

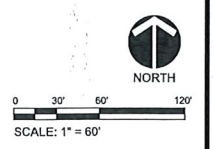
ROCHESTER HILLS

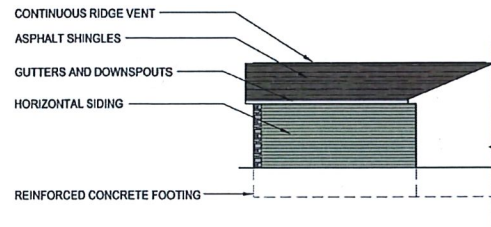
AVON RD, ROCHESTER HILLS
OAKLAND COUNTY, MI



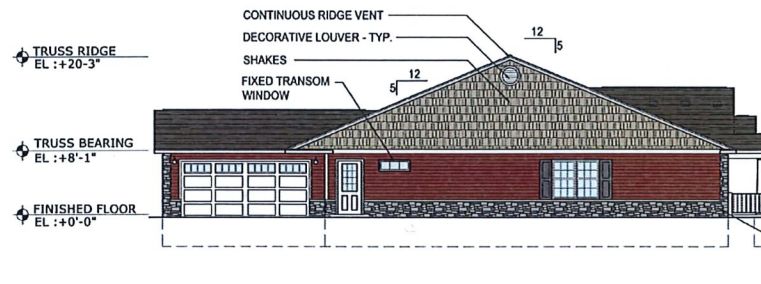
LEGEND

- SHADE TREES - 3" CALIPER FOR ROW, BUFFERS AND STORMWATER REQUIREMENTS, 2-1/2" CALIPER FOR ALL OTHERS
PACIFIC SUNSET MAPLE, LEGACY SUGAR MAPLE, LONDON PLANE TREE, VALLEY FORGE ELM, LINDEN
- ORNAMENTAL TREES - 2" CALIPER or 6'
CRABAPPLES, MAGNOLIA, TREE LILAC, RIVER BIRCH
- EVERGREEN TREES - 10' HT. FOR ROW, BUFFERS AND STORMWATER REQUIREMENTS, 6' HT. FOR ALL OTHERS
GREEN SPRUCE, SERBIAN SPRUCE, DOUGLAS FIR, NORWAY SPRUCE
- SHRUBS - LARGE 30" FOR BUFFER & SMALL 3 GAL
DENSI YEW, VIBURNUM, BURNING BUSH, WINTERBERRY, JUNIPER, SPIRAEA, DOGWOOD, LILAC
- GRASSES/PERENNIALS - 1 GAL
DAYLILY, MAIDEN GRASS, FEATHER REED GRASS, BLACK-EYED SUSAN
- EXISTING WOODED AREAS
- EXISTING WETLANDS
- RETENTION POND

