIPTION**  
(Per First American Title Insurance Company, Commitment #653430, Effective February 10, 2014)

The land referred to in this Commitment, situated in the County of Oakland, City of Rochester Hills, State of Michigan, is described as follows:

Parcel 1:  
Lot 7 of SUPERVISOR'S PLAT NO. 9, according to the plat thereof recorded in Liber 59 of Plats, page 13 of Oakland County Records.

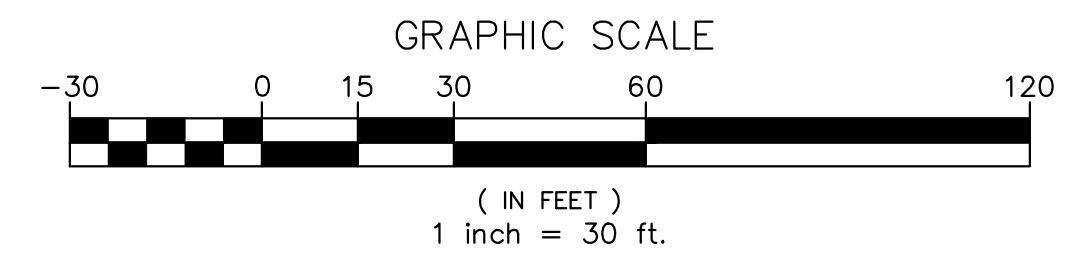
Parcel 2:  
The South 130 feet of Lot 6 of SUPERVISOR'S PLAT NO. 9, according to the plat thereof recorded in Liber 59 of Plats, page 13 of Oakland County Records.

Tax Item No. 15-29-451-001

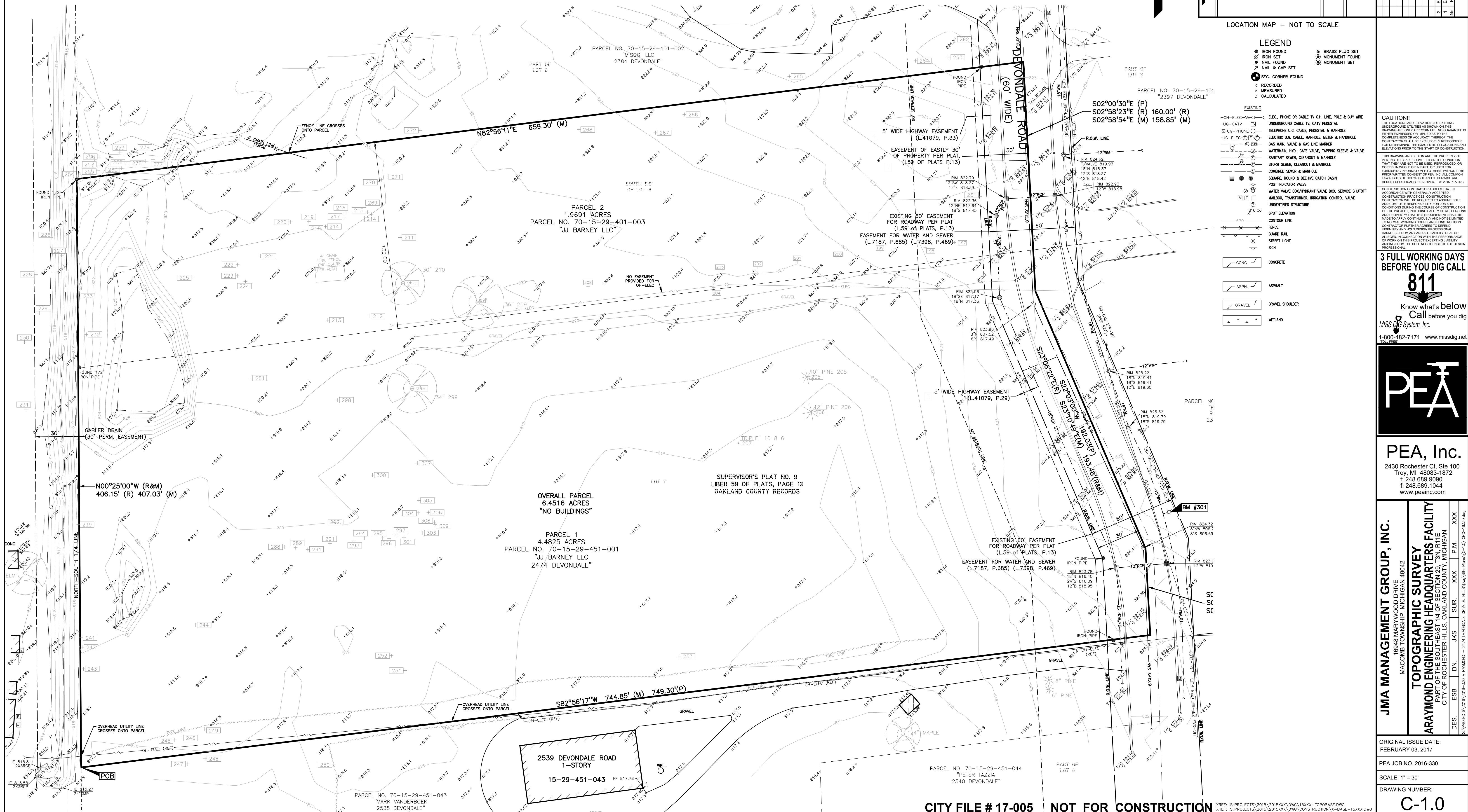
Tax Item No. 15-29-401-003

**LEGAL DESCRIPTION**  
(As Surveyed by Professional Engineering Associates)

Overall Parcel:  
Part of the West 1/2 of the Southeast 1/4 of Section 29, Town 3 North, Range 11 East, City of Rochester Hills, Oakland County, Michigan, described as follows:  
Commencing at the South 1/4 Corner of Section 29, Town 3 North, Range 11 East, City of Rochester, Oakland County, Michigan; thence along the North-South 1/4 line of said section 29, N00°00'00"E, 2027.28 feet to the Southwest corner of Lot 8, "Supervisor's Plat No. 9", Liber 59 of Plats, Page 13, Oakland County Records; thence along the West line of said Lot 8, N02°25'00"W, 276.03 feet to the Point of Beginning; thence N02°25'00"W, 407.03 feet; thence N82°56'11"E, 659.30 feet to the centerline of Devondale Road (60 feet wide); thence along the centerline of said Devondale Road the following 3 courses, S02°58'54"E, 158.85 feet and S23°10'40"E, 193.48 feet and S02°00'30"E, 60.12 feet to the northeast corner of aforementioned Lot 8; thence along the North line of Lot 8 S82°56'17"W, 744.85 feet to the Point of Beginning, Containing 6.4516 acres of land (more or less).



NO.	DATE	DESCRIPTION
1	03/15/17	ESB DNH SITE PLAN SUBMITTAL #2
2	03/15/17	ESB DNH SITE PLAN SUBMITTAL #2
3	03/15/17	ESB DNH SITE PLAN SUBMITTAL #2



**LEGEND**

- IRON FOUND
- ⊗ IRON SET
- ⊙ NAIL FOUND
- ⊙ NAIL & CAP SET
- ⊙ SEC. CORNER FOUND
- ⊙ RECORDED
- ⊙ MEASURED
- ⊙ CALCULATED
- ⊙ BRASS PLUG SET
- ⊙ MONUMENT FOUND
- ⊙ MONUMENT SET

**EXISTING**

- OH-ELEC-VV-ELEC, PHONE OR CABLE TV OH. LINE, POLE & GUY WIRE
- UG-CATV-UNDERGROUND CABLE TV, CATV PEDESTAL
- UG-PHONE-UNDERGROUND CABLE, PEDESTAL & MANHOLE
- UG-ELEC-UNDERGROUND ELECTRIC U.S. CABLE, MANHOLE, WIRE & HANDHOLE
- GS-MAN, WIRE & GAS LINE BARRIER
- WATERMAN, HYDR. GATE VALVE, TAPPING SLEEVE & VALVE
- SANITARY SEWER, CLEANOUT & MANHOLE
- STORM SEWER, CLEANOUT & MANHOLE
- COMBINED SEWER & MANHOLE
- SQUARE, ROUND & BEEDIE CATCH BASIN
- POST INDICATOR VALVE
- WATER VALVE BOX/HYDRANT VALVE BOX, SERVICE SHUTOFF
- MAILBOX, TRANSFORMER, IRRIGATION CONTROL VALVE
- UNIDENTIFIED STRUCTURE
- SPOT ELEVATION
- CONTOUR LINE
- FENCE
- GUARD RAIL
- STREET LIGHT
- SIGN

**CONC.** CONCRETE

**ASPH.** ASPHALT

**GRAVEL** GRAVEL SHOULDER

**WETLAND** WETLAND

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**TOPOGRAPHIC SURVEY**

**ARAYMOND ENGINEERING HEADQUARTERS FACILITY**  
PART OF THE SOUTHEAST 1/4 OF SECTION 29, T3N, R11E  
CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

DES. ESB SUR. XXX P.M. XXX  
CHK. JKS SUR. XXX P.M. XXX

ORIGINAL ISSUE DATE:  
FEBRUARY 03, 2017

PEA JOB NO. 2016-330

SCALE: 1" = 30'

DRAWING NUMBER:  
**C-1.0**



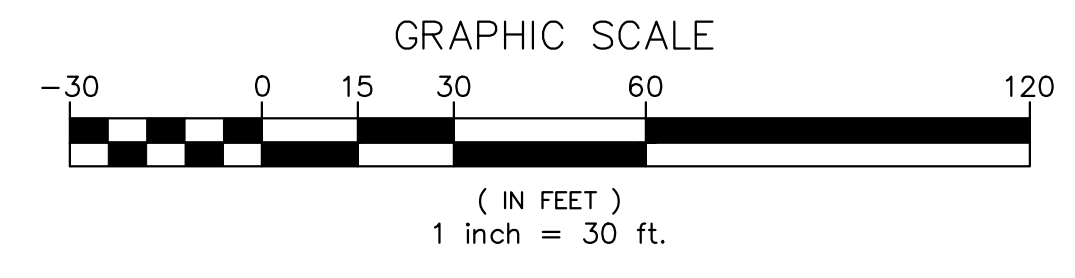
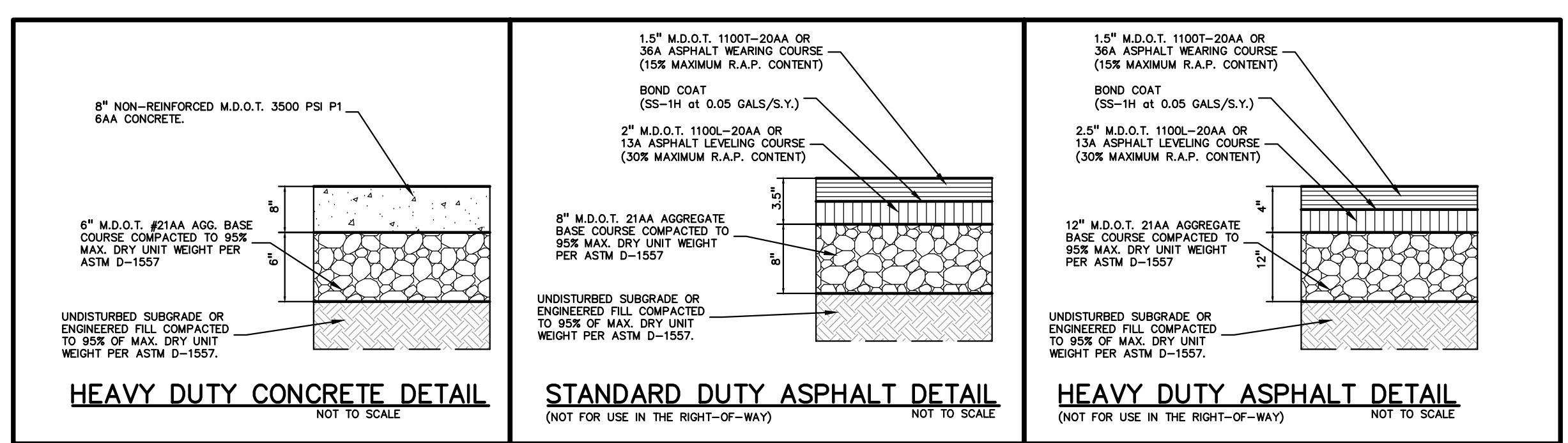
**BENCHMARKS**  
(GPS DERIVED - NAVD88)

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**BM #302**  
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(NOT SHOWN ON SURVEY)  
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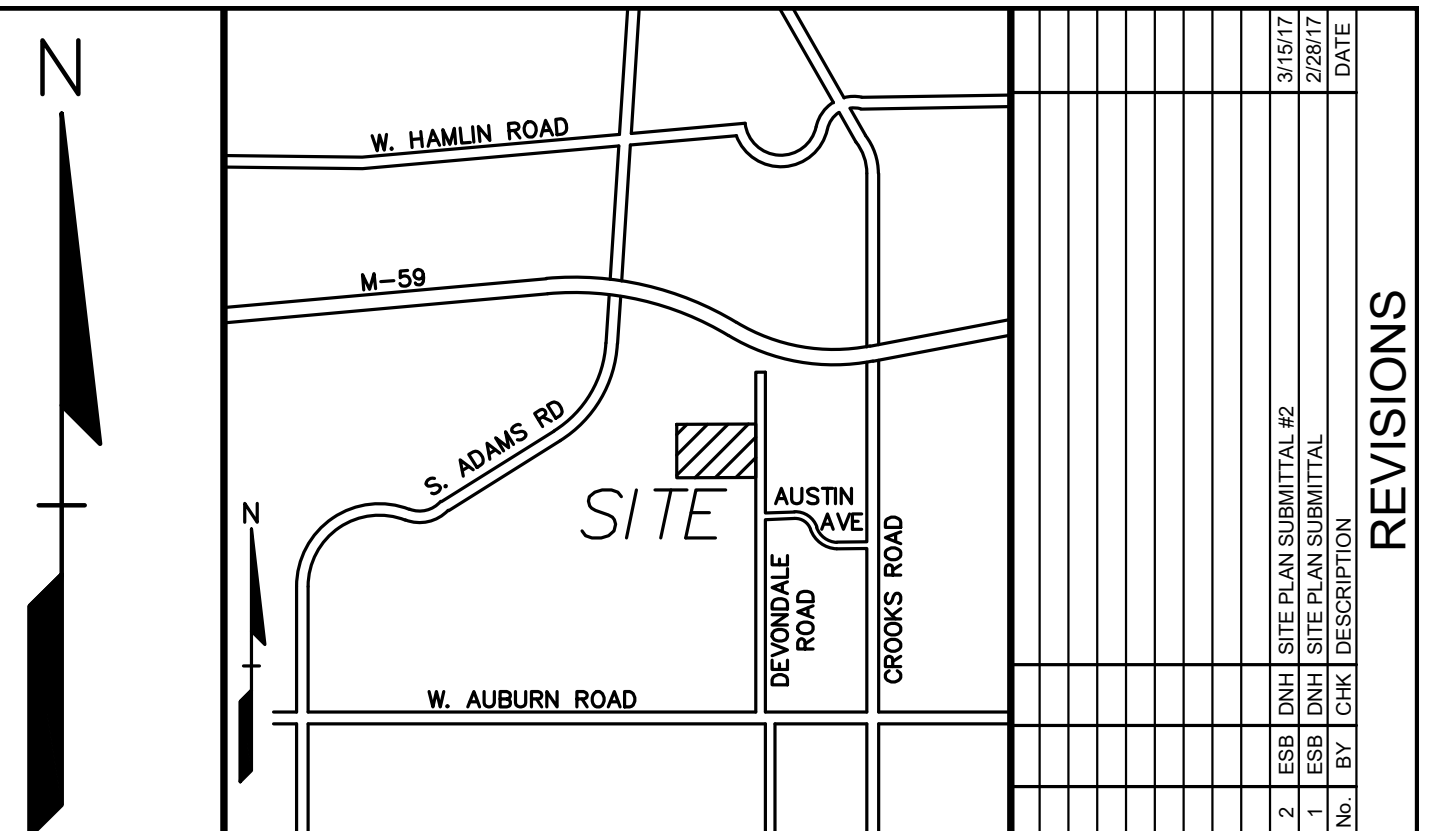


**ACCESSIBLE DOOR LEGEND:**

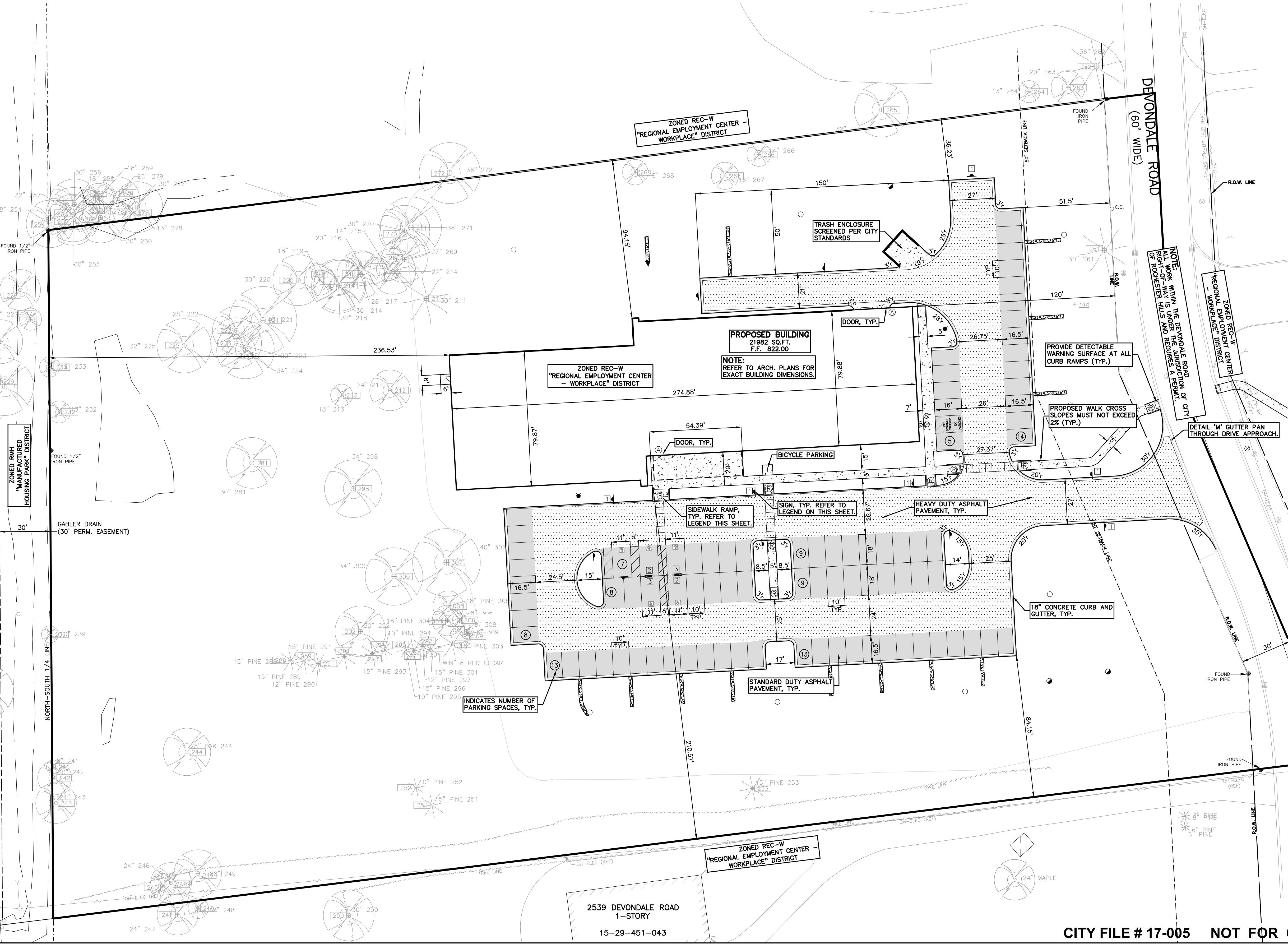
INDICATES ACCESSIBLE ACCESS DOOR

REFER TO ARCHITECTURAL PLANS FOR FURTHER DETAILS.

GRADES AT DOOR MAY NOT EXCEED 2% IN ANY DIRECTION.



NO.	DATE	DESCRIPTION	BY
1	3/15/17	ESB DNH SITE PLAN SUBMITTAL #2	ESB
2	2/29/17	ESB DNH SITE PLAN SUBMITTAL #1	ESB



**LEGEND**

● IRON FOUND	● BRASS PLUS SET	● SEC. CORNER FOUND
⊗ IRON SET	⊗ MONUMENT FOUND	○ RECORDED
⊗ NAIL FOUND	⊗ MONUMENT SET	○ MEASURED
⊗ NAIL & CAP SET		○ CALCULATED

**EXISTING**

- OH-ELEC-VV-O ELEC. PHONE OR CABLE TV OH. LINE, POLE & GUY WIRE
- UG-CATV-UG UNDERGROUND CABLE TV, CATV PEDESTAL
- UG-UG-PHONE-UG UNDERGROUND U.S. CABLE, FIBER OPTIC & MANHOLE
- UG-ELEC-UG-ELEC UNDERGROUND U.S. CABLE, MANHOLE, WATER & HANDHOLE
- GAS MAN, VALVE & GAS LINE MARKER
- WATERMAN, HYD. GATE VALVE, TAPPING SLEEVE & VALVE
- SANITARY SEWER, CLEANOUT & MANHOLE
- STORM SEWER, CLEANOUT & MANHOLE
- COMBINED SEWER & MANHOLE
- SQUARE, ROUND & RESHIE CATCH BASIN
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- WATER VALVE BOX/HYDRANT VALVE BOX, SERVICE SHUTOFF
- MALBOX, TRANSFORMER, IRRIGATION CONTROL VALVE
- UNIDENTIFIED STRUCTURE
- SPOT ELEVATION
- CONTOUR LINE
- FKXZ
- GUARD RAIL
- STREET LIGHT
- SON

**PROPOSED**

- CONC. CONCRETE
- ASPH. ASPHALT
- GRAVEL GRAVEL SHOULDER
- WETLAND
- STD. STD. STANDARD RAMP
- STD. STD. STANDARD RAMP
- STD. STD. STANDARD RAMP

**SIGN LEGEND:**

'NO STOPPING STANDING PARKING FIRE LANE' SIGN

'BARRIER FREE PARKING' SIGN

'VAN ACCESSIBLE' SIGN

REFER TO CONSTRUCTION PLANS FOR ADDITIONAL SIGN DETAILS

**SITE DATA TABLE:**

**SITE ZONING:**  
SITE: REC-W REGIONAL EMPLOYMENT CENTER - WORKPLACE DISTRICT  
NORTH: REC-W REGIONAL EMPLOYMENT CENTER - WORKPLACE DISTRICT  
EAST: REC-W REGIONAL EMPLOYMENT CENTER - WORKPLACE DISTRICT  
SOUTH: REC-W REGIONAL EMPLOYMENT CENTER - WORKPLACE DISTRICT  
WEST: RMH MANUFACTURED HOUSING PARK DISTRICT

SETBACKS:	REQUIRED	PROPOSED
FRONT:	50 FT	120.00 FT
SIDE:	15 FT	94.15 FT

**PARKING:**  
1 SPACE FOR 350 G.S.F. OFFICE AREA

**OFFICE AREA:**  
TOTAL = 21,982 GSF  
21,982 / 350 = 63 PARKING SPACES  
REQUIRED: 63 PARKING SPACES INCLUDING 5 ADA ACCESSIBLE SPACES. PROVIDED SPACES BASED ON ACTUAL BUILDING EMPLOYEE NUMBER AND 10 VISITOR SPACES.

- GENERAL NOTES:**
- THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT.
- ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, FACE OF SIDEWALK, OUTSIDE FACE OF BUILDING, PROPERTY LINE, CENTER OF MANHOLE/CATCH BASIN OR CENTERLINE OF PIPE UNLESS OTHERWISE NOTED.
  - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF ROCHESTER HILLS CURRENT STANDARDS AND REGULATIONS.
  - THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.
  - ANY WORK WITHIN THE STREET OR HIGHWAY RIGHT-OF-WAYS SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AGENCIES HAVING JURISDICTION AND SHALL NOT BEGIN UNTIL ALL NECESSARY PERMITS HAVE BEEN ISSUED FOR THE WORK.
  - ALL SIGNS MUST MEET SECTION 138-8.603 AND CHAPTER 134 OF THE CITY CODE OF ORDINANCES AND BE APPROVED UNDER A SEPARATE PERMIT ISSUED BY THE BUILDING DEPARTMENT.

**FIRE DEPARTMENT NOTES:**

FIRE LANES SHALL BE CONSPICUOUSLY POSTED ON BOTH SIDES OF THE FIRE LANE, WITH FIRE LANE SIGNS SPACED NOT MORE THAN 100 FEET APART. FIRE LANE SIGNS SHALL READ "NO STOPPING, STANDING, PARKING, FIRE LANE", AND IN CONFORMANCE WITH THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. FIRE PREVENTION ORDINANCE CHAPTER 58, SECTION 503

CONSTRUCTION SITES SHALL BE SAFEGUARDED IN ACCORDANCE WITH IFC CHAPTER 14.

OPEN BURNING IS NOT PERMITTED, INCLUDING THE BURNING OF TRASH, DEBRIS, OR LAND CLEARING MATERIALS. OPEN BURNING FOR WARMING OF SAND AND/OR WATER FOR THE PREPARATION OF MORTAR SHALL BE WITHIN CITY OF ROCHESTER HILLS BURN PERMIT GUIDELINES. CONTACT ROCHESTER HILLS FIRE DEPARTMENT FOR PERMIT INFORMATION.

FIRE PREVENTION ORDINANCE CHAPTER 58, SECTION 307.6.2 & 307.6.2.3

A KNOX KEY SYSTEM SHALL BE INSTALLED AT EACH BUILDING IN A LOCATION APPROVED BY THE FIRE CODE OFFICIAL.

ORDERING INFORMATION IS AVAILABLE KNOXBOX.COM.  
IFC 2006 SEC. 506

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T: 248 689 9090  
F: 248 689 1044  
www.peainc.com

**JMA MANAGEMENT GROUP, INC.**  
16948 MARYWOOD DRIVE  
MACOMB TOWNSHIP, MICHIGAN 48042

**PRELIMINARY DIMENSION AND PAVING PLAN  
ARAYMOND ENGINEERING HEADQUARTERS FACILITY**  
PART OF THE SOUTHEAST 1/4 OF SECTION 29, T3N, R11E  
CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

DES. ESB DN. JKS SUR. XXX P.M. XXX  
DATE: 02/03/2017

ORIGINAL ISSUE DATE:  
FEBRUARY 03, 2017

PEA JOB NO. 2016-330

SCALE: 1" = 30'

DRAWING NUMBER:  
**C-2.1**



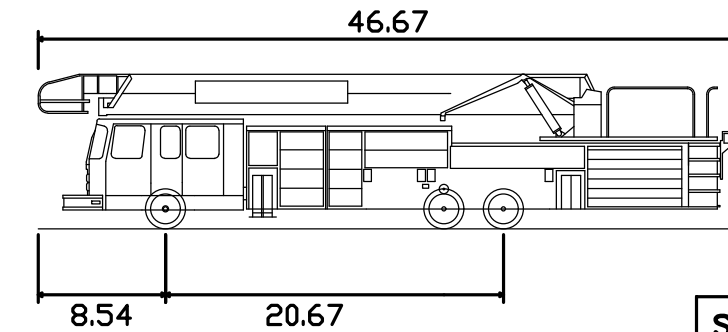
**BENCHMARKS**  
(GPS DERIVED - NAVD88)

BM #301  
ARROW ON A HYDRANT LOCATED APPROX. 28'± EAST OF THE CENTERLINE OF DEVONDALE ROAD AND APPROX 180'± SOUTH OF NORTH ENTRANCE DRIVE OF 2350 AUSTIN AVENUE.  
ELEV. - 827.01

BM #302  
NUT ON FLANGE OF A HYDRANT LOCATED APPROX. 32'± NORTH OF THE NORTH PARKING LOT OF 2350 AUSTIN AVENUE AND APPROX. 170'± EAST OF THE CENTERLINE OF DEVONDALE ROAD.  
ELEV. - 821.91

BM #303  
(NOT SHOWN ON SURVEY)  
TAG ON EAST SIDE OF A UTILITY POLE LOCATED APPROX. 30'± WEST OF THE CENTERLINE OF DEVONDALE ROAD AND APPROX. 30'± SOUTH OF THE CENTERLINE OF AUSTIN AVENUE.  
ELEV. - 820.38

**FLOODPLAIN NOTE:**  
BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE 'X', AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 26125C0393F, DATED SEPTEMBER 29, 2006.



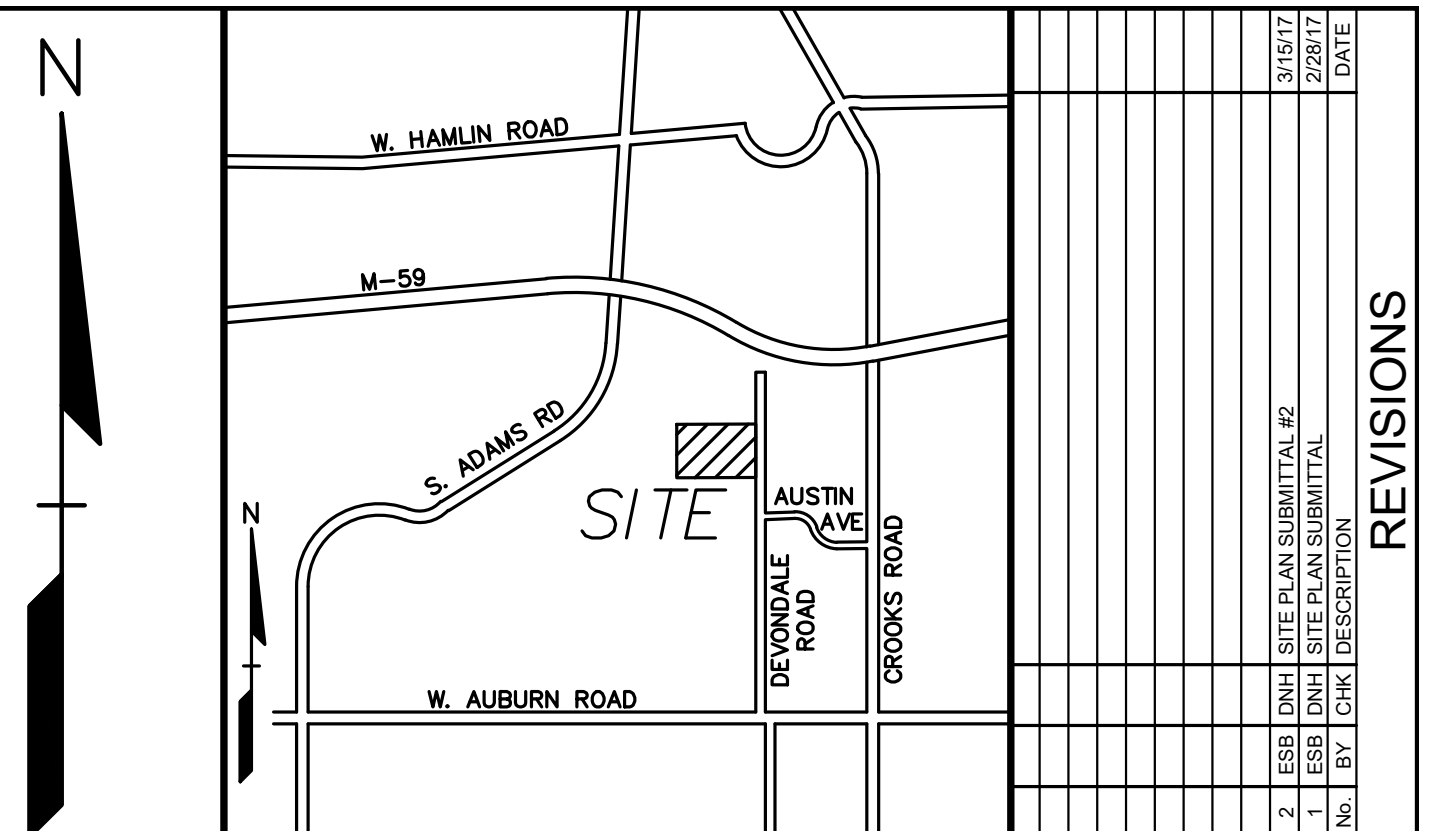
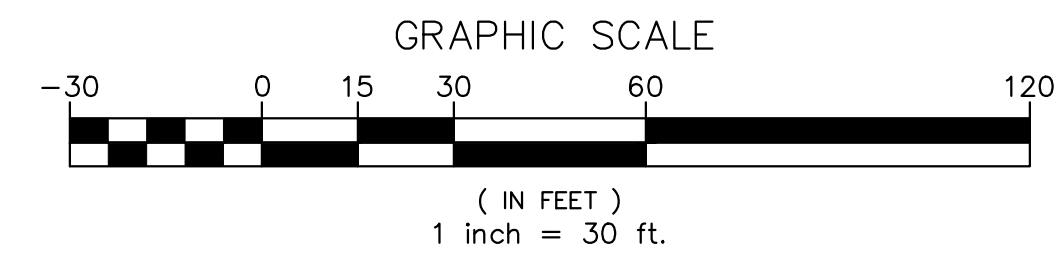
Rochester Hills Fire Truck  
Overall Length 46.67ft  
Overall Width 8.54ft  
Min Wheel Radius 20.67ft