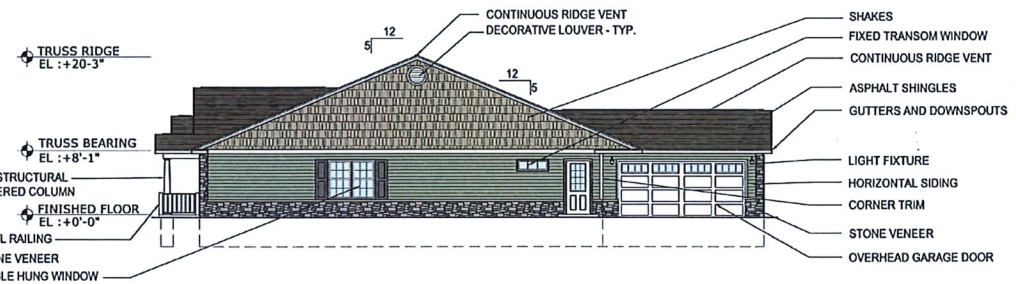




6 PARTIAL SIDE ELEVATION
A4.9 SCALE: 3/32" = 1'-0"



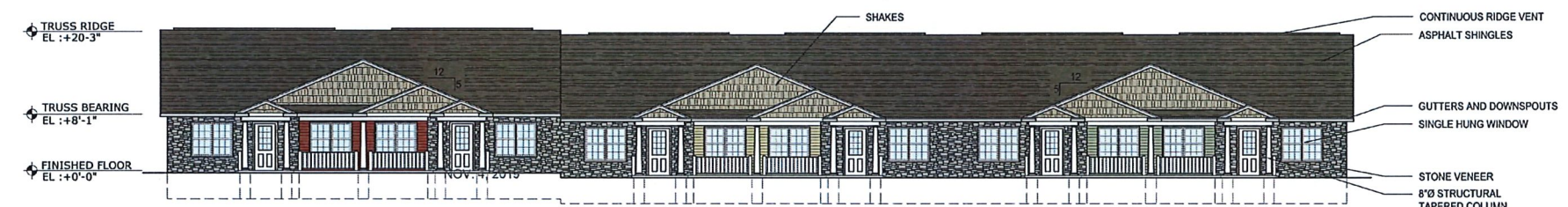
5 HIGH PROFILE SIDE ELEVATION
A4.9 SCALE: 3/32" = 1'-0"



4 HIGH PROFILE SIDE ELEVATION
A4.9 SCALE: 3/32" = 1'-0" FACES DEQUINDRE ROAD



3 REAR ELEVATION
A4.9 SCALE: 3/32" = 1'-0"



2 FRONT ELEVATION
A4.9 SCALE: 3/32" = 1'-0" FACES DEQUINDRE ROAD

BUILDING EXTERIOR FINISH INFORMATION

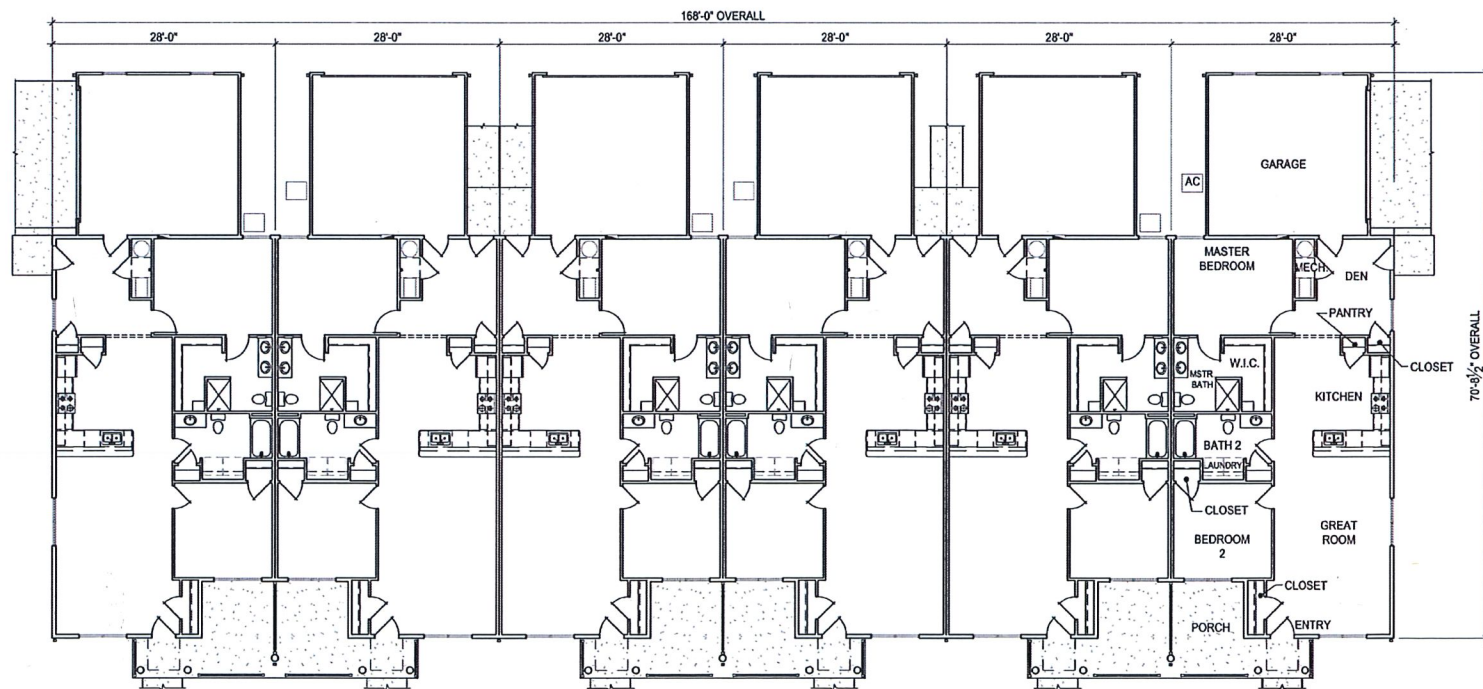
ITEM:	AREA:	PERCENT OF ELEVATION COVERAGE
BUILDING FLOOR AREA:	10,464 SQ.FT.	
FRONT PORCH AREA:	924 SQ.FT. 154 SQ.FT. PER UNIT	
FRONT ELEVATION		
DOORS / WINDOWS		29%
VINYL (SIDING / SHAKES)		32%
STONE		36%
COLUMNS		3.6%
REAR ELEVATION		
DOORS / WINDOWS		43%
VINYL (SIDING / SHAKES)		32%
STONE		26%
COLUMNS		N/A
LEFT ELEVATION		
DOORS / WINDOWS		19%
VINYL (SIDING / SHAKES)		67%
STONE		14%
COLUMNS		0.4%
RIGHT ELEVATION		
DOORS / WINDOWS		19%
VINYL (SIDING / SHAKES)		67%
STONE		14%
COLUMNS		0.4%