**SIGN LEGEND:**

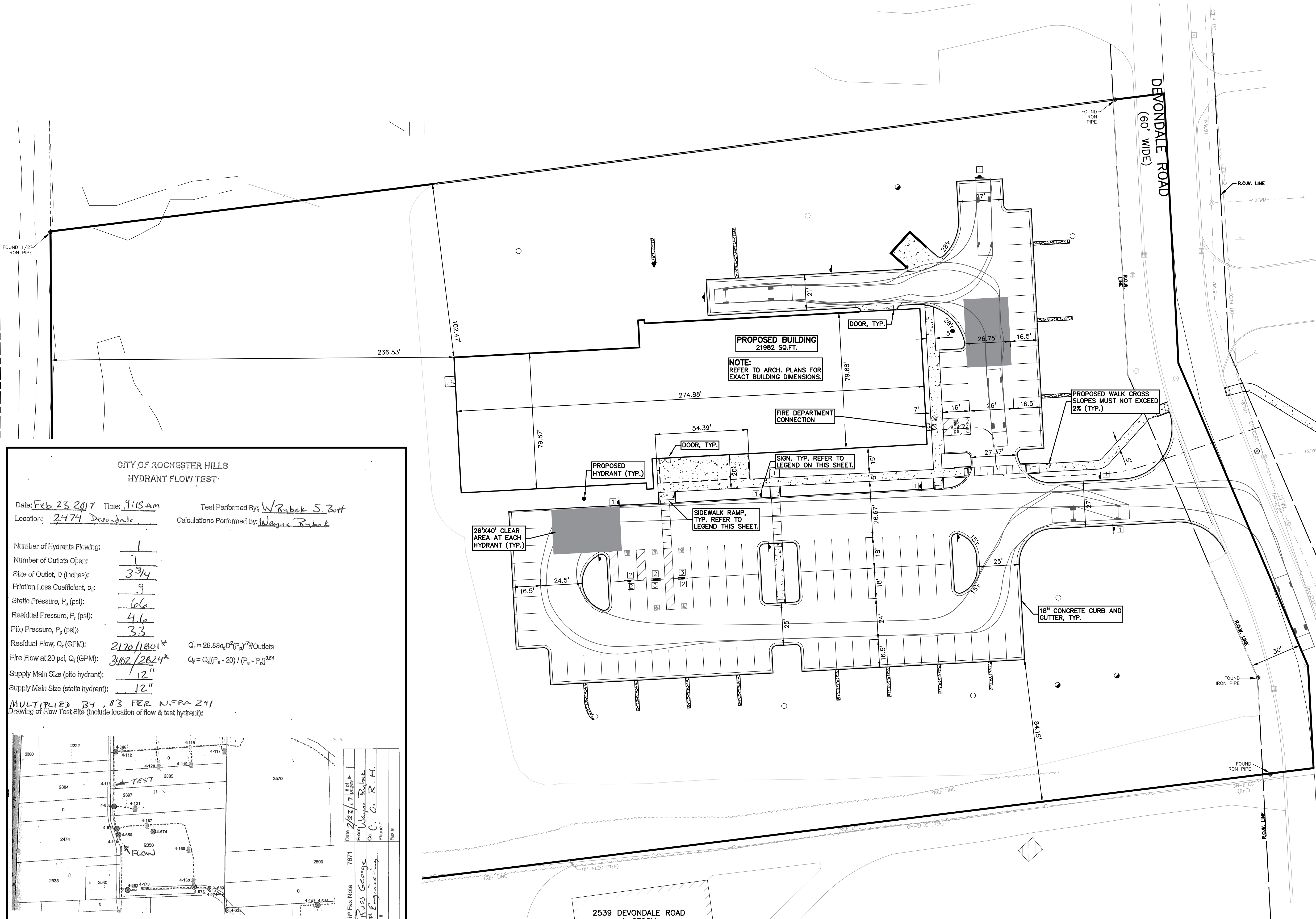
- 1 'NO STOPPING STANDING PARKING' FIRE LANE SIGN
- 2 'BARRIER FREE PARKING' SIGN
- 3 'VAN ACCESSIBLE' SIGN

REFER TO CONSTRUCTION PLANS FOR ADDITIONAL SIGN DETAILS

**BUILDING NOTES:**  
PROPOSED BUILDING HEIGHT: 29'-4"  
CONSTRUCTION TYPE: II-B



NO.	DATE	DESCRIPTION	BY
1	3/15/17	ESB DNH SITE PLAN SUBMITTAL #2	
2	2/29/17	ESB DNH SITE PLAN SUBMITTAL #1	



**LEGEND**

● IRON FOUND	● BRASS PLUS SET	● SEC. CORNER FOUND
⊗ IRON SET	⊗ MONUMENT FOUND	⊗ RECORDED
⊗ NAIL FOUND	⊗ MONUMENT SET	⊗ MEASURED
⊗ NAIL & CAP SET		⊗ CALCULATED

EXISTING

- OH-ELEC-VV— ELEC. PHONE OR CABLE TV O.H. LINE, POLE & GUY WIRE
- OH-CATV— TELEPHONE U.S. CABLE, FIBERGLASS & MANHOLE
- OH-UG-PHONE— ELECTRIC U.S. CABLE, MANHOLE, WATER & HANDHOLE
- OH-UG-ELEC— GAS MAIN, VALVE & GAS LINE MARKER
- OH-WATER— WATERMAIN, HYD. GATE VALVE, TAPPING SLEEVE & VALVE
- OH-SANITARY— SANITARY SEWER, CLEANOUT & MANHOLE
- OH-SEWER— STORM SEWER, CLEANOUT & MANHOLE
- OH-SEWER— SQUARE, ROUND & RESHIE CATCH BASIN
- OH-POST— POST INDICATOR VALVE
- OH-WATER VALVE BOX/HYDRANT VALVE BOX, SERVICE SHUTOFF
- OH-MALBOX— MALBOX, TRANSFORMER, IRRIGATION CONTROL VALVE
- OH-UNIDENTIFIED— UNIDENTIFIED STRUCTURE

PROPOSED

- CONC.— CONCRETE
- ASPH.— ASPHALT
- GRAVEL— GRAVEL SHOULDER
- WETLAND— WETLAND

**CAUTION!!**  
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

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CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, SHALL BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR SHALL HOLD DESIGN PROFESSIONAL MARKERS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

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**JMA MANAGEMENT GROUP, INC.**  
16948 MARYWOOD DRIVE  
MACOMB TOWNSHIP, MICHIGAN 48042

**PRELIMINARY FIRE PROTECTION PLAN**  
**ARAYMOND ENGINEERING HEADQUARTERS FACILITY**  
PART OF THE SOUTHEAST 1/4 OF SECTION 29, T3N, R1E  
CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

DES. ESB DN. JKS SUR. XXX P.M. XXX  
S:\PROJECTS\2016\2016-03-03-ARAYMOND-2474 DEVONDALE DRIVE, H. HILLS\Draw Site Plan\02-2317pe-16330.dwg

ORIGINAL ISSUE DATE:  
FEBRUARY 03, 2017

PEA JOB NO. 2016-330

SCALE: 1" = 30'

DRAWING NUMBER:  
**C-2.2**

**CITY OF ROCHESTER HILLS**  
**HYDRANT FLOW TEST**

Date: Feb 23 2017 Time: 9:15 AM Test Performed By: W Rabek S Bitt  
Location: 2474 Devondale Calculations Performed By: Wajay Rabek

Number of Hydrants Flowing:	1
Number of Outlets Open:	1
Size of Outlet, D (inches):	3 3/4
Friction Loss Coefficient, C <sub>f</sub> :	9
Static Pressure, P <sub>s</sub> (psi):	60.6
Residual Pressure, P <sub>r</sub> (psi):	4.6
Pitot Pressure, P <sub>p</sub> (psi):	3.3
Residual Flow, Q <sub>r</sub> (GPM):	2170/1180
Fire Flow at 20 psi, Q <sub>f</sub> (GPM):	3402/2624
Supply Main Size (pitot hydrant):	12"
Supply Main Size (static hydrant):	12"

$Q_r = 29.88 C_f D^2 (P_p)^{0.54} \# \text{Outlets}$   
 $Q_f = Q_r [(P_s - 20) / (P_r - P_s)]^{0.54}$

MULTIPLIED BY .83 PER NFPA 291  
Drawing of Flow Test Site (include location of flow & test hydrant):

PEA, Inc. 7671  
To: Russ George  
Company: Engineering  
Phone #  
Fax #

2539 DEVONDALE ROAD  
1-STORY  
15-29-451-043







**CITY OF ROCHESTER HILLS NOTES:**

**TREE PLANTING RESTRICTIONS:**

Prior approval is required to plant any tree or shrub on the public right-of-way. All trees and shrubs must be planted at least 10' from the edge of the public road. Shade trees and ornamental trees must be planted at least 5' from the edge of the public roadway. Evergreen and ornamental trees must be planted at least 10' from the edge of the public roadway. No trees or shrubs may be planted within the triangular area formed at the intersection of any street right-of-way lines at a distance along each line of 25' from their point of intersection. No trees or shrubs may be planted in the triangular area formed at the intersection of any driveway with a public roadway at a distance along each line of 15' from their point of intersection. All trees and shrubs must be planted at least 10' from any fire hydrant. Shade and evergreen trees must be at least 15' away from the nearest overhead wire. Trees must be planted a minimum of 5' from an underground utility, unless the city's Landscape Architect requires a greater distance.

**CLOSING COMMENT:**

Prior to the release of the performance bond, the City of Rochester Hills Forestry Division needs to inspect all trees, existing or planted, to identify any that pose a hazard to the safe use of the public right-of-way. Forestry may require the developer to remove, and possibly replace, any such trees.

**Section 138-12.109 Maintenance**

The owner of the property shall be responsible for all maintenance of site landscaping, as follows:

- Landscaping shall be kept in a neat, orderly and healthy growing condition, free from debris and refuse.
- Pruning shall be minimal at the time of installation, only to remove dead or diseased branches. Subsequent pruning shall assure proper maturation of plants to achieve their approved purpose.
- All dead, damaged, or diseased plant material shall be removed immediately and replaced within six (6) months after it dies or in the next planting season, whichever occurs first. For purposes of this Section, the planting season for deciduous plants shall be between March 1 and June 1 and from October 1 until the prepared soil becomes frozen. The planting season for evergreen plants shall be between March 1 and June 1. Plant material installed to replace dead or diseased material shall be as close as practical to the size of the material it is intended to replace. The City may notify property owners of the need to replace dead, damaged, or diseased material.
- The approved landscape plan shall be considered a permanent record and integral part of the Site Plan Approval. Unless otherwise approved in accordance with the aforementioned procedures, any revisions to or removal of plant materials, or non-compliance with the maintenance requirements of this Section, 138-12.109 will place the parcel in non-conformity with the approved landscape plan and be a violation of this Ordinance.
- If protected trees are damaged, a fine shall be issued on an inch-by-inch basis at a monetary rate as defined by the Forestry Department.

**DECIDUOUS TREE PLANT LIST:**

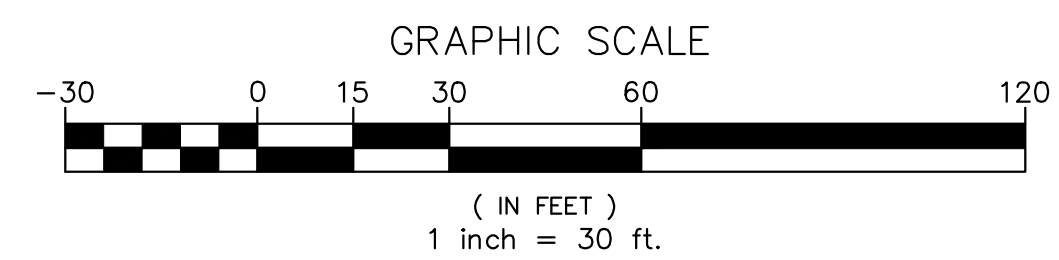
QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
7	AL10	Allegheny Serviceberry	<i>Amelanchier laevis</i>	10' Ht.	B&B
2	AR3	Redpointe Maple	<i>Acer rubrum 'Redpointe'</i>	3" Cal.	B&B
8	AS3	Green Mountain Sugar Maple	<i>Acer saccharum 'Green Mountain'</i>	3" Cal.	B&B
5	CM10	Cornelian Cherry Dogwood	<i>Cornus mas</i>	10' Cal.	B&B
6	MP2.5	Prairiefire Crab	<i>Malus 'Prairiefire'</i>	2.5" Cal.	B&B
4	GT3	Skyline Honeylocust	<i>Gleditsia triacanthos 'Skyline' Inermis</i>	3" Cal.	B&B
5	QB3	Columnar Oak	<i>Quercus robur 'Fastigiata'</i>	3" Cal.	B&B
6	QR3	Red Oak	<i>Quercus rubra</i>	3" Cal.	B&B
11	TB3	Boulevard Linden	<i>Tilia americana 'Boulevard'</i>	3" Cal.	B&B
5	UF3	Frontier Elm	<i>Ulmus 'Frontier'</i>	3" Cal.	B&B

**EVERGREEN TREE PLANT LIST:**

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
16	PA8	Norway Spruce	<i>Picea abies</i>	8' Ht.	B&B
18	PG8	Black Hills Spruce	<i>Picea glauca 'Densata'</i>	8' Ht.	B&B

**SHRUB PLANT LIST:**

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
25	EA36	Compact Burning Bush	<i>Euonymus alatus 'Compactus'</i>	36" Ht.	Cont.
20	SP36	Miss Kim Lilac	<i>Syringa patula 'Miss Kim'</i>	36" Ht.	Cont.
15	TH30	Hicks Yew	<i>Taxus x media 'Hicksii'</i>	30" Ht.	Cont.
20	VC36	Korean Spice Viburnum	<i>Viburnum carlesii 'Compacta'</i>	36" Ht.	Cont.