EXTERIOR FINISH MATERIAL SELECTIONS

ITEM:	MATERIAL / STYLE:	COLOR:
DECORATIVE LOUVER	VINYL	WHITE
ASPHALT SHINGLES	DIMENSIONAL 30 YEAR LAMINATED	WEATHERED WOOD
GUTTERS AND DOWNSPOUTS	PREFINISHED ALUMINUM	WHITE
HORIZONTAL SIDING	VINYL	VARIES
SHAKES	VINYL	VARIES
CORNER TRIM	VINYL	WHITE
STONE VENEER	PRESTIGE	OHIO WHITE VEIN
OVERHEAD GARAGE DOOR	RAISED PANEL PAN STEEL	WHITE
SINGLE HUNG	VINYL	STANDARD WHITE WITH COLONIAL PATTERN FLAT GRIDS
6'-6" X 6'-8" SLIDING PATIO DOOR	VINYL	WHITE

NOTE:
ADDRESS FOR EACH UNIT TO BE PLACED IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD.

NOTE:
FRONT AND (1) SIDE ELEVATION FACE DEQUINDRE ROAD



1 OVERALL FLOOR PLAN
A4.9 SCALE: 3/32" = 1'-0" BUILDING L

PRELIMINARY

NOTE!!!
THIS DRAWING IS NOT FOR CONSTRUCTION

REVISIONS

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Fairlawn, OH 44333
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MPG
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ARCHITECTS

BUILDING PLAN AND ELEVATIONS

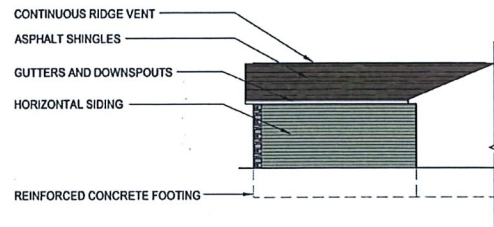
PROJECT #: 6919 DATE: NOVEMBER 4, 2019

REDWOOD ROCHESTER HILLS

E. AVON ROAD
ROCHESTER HILLS, MICHIGAN 48307

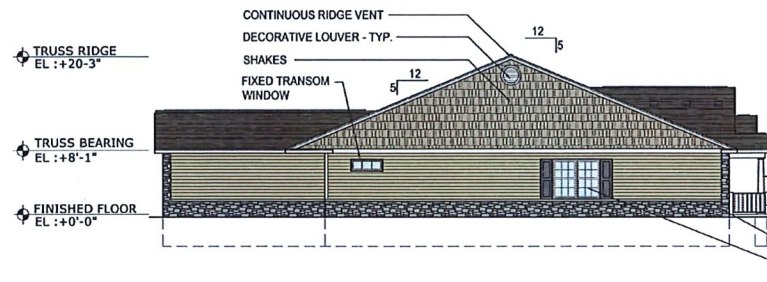


A4.9
9 OF 20



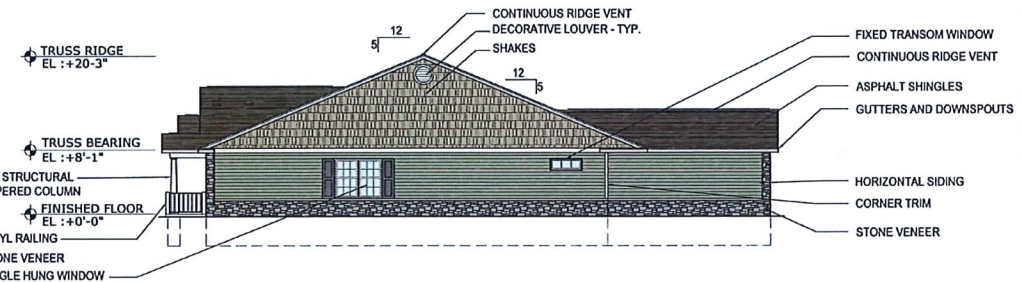
6 PARTIAL SIDE ELEVATION

A4.11 SCALE: 3/32" = 1'-0"



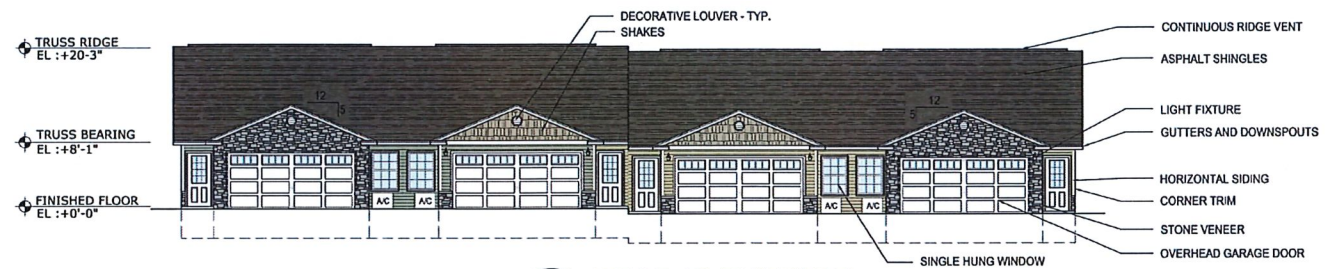
5 HIGH PROFILE SIDE ELEVATION

A4.11 SCALE: 3/32" = 1'-0"



4 HIGH PROFILE SIDE ELEVATION

A4.11 SCALE: 3/32" = 1'-0"



3 REAR ELEVATION

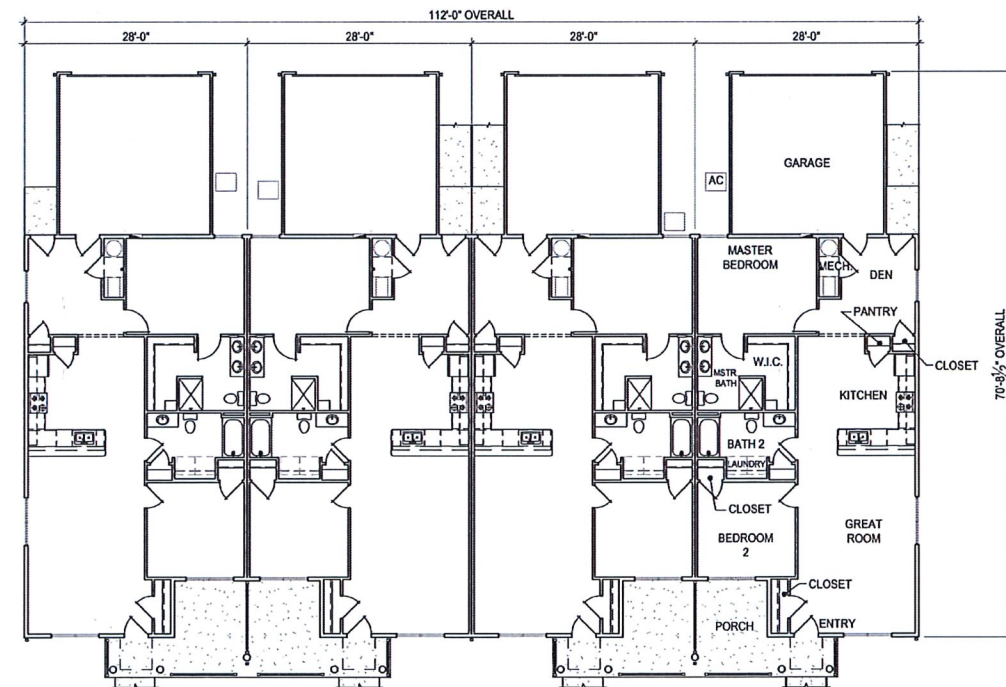
A4.11 SCALE: 3/32" = 1'-0"