COST OPINION  
PROJECT NAME: ARAYMOND ENGINEERING JOB NO. 16-330

LANDSCAPE

ESTIMATED QUANTITY	UNIT	DESCRIPTION	UNIT PRICE	ITEM PRICE
7,695	S.Y.	Non irrigated seed mix	\$1.75	\$13,448.00
350	S.Y.	Swale seed mix	\$3.00	\$1,050.00
1,435	S.Y.	Sod Lawn	\$6.00	\$8,610.00
696	C.Y.	Topsoil	\$7.00	\$4,872.00
57	C.Y.	Plant Mix for Planting Beds	\$12.00	\$684.00
20	C.Y.	Mulch	\$45.00	\$900.00
80	EA.	Shrubs	\$40.00	\$3,200.00
182	L.F.	Metal Edge	\$5.00	\$910.00
18	EA.	Sub-Canopy Ornamental Trees	\$250.00	\$4,500.00
75	EA.	Deciduous / Evergreen Trees	\$300.00	\$22,500.00
1	EA.	Irrigation	\$10,000.00	\$10,000.00
<b>TOTAL LANDSCAPING</b>				<b>\$70,684.00</b>

**LOCATION MAP - NOT TO SCALE**

KEY:

- = RIGHT OF WAY TREES
- ⊙ ○ = PERIMETER PARKING LOT TREES AND SHRUBS
- ⊕ = INTERIOR PARKING LOT TREES
- ⊗ = BUFFER TREES - WEST PROPERTY LINE
- ⊙ ⊙ ⊙ = BIOSWALE TREES
- ⊗ ⊗ ⊗ = EXISTING TREES TO REMAIN WITH TREE PROTECTION FENCE
- ▨ = IRRIGATED SOD LAWN IRRIGATION REQUIRED FOR SOD LAWN AND PLANT BED AREAS. IRRIGATION PLAN REQUIRED FOR CITY REVIEW APPROVAL PRIOR TO CONSTRUCTION. NOTE: WATERING MAY ONLY OCCUR BETWEEN THE HOURS OF 12 AM AND 5 AM.
- ▨ = NON IRRIGATED SEED LAWN PROVIDE STAKED EROSION MAT ON AREAS OF WASH AND SLOPES TYP.
- ▨ = SWALE SEED MIX BY: CARDNO NATIVE PLANT NURSERY: 574 - 586 - 2412 PROVIDE STAKED EROSION MAT

SEE SHEET L-1.1 FOR DETAILS AND NOTES



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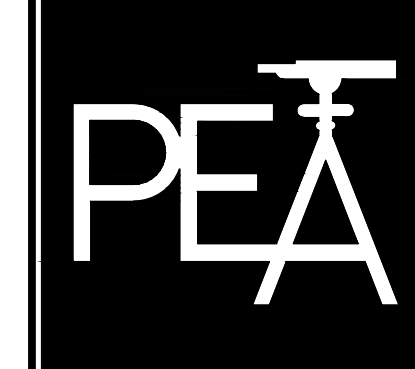
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16940 MARYWOOD DRIVE  
MACOMB TOWNSHIP, MICHIGAN 48042

**PRELIMINARY LANDSCAPE PLAN**

**ARAYMOND ENGINEERING HEADQUARTERS FACILITY**

PART OF THE SOUTHEAST 1/4 OF SECTION 28, T3N, R1E  
CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

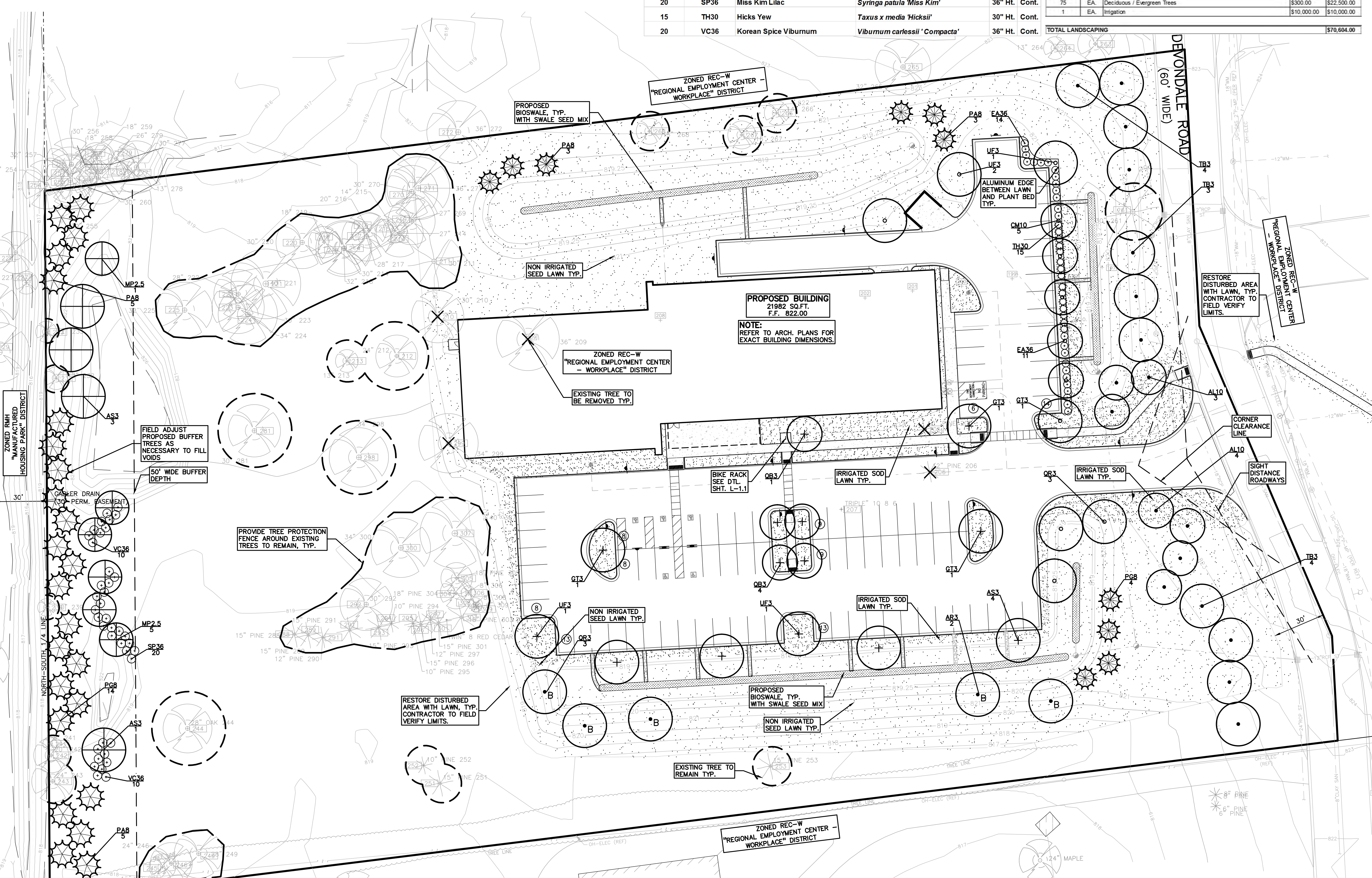
DES. JLE DN. JG SUR. XXX P.M. XXX  
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ORIGINAL ISSUE DATE:  
FEBRUARY 03, 2017

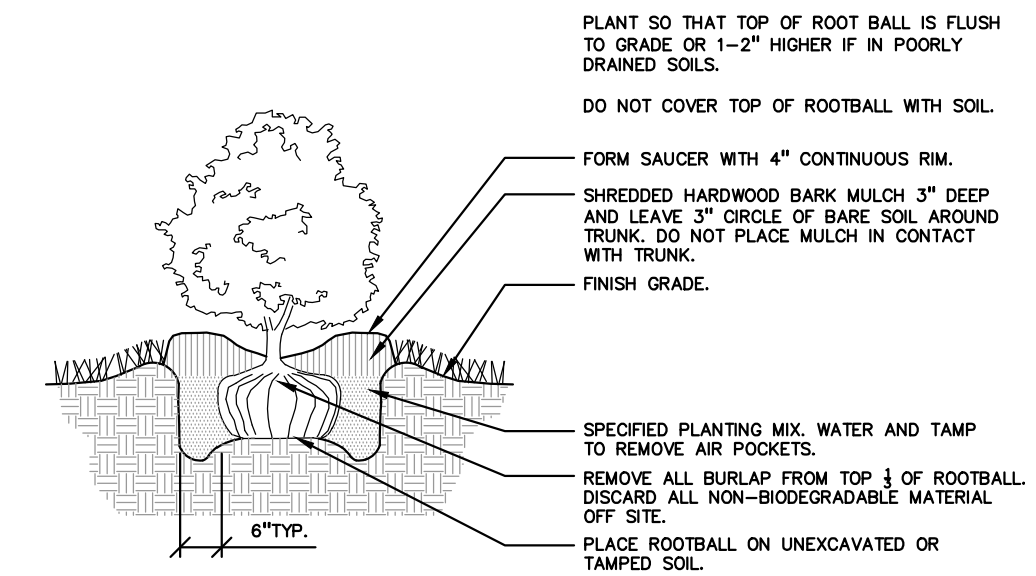
PEA JOB NO. 2016-330

SCALE: 1" = 30'

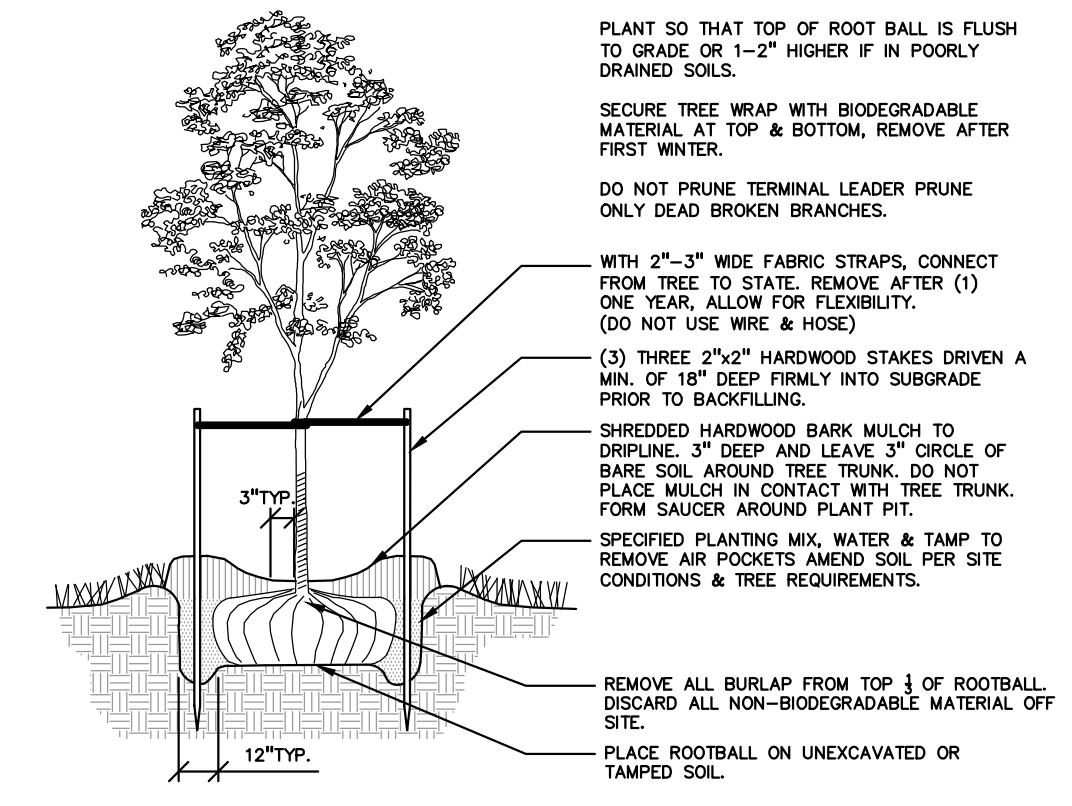
DRAWING NUMBER:  
**L-1.0**



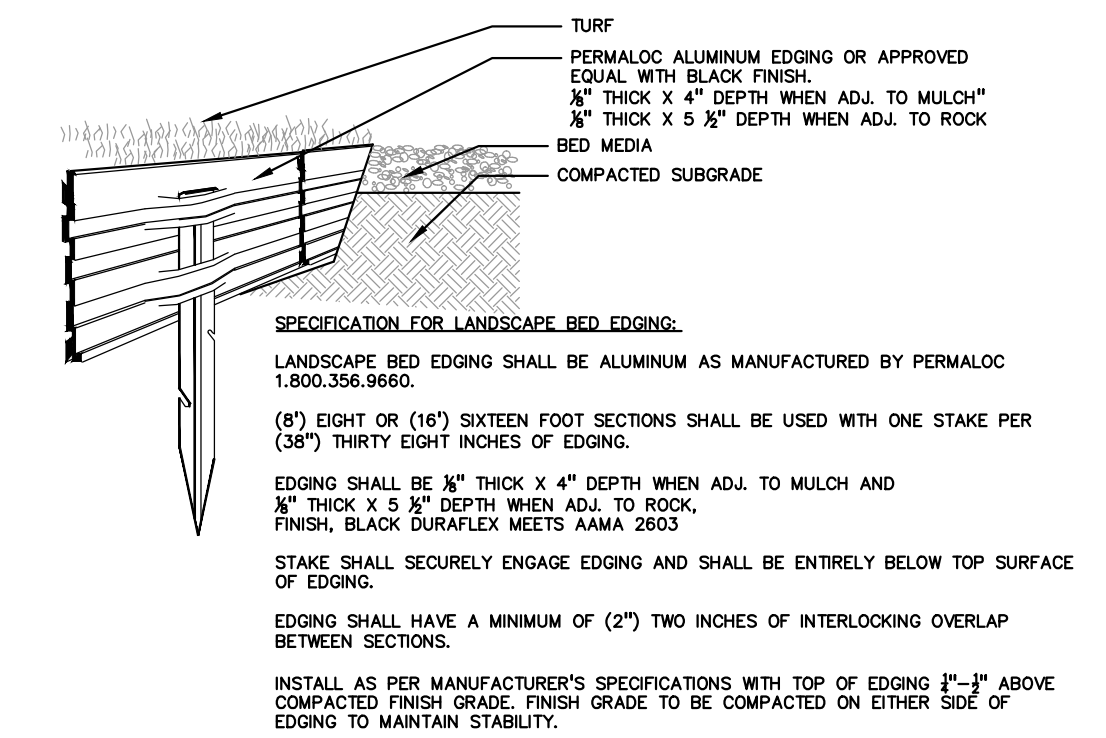




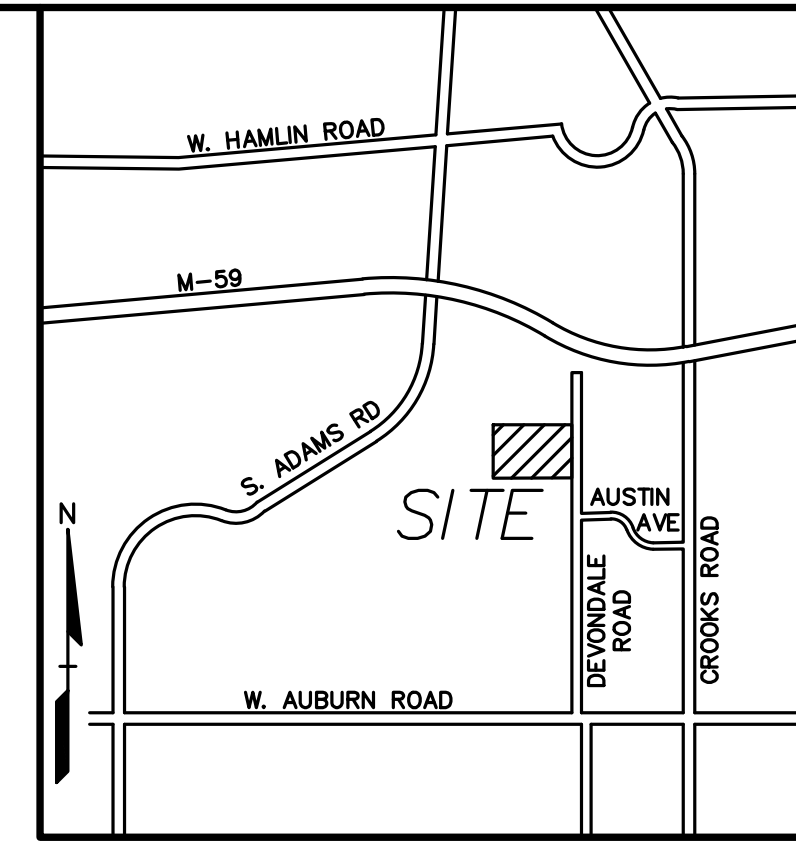
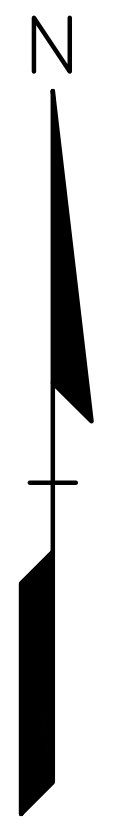
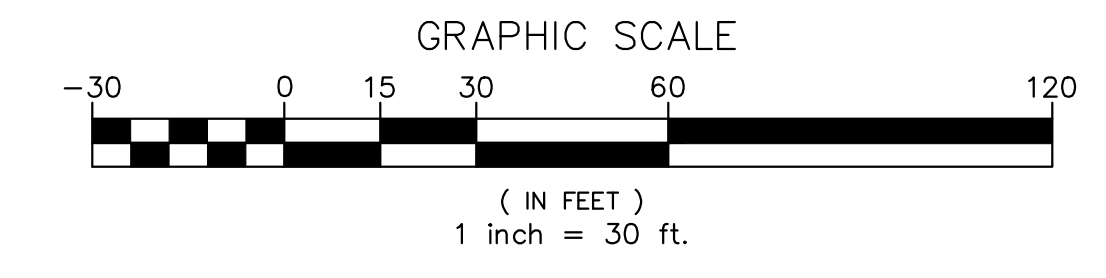
**SHRUB PLANTING DETAIL**  
NOT TO SCALE



**DECIDUOUS TREE PLANTING DETAIL**  
NOT TO SCALE



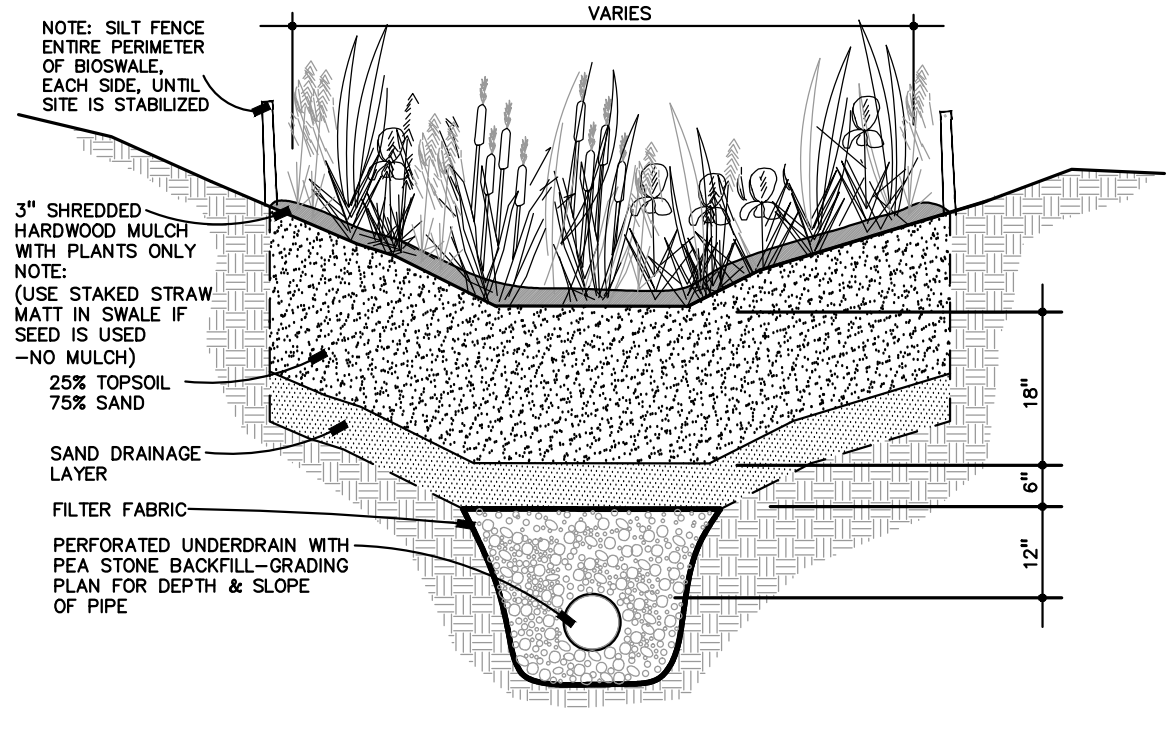
**ALUMINUM EDGE DETAIL**  
NOT TO SCALE



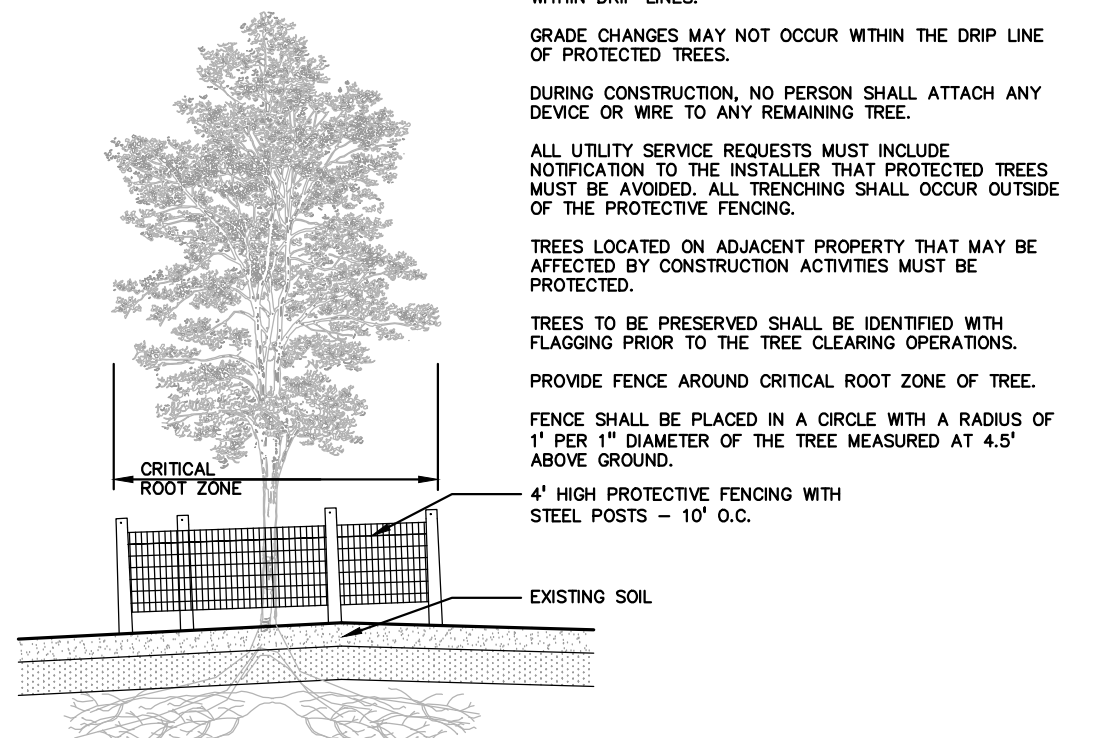
LOCATION MAP - NOT TO SCALE

NO.	DATE	DESCRIPTION
1	03/15/17	ESB - 01N1 SITE PLAN SUBMITTAL #2
2	03/15/17	ESB - 01N1 SITE PLAN SUBMITTAL #2
3	03/15/17	ESB - 01N1 SITE PLAN SUBMITTAL #2
4	03/15/17	ESB - 01N1 SITE PLAN SUBMITTAL #2
5	03/15/17	ESB - 01N1 SITE PLAN SUBMITTAL #2
6	03/15/17	ESB - 01N1 SITE PLAN SUBMITTAL #2
7	03/15/17	ESB - 01N1 SITE PLAN SUBMITTAL #2
8	03/15/17	ESB - 01N1 SITE PLAN SUBMITTAL #2
9	03/15/17	ESB - 01N1 SITE PLAN SUBMITTAL #2
10	03/15/17	ESB - 01N1 SITE PLAN SUBMITTAL #2
11	03/15/17	ESB - 01N1 SITE PLAN SUBMITTAL #2
12	03/15/17	ESB - 01N1 SITE PLAN SUBMITTAL #2
13	03/15/17	ESB - 01N1 SITE PLAN SUBMITTAL #2
14	03/15/17	ESB - 01N1 SITE PLAN SUBMITTAL #2
15	03/15/17	ESB - 01N1 SITE PLAN SUBMITTAL #2
16	03/15/17	ESB - 01N1 SITE PLAN SUBMITTAL #2
17	03/15/17	ESB - 01N1 SITE PLAN SUBMITTAL #2
18	03/15/17	ESB - 01N1 SITE PLAN SUBMITTAL #2
19	03/15/17	ESB - 01N1 SITE PLAN SUBMITTAL #2
20	03/15/17	ESB - 01N1 SITE PLAN SUBMITTAL #2

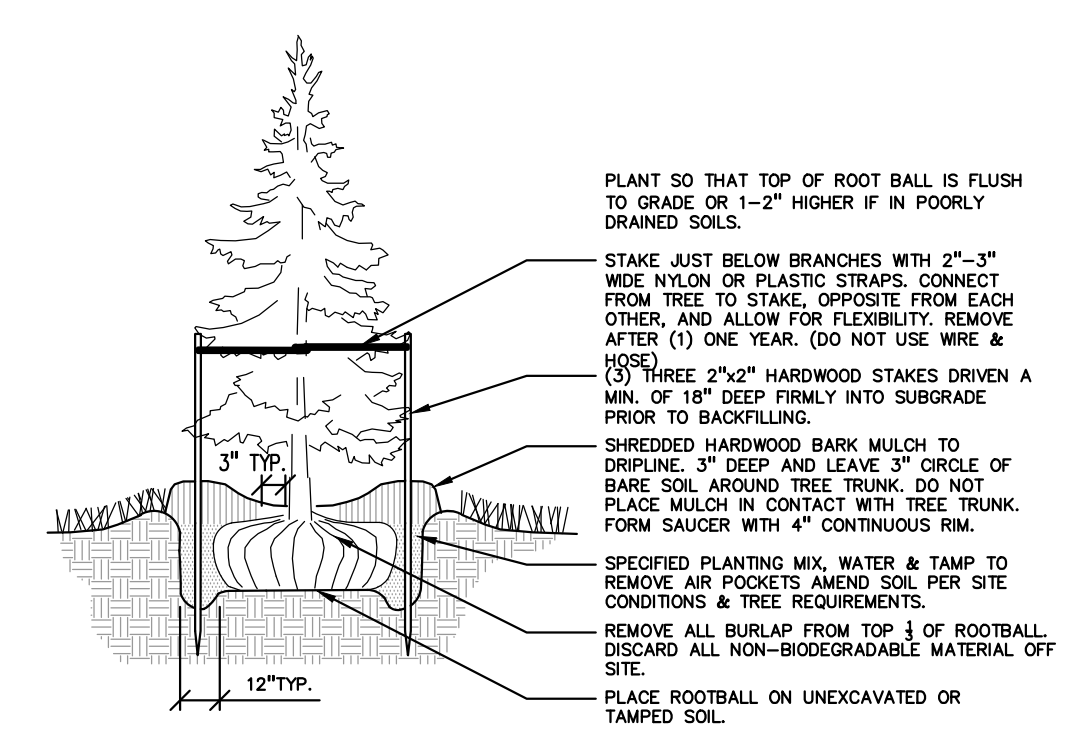
REVISIONS



**BIOSWALE - TYPICAL CROSS SECTION**  
NOT TO SCALE



**TREE PROTECTION DETAIL**  
NOT TO SCALE



**EVERGREEN TREE PLANTING DETAIL**  
NOT TO SCALE

SWALE SEED MIX  
CARDNO: 574-586-2412  
cardnonativeplantnursery.com  
PROVIDE STAKED EROSION MAT  
INSTALL PER MANUFACTURERS SPECIFICATIONS

Botanical Name	Common Name
<b>Permanent Grasses/Sedges:</b>	
<i>Andropogon gerardii</i>	Big Bluestem
<i>Carex comosa</i>	Bristly Sedge
<i>Carex cristatella</i>	Crested Oval Sedge
<i>Carex lurida</i>	Bottlebrush Sedge
<i>Carex spp.</i>	Prairie Sedge Mix
<i>Carex vulpinoidea</i>	Brown Fox Sedge
<i>Elymus virginicus</i>	Virginia Wild Rye
<i>Glyceria striata</i>	Fowl Mann Grass
<i>Panicum virgatum</i>	Switch Grass
<i>Scirpus atrovirens</i>	Dark Green Rush
<i>Scirpus cypreus</i>	Wool Grass
<i>Spartina pectinata</i>	Prairie Cord Grass
<b>Temporary Cover:</b>	
<i>Avena sativa</i>	Common Oat
<i>Loium multiflorum</i>	Annual Rye

Forbs:	
<i>Alisma spp.</i>	Water Plantain (Various)
<i>Asclepias incarnata</i>	Swamp Milkweed
<i>Coreopsis tripteris</i>	Tall Coreopsis
<i>Eutrochium maculatum</i>	Spotted Joe-Pye Weed
<i>Iris virginica</i>	Blue Flag
<i>Liatris spicata</i>	Marsh Blazing Star
<i>Lobelia cardinalis</i>	Cardinal Flower
<i>Lobelia siphilitica</i>	Great Blue Lobelia
<i>Lycopus americanus</i>	Common Water Horehound
<i>Pycnanthemum virginianum</i>	Common Mountain Mint
<i>Rudbeckia triloba</i>	Brown-Eyed Susan
<i>Segettaria latifolia</i>	Common Arrowhead
<i>Senna hebecarpa</i>	Wild Senna
<i>Silphium terebinthinaceum</i>	Prairie Dock
<i>Symphoricarum novae-angliae</i>	New England Aster
<i>Verbena hastata</i>	Blue Vervain
<i>Zizia aurea</i>	Golden Alexanders

**GENERAL PLANTING NOTES:**

- LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING SITE CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED WORK. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, PLANT SHALL GOVERN QUANTITIES. CONTACT LANDSCAPE ARCHITECT WITH ANY CONCERNS.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON HIS/HER PHASE OF WORK. ELECTRIC, GAS, TELEPHONE, CABLE, TELEVISION MAY BE LOCATED BY CALLING MISS DIG 1-800-482-7171. ANY DAMAGE OR INTERFERENCE OF SERVICES SHALL BE THE RESPONSIBILITY OF CONTRACTOR. CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES ON THE JOB AND SHALL REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER'S REPRESENTATIVE PRIOR TO COMMENCING.
- ALL PLANT MATERIAL TO BE PREMIUM GRADE NURSERY STOCK AND SHALL SATISFY AMERICAN ASSOCIATION OF NURSERYMEN STANDARD FOR NURSERY STOCK. ALL LANDSCAPE MATERIAL SHALL BE NORTHERN GROWN, NO. 1 GRADE.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON LANDSCAPE PLAN PRIOR TO PRICING THE WORK.
- THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
- ALL SINGLE STEM SHADE TREES TO HAVE STRAIGHT TRUNKS AND SYMMETRICAL CROWNS.
- ALL SINGLE TRUNK SHADE TREES TO HAVE A CENTRAL LEADER; TREES WITH FORKED OR IRREGULAR TRUNKS WILL NOT BE ACCEPTED.
- ALL MULTI STEM TREES SHALL BE HEAVILY BRANCHED AND HAVE SYMMETRICAL CROWNS. ONE SIDED TREES OR THOSE WITH THIN OR OPEN CROWNS SHALL NOT BE ACCEPTED.
- ALL EVERGREEN TREES SHALL BE HEAVILY BRANCHED AND FULL TO THE GROUND, SYMMETRICAL IN SHAPE AND NOT SHEARED FOR THE LAST FIVE GROWING SEASONS.
- ALL TREES TO HAVE CLAY OR CLAY LOAM BALLS, TREES WITH SAND BALLS WILL BE REJECTED.
- NO MACHINERY IS TO BE USED WITHIN THE DRIP LINE OF EXISTING TREES; HAND GRADE ALL LAWN AREAS WITHIN THE DRIP LINE OF EXISTING TREES.
- ALL TREE LOCATIONS SHALL BE STAKED BY LANDSCAPE CONTRACTOR AND ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF THE PLANT MATERIAL.
- IT IS MANDATORY THAT POSITIVE DRAINAGE IS PROVIDED AWAY FROM ALL BUILDINGS.
- ALL PLANTING BEDS SHALL RECEIVE 3" SHREDDED HARDWOOD BARK MULCH, WITH PRE EMERGENT, SEE SPECIFICATIONS. SHREDDED PALETTE AND DYED MULCH WILL NOT BE ACCEPTED.
- ALL LANDSCAPED AREAS SHALL RECEIVE 3" COMPACTED TOPSOIL.
- SEE SPECIFICATIONS FOR ADDITIONAL COMMENTS, REQUIREMENTS, PLANTING PROCEDURES AND WARRANTY STANDARDS.