2 FRONT ELEVATION

A4.11 SCALE: 3/32" = 1'-0"

FACES DEQUINDRE ROAD



1 OVERALL FLOOR PLAN

A4.11 SCALE: 3/32" = 1'-0"

BUILDING N

BUILDING EXTERIOR FINISH INFORMATION

ITEM:	AREA:	PERCENT OF ELEVATION COVERAGE
BUILDING FLOOR AREA:	6,975 SQ.FT.	
FRONT PORCH AREA	616 SQ.FT.	
	154 SQ.FT. PER UNIT	
FRONT ELEVATION		
DOORS / WINDOWS		28%
VINYL (SIDING / SHAKES)		31%
STONE		37%
COLUMNS		3.6%
REAR ELEVATION		
DOORS / WINDOWS		53%
VINYL (SIDING / SHAKES)		29%
STONE		18%
COLUMNS		N/A
LEFT ELEVATION		
DOORS / WINDOWS		4%
VINYL (SIDING / SHAKES)		78%
STONE		18%
COLUMNS		0.4%
RIGHT ELEVATION		
DOORS / WINDOWS		4%
VINYL (SIDING / SHAKES)		78%
STONE		18%
COLUMNS		0.4%

EXTERIOR FINISH MATERIAL SELECTIONS

ITEM:	MATERIAL / STYLE:	COLOR:
DECORATIVE LOUVER	VINYL	WHITE
ASPHALT SHINGLES	DIMENSIONAL 30 YEAR LAMINATED	WEATHERED WOOD
GUTTERS AND DOWNSPOUTS	PREFINISHED ALUMINUM	WHITE
HORIZONTAL SIDING	VINYL	VARIES
SHAKES	VINYL	VARIES
CORNER TRIM	VINYL	WHITE
STONE VENEER	PRESTIGE	OHIO WHITE VEIN
OVERHEAD GARAGE DOOR	RAISED PANEL PAN STEEL	WHITE
SINGLE HUNG	VINYL	STANDARD WHITE WITH COLONIAL PATTERN FLAT GRIDS
6'-6" X 6'-8" SLIDING PATIO DOOR	VINYL	WHITE

NOTE:
ADDRESS FOR EACH UNIT TO BE PLACED IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD.

NOTE:
FRONT ELEVATION
FACES DEQUINDRE ROAD

PRELIMINARY

NOTE!!!
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BUILDING PLAN AND ELEVATIONS

DATE: NOVEMBER 4, 2019

PROJECT #: 6919

REDWOOD ROCHESTER HILLS

E. AVON ROAD
ROCHESTER HILLS, MICHIGAN 48307



A4.11

11 OF 20

REVISIONS

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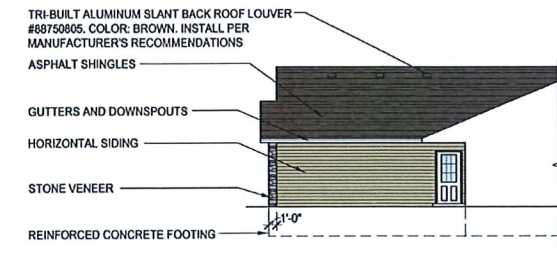
BUILDING PLAN AND ELEVATIONS

DATE: NOVEMBER 4, 2019

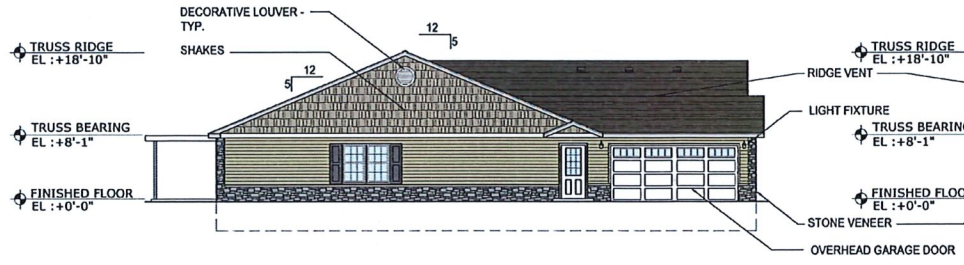
PROJECT #: 6919

REDWOOD ROCHESTER HILLS

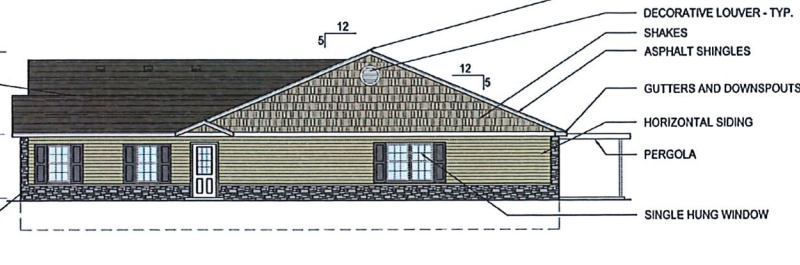
E. AVON ROAD
 ROCHESTER HILLS, MICHIGAN 48307



6 PARTIAL SIDE ELEVATION
 A4.15 SCALE: 3/32" = 1'-0"



5 HIGH PROFILE SIDE ELEVATION
 A4.15 SCALE: 3/32" = 1'-0"



4 HIGH PROFILE SIDE ELEVATION
 A4.15 SCALE: 3/32" = 1'-0"



3 REAR ELEVATION
 A4.15 SCALE: 3/32" = 1'-0"



2 FRONT ELEVATION
 A4.15 SCALE: 3/32" = 1'-0"

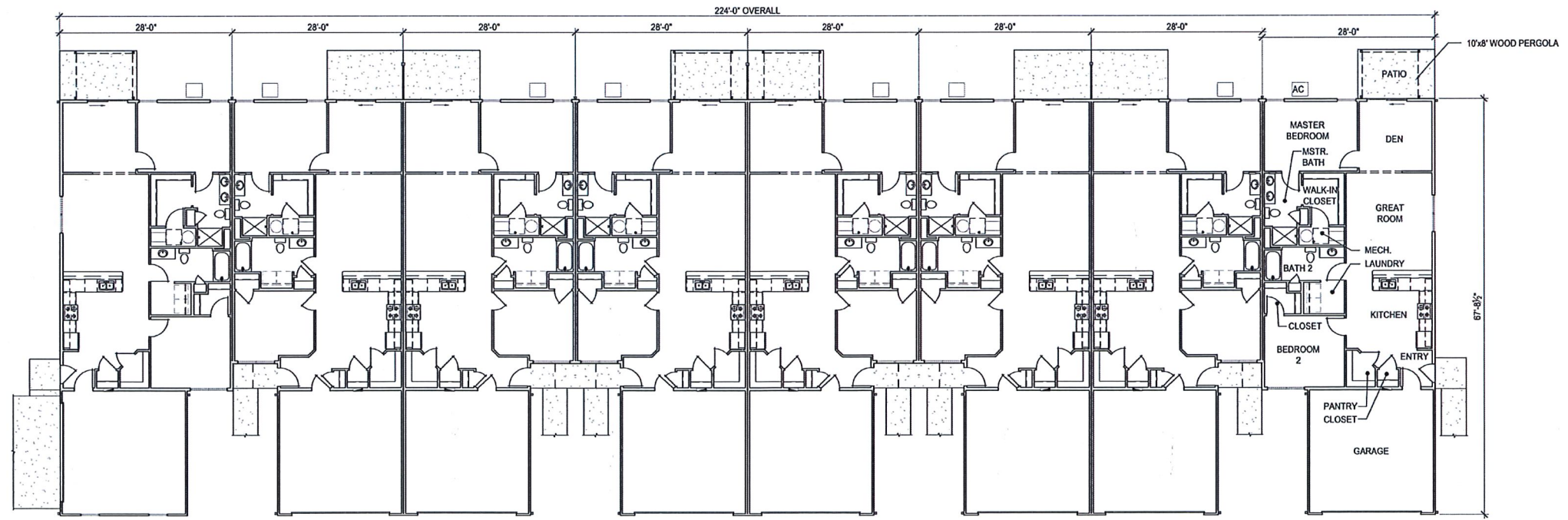
BUILDING EXTERIOR FINISH INFORMATION

ITEM:	AREA:	PERCENT OF ELEVATION COVERAGE
BUILDING FLOOR AREA:	13,780 SQ.FT.	
FRONT PORCH AREA:	225 SQ.FT.	
	28.13 SQ.FT. PER UNIT (AVERAGE)	
FRONT ELEVATION		
DOORS / WINDOWS		45%
VINYL (SIDING / SHAKES)		34%
STONE		21%
COLUMNS		N/A
REAR ELEVATION		
DOORS / WINDOWS		33%
VINYL (SIDING / SHAKES)		46%
STONE		21%
COLUMNS		N/A
LEFT ELEVATION		
DOORS / WINDOWS		21%
VINYL (SIDING / SHAKES)		68%
STONE		14%
COLUMNS		N/A
RIGHT ELEVATION		
DOORS / WINDOWS		10%
VINYL (SIDING / SHAKES)		71%
STONE		19%
COLUMNS		N/A