**CAUTION!**  
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO GUARANTEE IS GIVEN FOR THE ACCURACY OF THESE UTILITIES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR VERIFYING THE EXACT LOCATION AND DEPTH OF UTILITIES PRIOR TO THE START OF CONSTRUCTION.

THIS DRAWING AND DESIGN ARE THE PROPERTY OF PEA, INC. AND THEY ARE SUBMITTED TO THE CONTRACTOR THAT THEY ARE NOT TO BE REPRODUCED, COPIED, OR USED IN WHOLE OR IN PART, OR FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF PEA, INC. ALL DIMENSIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION. CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS AGREEMENT SHALL BE MADE TO APPLY TO ALL CONTRACTORS AND SHALL BE LIMITED TO NORMAL WORKING HOURS AND CONSTRUCTION CONTROLLED BY THE CONTRACTOR. CONTRACTOR SHALL INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARBOR FROM AND AGAINST ALL LIABILITY, CLAIMS OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF THIS PROJECT EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

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BIKE RACK: BRHS - 101  
CYCLE SENTRY COLLECTION  
BY: VICTOR STANLEY  
MOUNT: SURFACE MOUNTED  
MATERIAL: BLACK POWDER COATED  
PER OWNER APPROVAL  
QUANTITY: 1 (2 BIKE CAPACITY)

VICTOR STANLEY  
1-800-368-2373  
P.O. BOX 330  
BUNKIRK, MD 20754  
OR OWNER/ARCHITECT APPROVED EQUAL

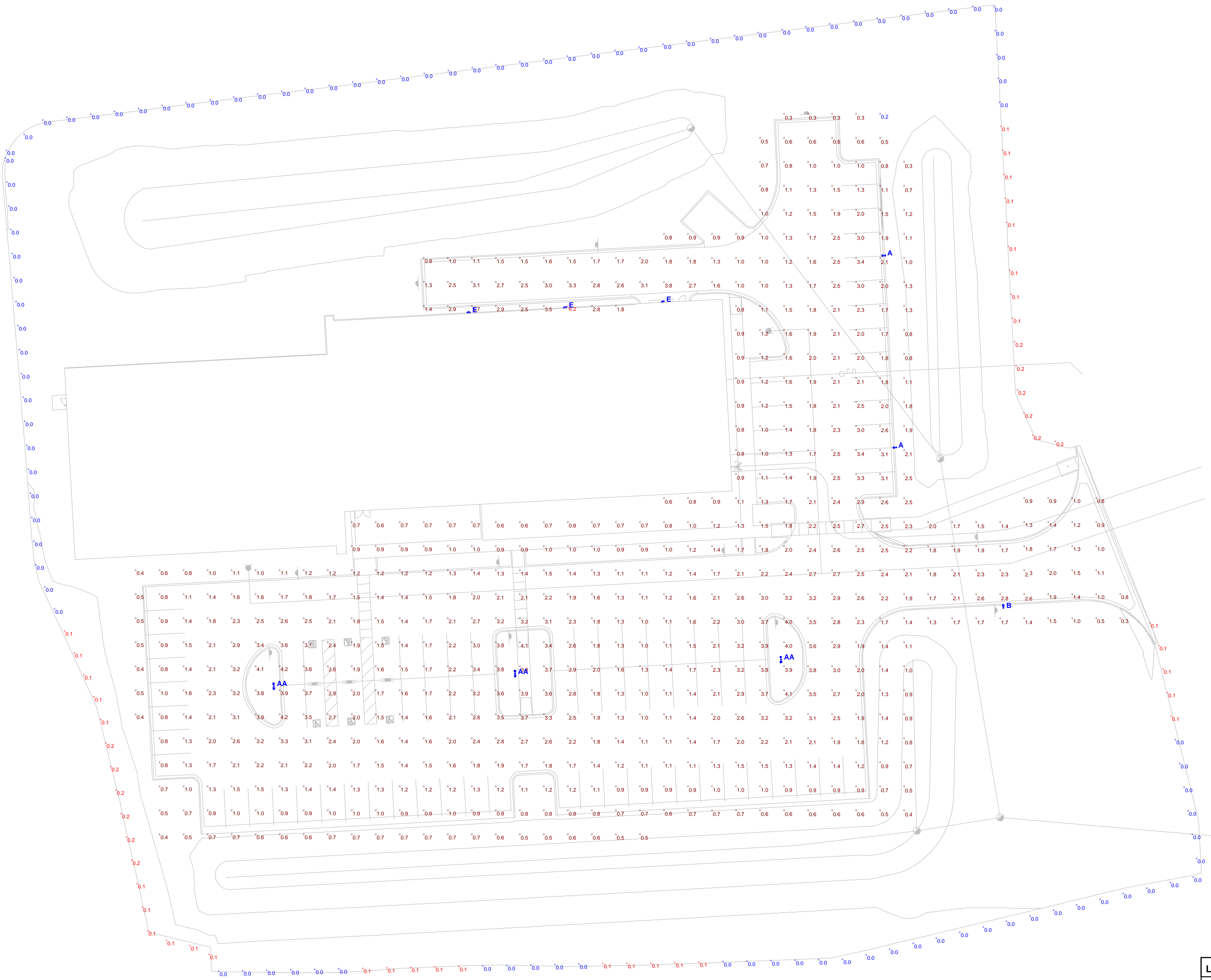
**BIKE RACK DETAIL**  
NOT TO SCALE

<b>JMA MANAGEMENT GROUP, INC.</b>		16940 MARYWOOD DRIVE MACOMB TOWNSHIP, MICHIGAN 48042	
<b>LANDSCAPE DETAILS</b>		ARAYMOND ENGINEERING HEADQUARTERS FACILITY	
PART OF THE SOUTHEAST 1/4 OF SECTION 28, T3N, R1E		CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN	
DES.	ESB	DN.	JMS
		SUR.	XXX
		P.M.	XXX

ORIGINAL ISSUE DATE:  
FEBRUARY 03, 2017  
PEA JOB NO. 2016-330  
SCALE: N/A  
DRAWING NUMBER:

L-1.1





Plan View  
Scale 1" = 20'

### D-Series Size 0 LED Area Luminaire

**Specifications**  
 EPA: 0.95/100  
 Length: 26" (660mm)  
 Width: 13" (330mm)  
 Height: 7" (178mm)  
 Weight: 16 lbs (7.3kg)  
 Mount: 1/2"

**Ordering Information**  
 EXAMPLE: DSX0 LED 40C 1000 40K T3M MVOLT SPA D8X8D

Code	Label	Description	Options	Notes
DSX010	DSX0	DSX0	DSX0	DSX0
DSX010	DSX0	DSX0	DSX0	DSX0

**Accessories**

- DSX010: DSX0 LED 40C 1000 40K T3M MVOLT SPA D8X8D
- DSX010: DSX0 LED 40C 1000 40K T3M MVOLT SPA D8X8D



### D-Series Size 1 LED Wall Luminaire

**Specifications**  
 Width: 13.3" (338mm)  
 Depth: 10" (254mm)  
 Height: 4.5" (114mm)

**Ordering Information**  
 EXAMPLE: DSXW1 LED 20C 1000 40K T3M MVOLT D8X8D

Code	Label	Description	Options	Notes
DSXW10	DSXW1	DSXW1	DSXW1	DSXW1
DSXW10	DSXW1	DSXW1	DSXW1	DSXW1

**Accessories**

- DSXW10: DSXW1 LED 20C 1000 40K T3M MVOLT D8X8D
- DSXW10: DSXW1 LED 20C 1000 40K T3M MVOLT D8X8D

No.	Label	MH
1	AA	25.0
2	AA	25.0
3	AA	25.0
4	A	25.0
5	A	25.0
6	E	9.0
7	E	9.0
8	E	9.0
9	B	25.0

Description	Symbol	Avg	Max	Min
PARKING AND DRIVE AT GRADE	+	1.7 fc	6.2 fc	0.2 fc
PROPERTY LINE AT GRADE	+	0.0 fc	0.2 fc	0.0 fc

Symbol	Label	Qty	Catalog Number	Description	Lamp	LLF	Watts
■	A	2	DSX0 LED 40C 1000 40K T3M MVOLT	DSX0 LED with 40 LEDs @ 1000 mA, 4000K, Type Forward Throw Medium Optics	LED	0.90	138
■	B	1	DSX0 LED 40C 1000 40K T3M MVOLT	DSX0 LED with 40 LEDs @ 1000 mA, 4000K, Type 3 Medium Optics	LED	0.90	138
■	AA	3	DSX0 LED 40C 1000 40K T3M MVOLT	DSX0 LED with 40 LEDs @ 1000 mA, 4000K, Type Forward Throw Medium Optics	LED	0.90	276
■	E	3	DSXW1 LED 20C 530 40K T4M MVOLT	DSXW1 LED WITH (2) 10 LED LIGHT ENGINES, TYPE T4M OPTIC, 4000K, @ 530mA.	LED	0.90	34.9

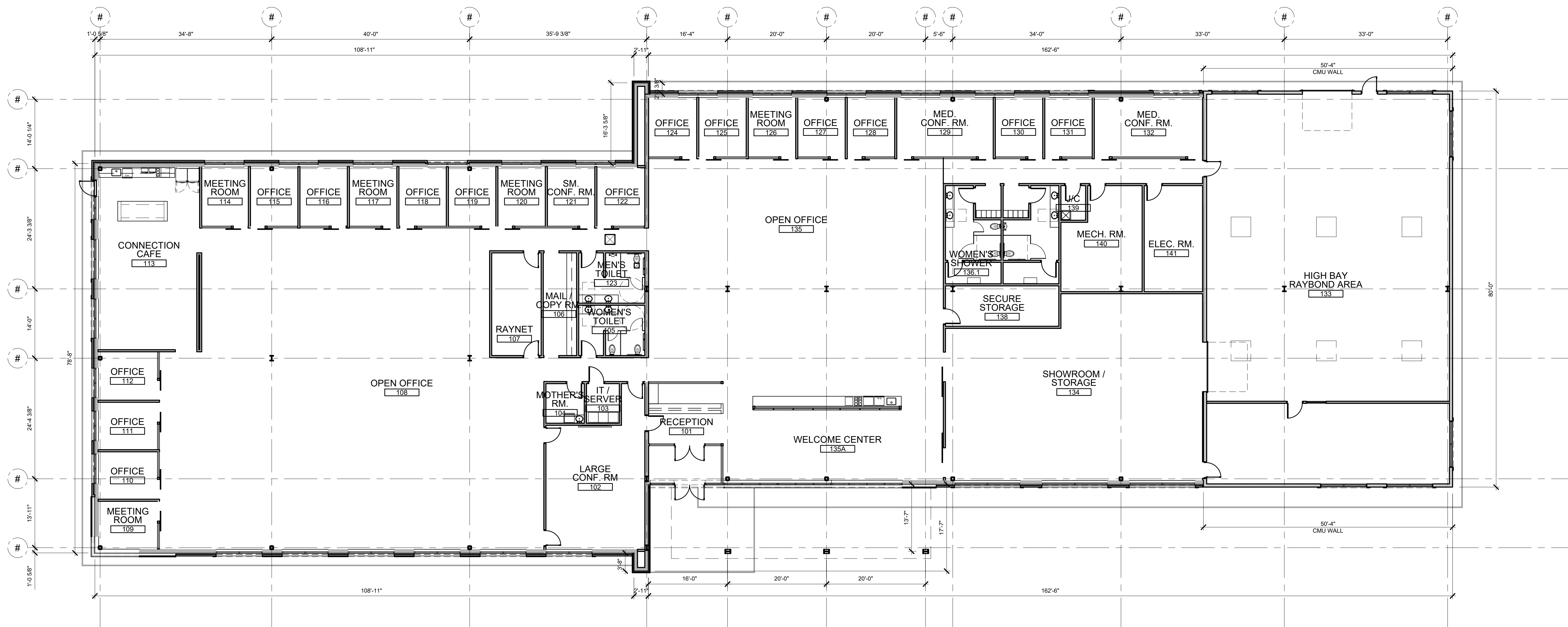


FLOOR PLAN KEY NOTES:

- ① NOTE
- ② NOTE

GENERAL FLOOR PLAN NOTES:

1. THIS DRAWING IS DIAGRAMMATIC AND SHOULD BE USED TO DETERMINE THE DESIGN INTENT. THE CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE SET OF WORK AS INDICATED AND SHALL FIELD VERIFY ALL WORK, COORDINATE ALL DRAWINGS / NEW WORK AND SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN THE DOCUMENTS BEFORE PROCEEDING. FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR TAKING FULL RESPONSIBILITY AND LIABILITY FOR SAID DISCREPANCIES.
2. ALL DIMENSIONS ARE SHOWN FROM FINISH FACE TO FINISH FACE OF PARTITION UNLESS OTHERWISE NOTED.
3. WALL THICKNESS' ARE NOMINAL NOT ACTUAL DIMENSIONS. SEE WALL SCHEDULE FOR ACTUAL DIMENSIONS.
4. ALL WOOD, INCLUDING BLOCKING, USED ON THE PROJECT SHALL BE FIRE RETARDANT TREATED.
5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL, STATE, COUNTY CODE REGULATIONS, O.S.H.A., AND THE AMERICAN WITH DISABILITIES ACT (ADA). REFER TO THE CODE PLAN FOR MORE INFORMATION.
6. PROVIDE POSITIVE SLOPE TO ALL FLOOR DRAINS WHILE KEEPING FLOOR LEVEL AT WALL BASE CONDITION.
7. PROVIDE TRANSITION STRIPS AT EACH CHANGE IN FLOOR FINISH MATERIALS.
8. PAINT, PATCH AND REPAIR THE FOLLOWING TO MATCH EXISTING MATERIALS: FLOOR, WALL, AND CEILING SURFACES AS REQUIRED ADJACENT TO AREAS BEING DEMOLISHED. REFER TO DEMOLITION DRAWINGS FOR MORE INFORMATION.
9. REINFORCE WALL AND PROVIDE BLOCKING AS REQUIRED TO SUPPORT WALL CABINETS AND COUNTERTOPS.
10. THE CONTRACTOR SHALL PROVIDE AND INSTALL WALL REINFORCING FOR INSTALLATION OF ACCESSORIES, COAT RACKS, CHART RACKS, CASEWORK, AND OTHER WALL MOUNTED ITEMS.
11. CLEAN AND REPAIR ALL EXISTING FLOOR FINISHES AS NECESSARY.
12. ALL EXPOSED PIPES, DUCTS, AND CONDUIT TO BE PAINTED TO MATCH EXISTING.
13. PROVIDE CONTROL JOINTS IN GYPSUM BOARD PARTITIONS AT 30'-0" O.C. MAXIMUM AND AS INDICATED IN THE CONTRACT DOCUMENTS.
14. COORDINATE WITH OWNER'S EQUIPMENT SUPPLIER FOR INSTALLATION REQUIREMENTS / LOCATIONS OF FLOOR / WALL / CEILING MOUNTED ITEMS; IE. CAMERAS, TV'S, SPEAKERS, SENSORS, SECURITY WIRING, VAULTS, ATMS.
15. CONTRACTOR SHALL CONDUCT A ROUGH ELECTRICAL INSPECTION WITH OWNER, PRIOR TO ENCLOSING WALLS, FOR THE PURPOSE OF CONFIRMING ALL J-BOX LOCATIONS FOR POWER, DATA, VOICE, SWITCH, THERMOSTAT, ETC.