EXTERIOR FINISH MATERIAL SELECTIONS

ITEM:	MATERIAL / STYLE:	COLOR:
DECORATIVE LOUVER	VINYL	WHITE
ASPHALT SHINGLES	DIMENSIONAL 30 YEAR LAMINATED	WEATHERED WOOD
GUTTERS AND DOWNSPOUTS	PREFINISHED ALUMINUM	WHITE
HORIZONTAL SIDING	VINYL	VARIES
SHAKES	VINYL	VARIES
CORNER TRIM	VINYL	WHITE
STONE VENEER	PRESTIGE	OHIO WHITE VEIN
OVERHEAD GARAGE DOOR	RAISED PANEL PAN STEEL	WHITE
SINGLE HUNG	VINYL	STANDARD WHITE WITH COLONIAL PATTERN FLAT GRIDS
6'-6" X 6'-8" SLIDING PATIO DOOR	VINYL	WHITE

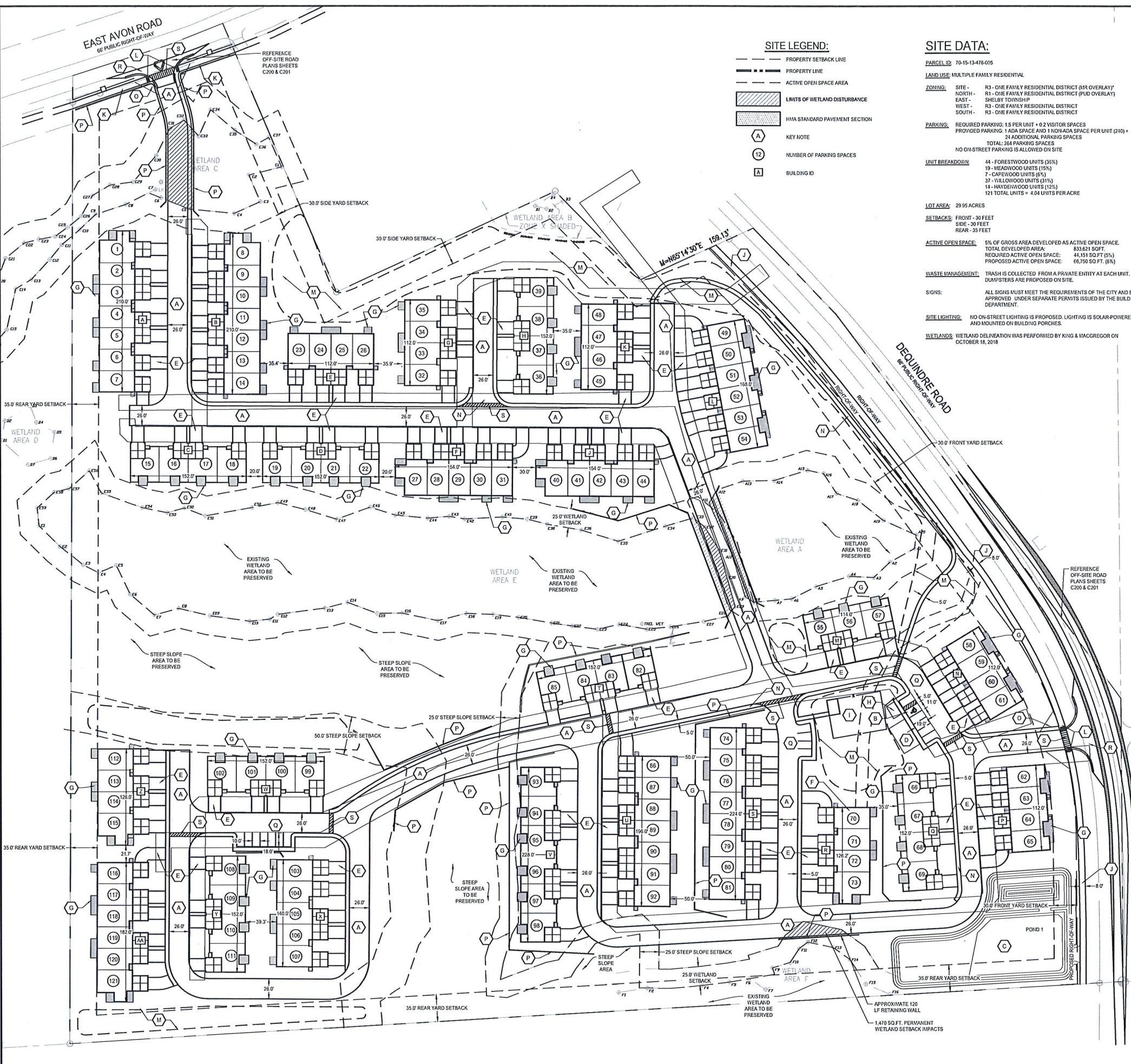
NOTE:
 ADDRESS FOR EACH UNIT TO BE PLACED IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD.