ARCHITECTURAL FLOOR PLAN  
SCALE: 3/32" = 1'-0"



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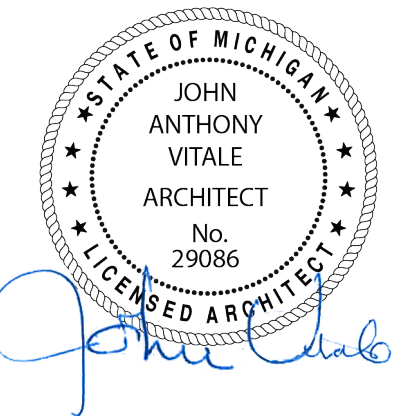
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48309

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- SITE PLAN SUBMITTAL 02.28.17
- SITE PLAN SUBMITTAL #2 03.15.17



Drawn by :  
AD, JRB

Checked by :  
JAV, MJB

Sheet Title :  
OVERALL  
FLOOR PLAN

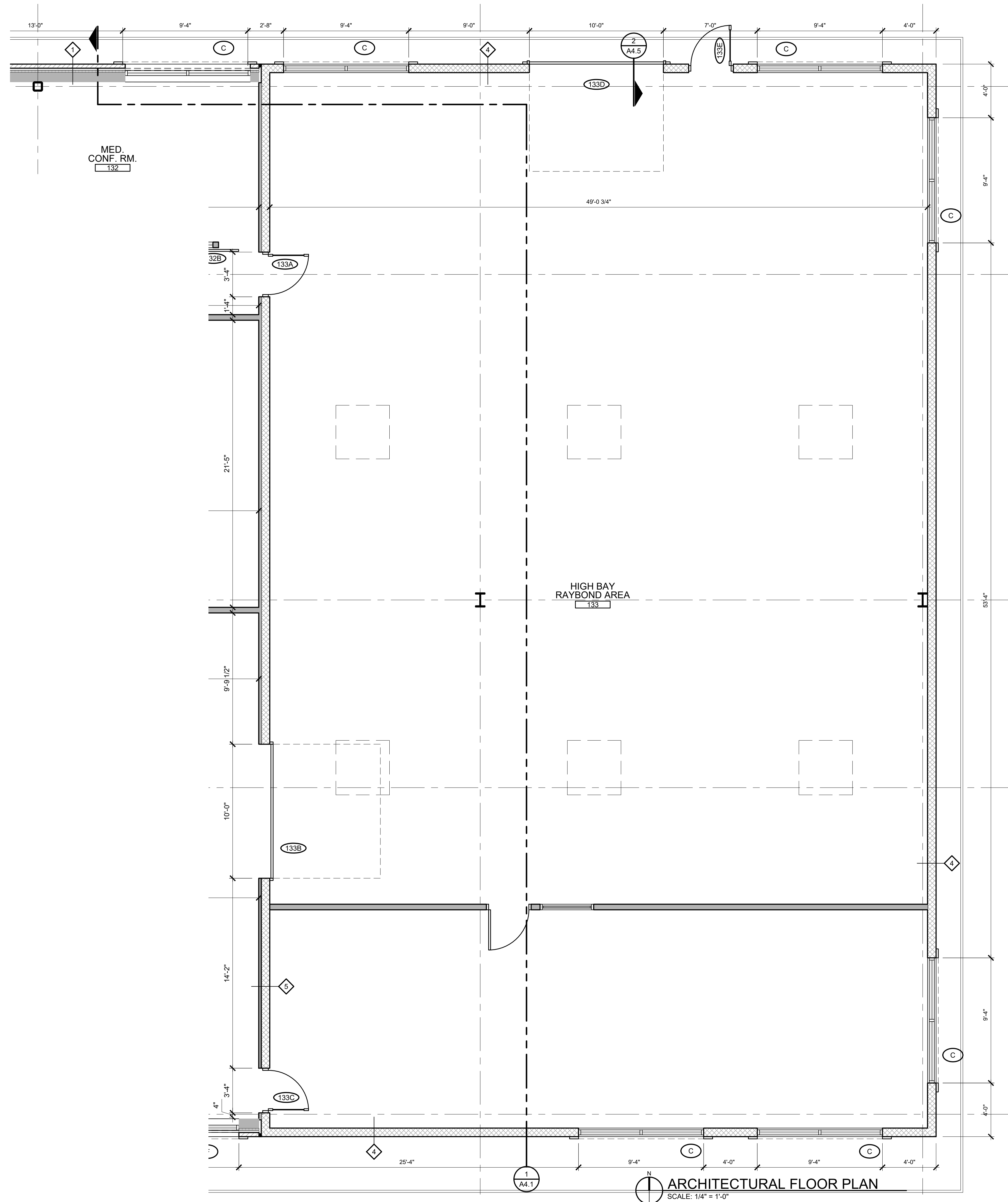
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**FLOOR PLAN KEY NOTES:**

- ① NOTE
- ② NOTE



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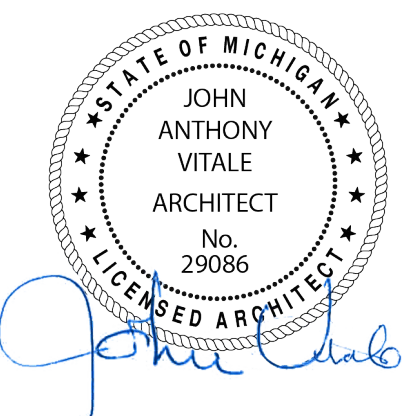
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 PARTIAL FLOOR PLAN

**Project No. :**  
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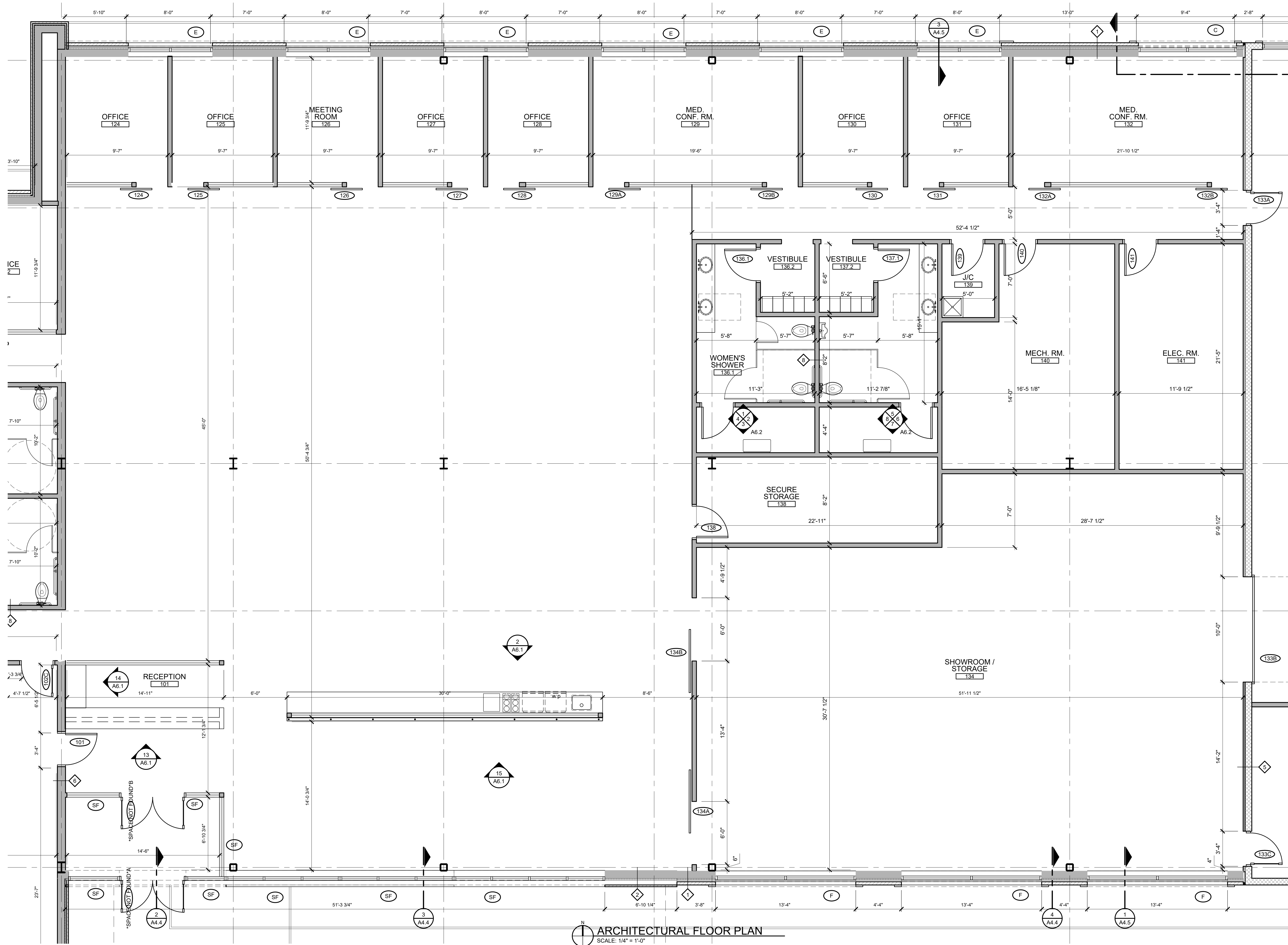
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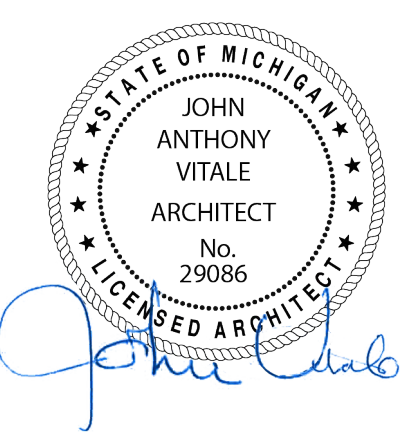
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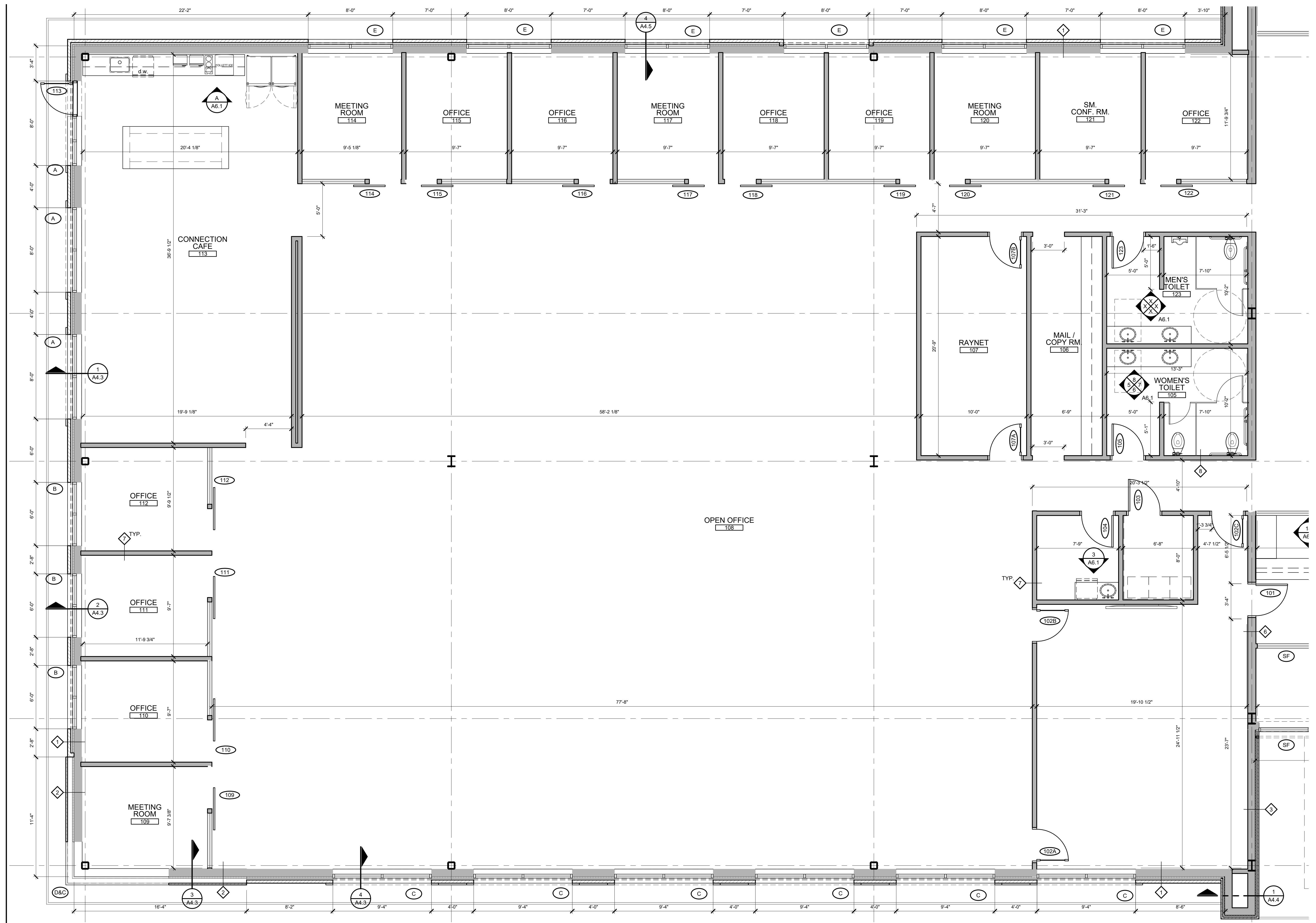
ARCHITECTURAL FLOOR PLAN  
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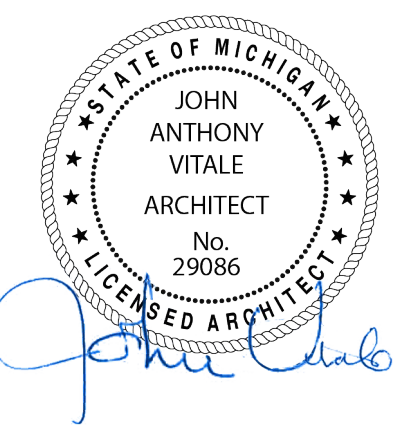
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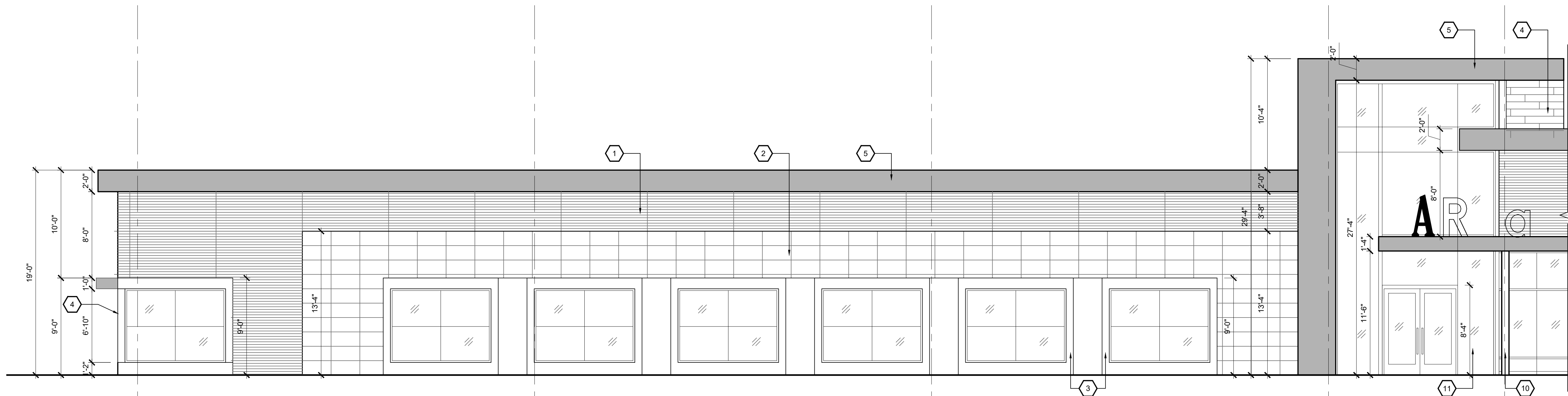
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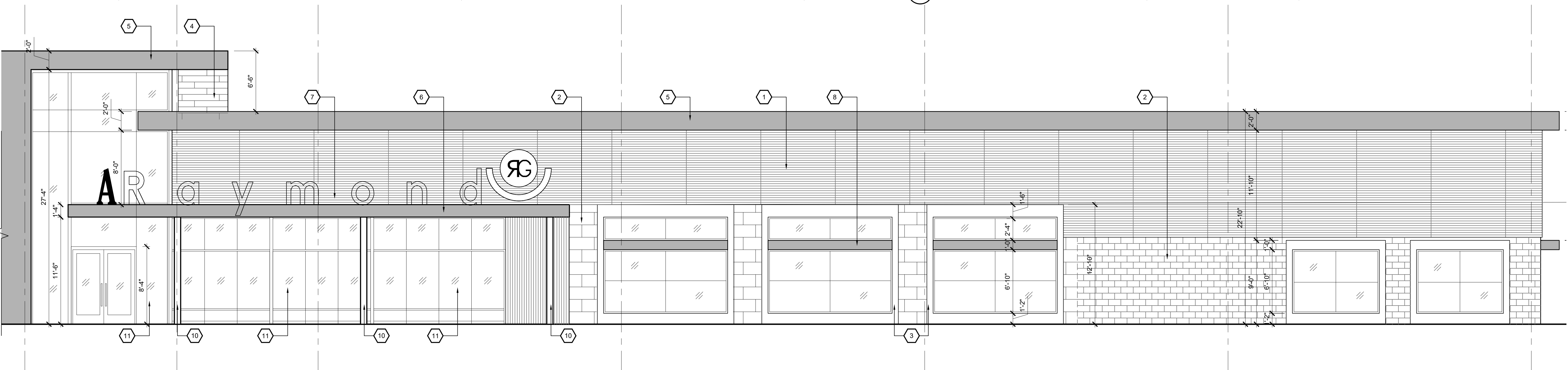
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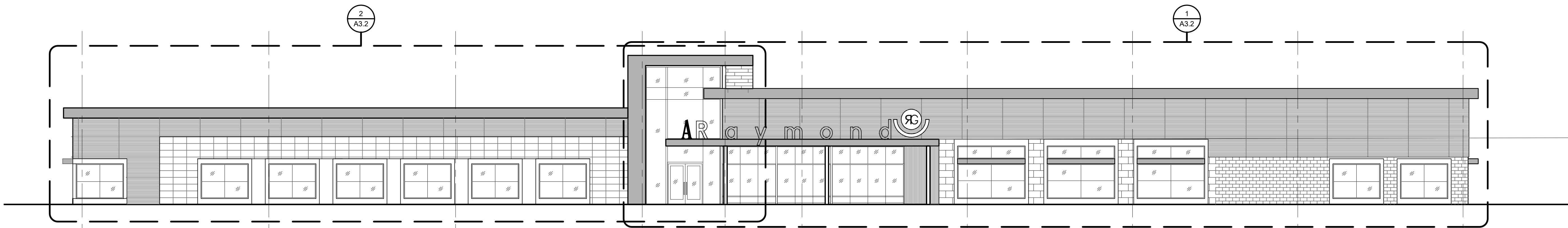




2 S. ELEVATION - PARTIAL  
A3.2 SCALE: 3/16" = 1'-0"



1 S. ELEVATION - PARTIAL  
A3.2 SCALE: 3/16" = 1'-0"



1 S. ELEVATION  
A1.1 SCALE: 3/32" = 1'-0"

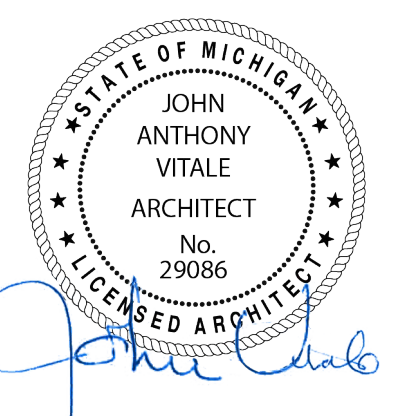
- ELEVATION KEY NOTES:** #
1. CORRUGATED METAL PANEL IN ACCENT COLOR
  2. BURNISHED BLOCK 16"x24" UNITS - STACKED
  3. ACCENT COLOR WINDOW FRAME ASSEMBLY
  4. CEDAR PLANKS
  5. ACCENT COLOR COPING
  6. LOUVERED METAL CANOPY - WHITE
  7. PINNED LETTERS SIGN W/ BACK LIGHTING
  8. LOUVERED METAL CANOPY / LIGHT SHELF
  9. INTERNALLY LIT SIGN
  10. METAL WRAP COLUMNS
  11. STOREFRONT GLASS



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**Sheet Title :**  
EXTERIOR  
ELEVATIONS

**Project No. :**  
2016.143

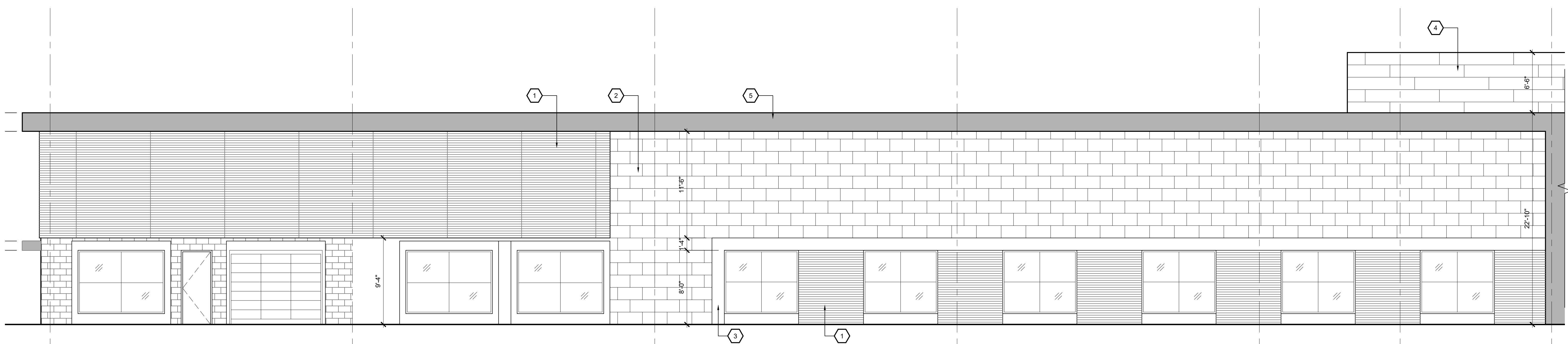
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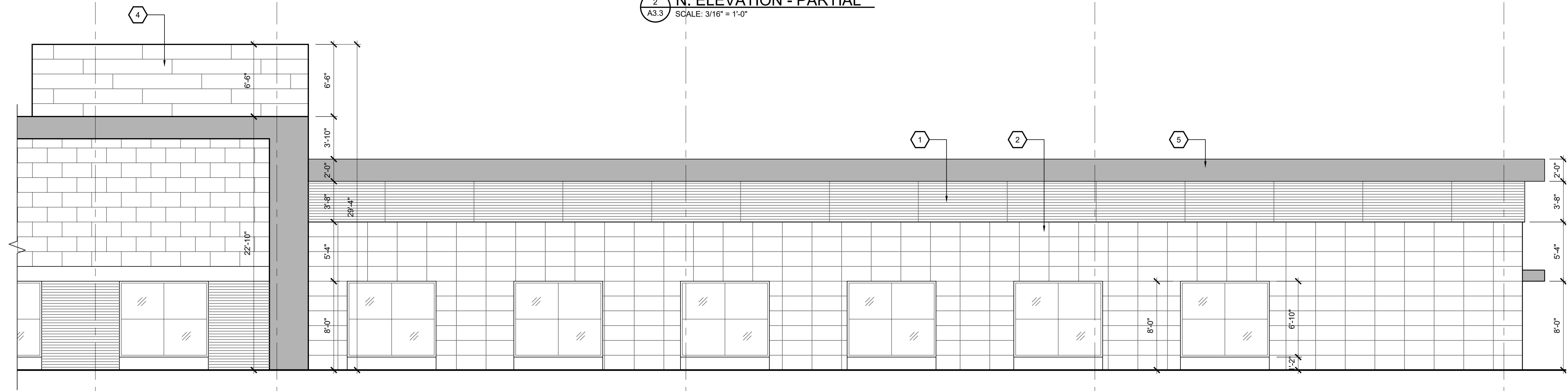
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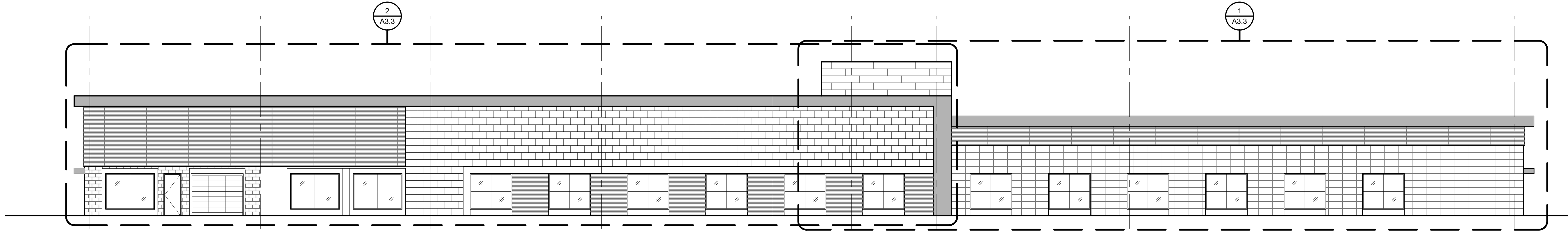
2  
A3.3  
N. ELEVATION - PARTIAL  
SCALE: 3/16" = 1'-0"

ELEVATION KEY NOTES: #

1. CORRUGATED METAL PANEL IN ACCENT COLOR
2. BURNISHED BLOCK 16"x24" UNITS - STACKED
3. ACCENT COLOR WINDOW FRAME ASSEMBLY
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11. STOREFRONT GLASS



1  
A3.3  
N. ELEVATION - PARTIAL  
SCALE: 3/16" = 1'-0"



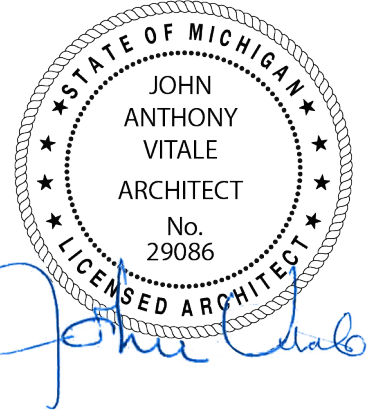
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N. ELEVATION  
SCALE: 3/32" = 1'-0"

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EXTERIOR ELEVATIONS

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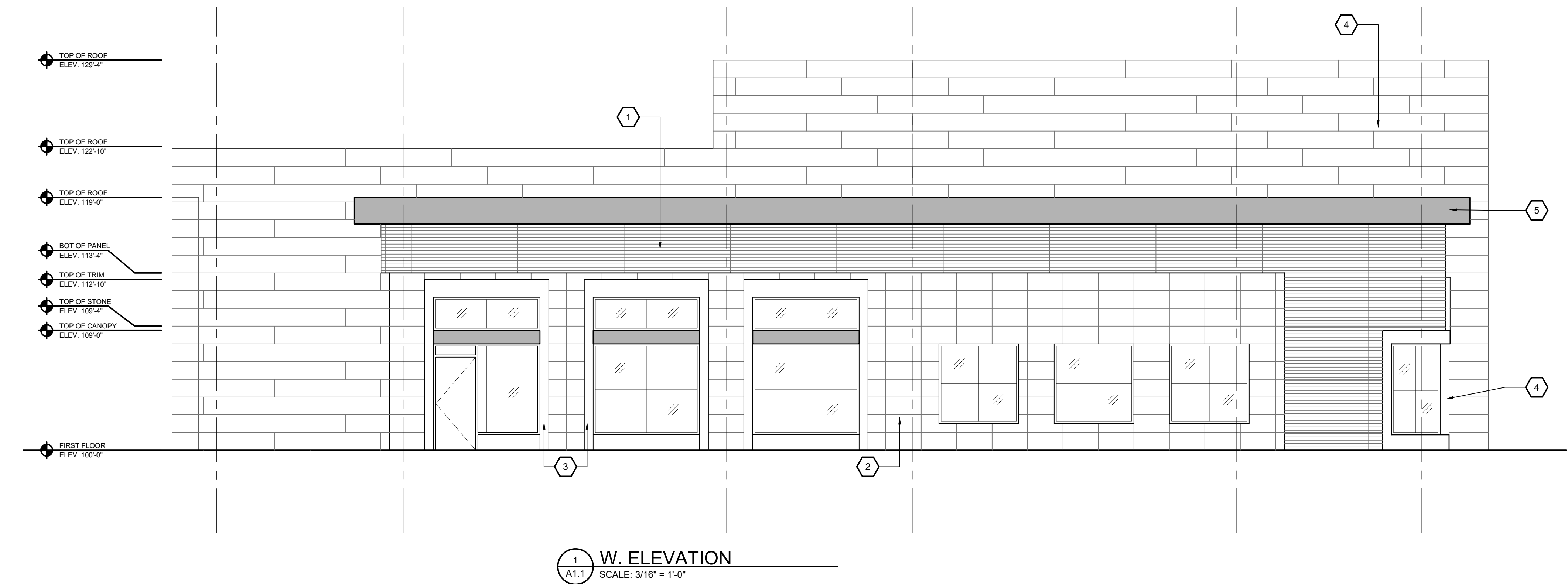
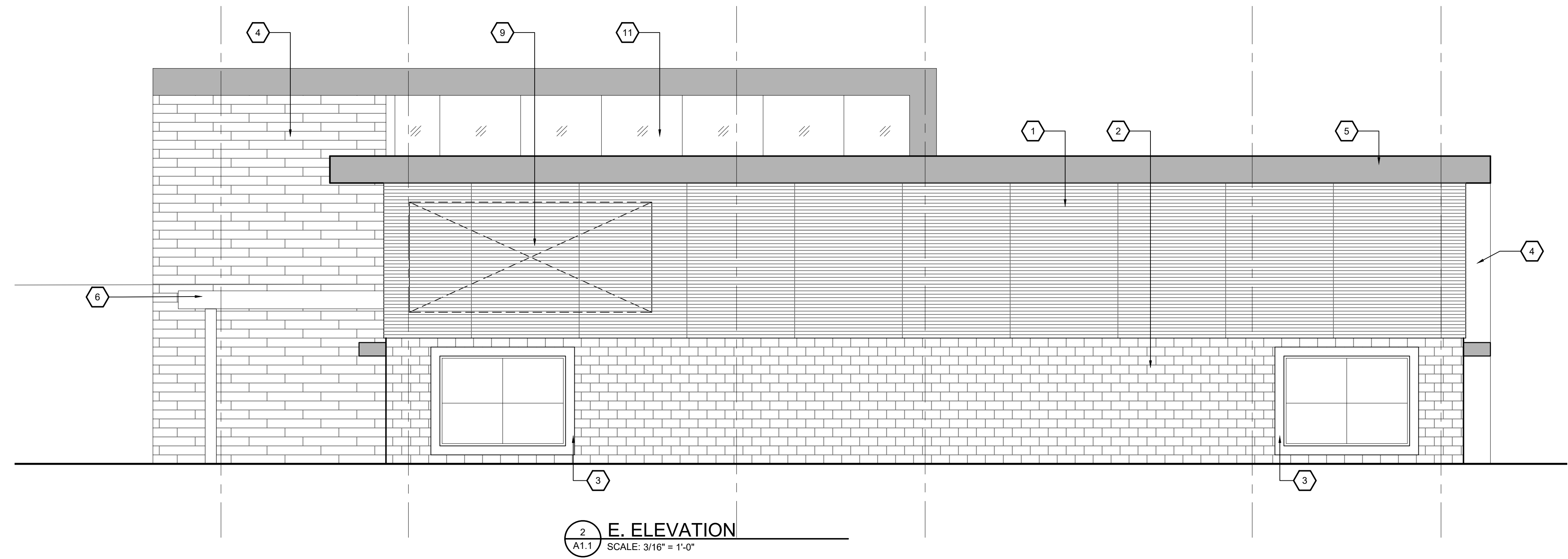
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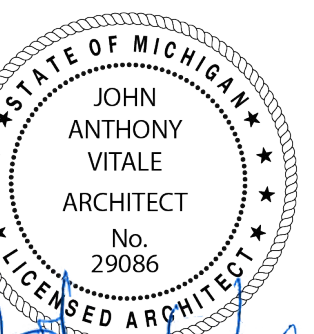
Project :

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