1 OVERALL FLOOR PLAN
 A4.15 SCALE: 3/32" = 1'-0"

BUILDING S

ARCH D 24235
C:\Redwood\11022018\000\REDWOOD - ROCHESTER HILLS\4.0 Design\1. Civil\PLAT\FULSC100 OVERALL SITE PLAN.dwg
11/02/2018 11:51 AM



SITE LEGEND:

- PROPERTY SETBACK LINE
- PROPERTY LINE
- ACTIVE OPEN SPACE AREA
- [Hatched Box] LIMITS OF WETLAND DISTURBANCE
- [Dotted Box] IMA STANDARD PAVEMENT SECTION
- (A) KEY NOTE
- (12) NUMBER OF PARKING SPACES
- (A) BUILDING ID

SITE DATA:

PARCEL ID: 70-15-13-476-005
LAND USE: MULTIPLE FAMILY RESIDENTIAL
ZONING: R3 - ONE FAMILY RESIDENTIAL DISTRICT (NR OVERLAY)
 NORTH - R1 - ONE FAMILY RESIDENTIAL DISTRICT (PUD OVERLAY)
 EAST - SHELBY TOWNSHIP
 WEST - R3 - ONE FAMILY RESIDENTIAL DISTRICT
 SOUTH - R3 - ONE FAMILY RESIDENTIAL DISTRICT
PARKING: REQUIRED PARKING: 1.5 PER UNIT + 0.2 VISITOR SPACES
 PROVIDED PARKING: 1 ADA SPACE AND 1 HOV/ADA SPACE PER UNIT (210) +
 24 ADDITIONAL PARKING SPACES
 TOTAL: 264 PARKING SPACES
 NO ON-STREET PARKING IS ALLOWED ON SITE
UNIT BREAKDOWN: 44 - FORESTWOOD UNITS (35%)
 19 - MEADOWOOD UNITS (15%)
 7 - CAPEWOOD UNITS (6%)
 37 - WILLOWOOD UNITS (31%)
 14 - WATERSHED UNITS (12%)
 121 TOTAL UNITS = 4.04 UNITS PER ACRE
LOT AREA: 29.95 ACRES
SETBACKS: FRONT - 30 FEET
 SIDE - 30 FEET
 REAR - 35 FEET
ACTIVE OPEN SPACE: 5% OF GROSS AREA DEVELOPED AS ACTIVE OPEN SPACE.
 TOTAL DEVELOPED AREA: 83,621 SQ.FT.
 REQUIRED ACTIVE OPEN SPACE: 41,151 SQ.FT. (5%)
 PROPOSED ACTIVE OPEN SPACE: 68,750 SQ.FT. (8%)
WASTE MANAGEMENT: TRASH IS COLLECTED FROM A PRIVATE ENTITY AT EACH UNIT. NO
 DUMPSTERS ARE PROPOSED ON SITE.
SIGNS: ALL SIGNS MUST MEET THE REQUIREMENTS OF THE CITY AND BE
 APPROVED UNDER SEPARATE PERMITS ISSUED BY THE BUILDING
 DEPARTMENT.
SITE LIGHTING: NO ON-STREET LIGHTING IS PROPOSED. LIGHTING IS SOLAR-POWERED
 AND MOUNTED ON BUILDING PORCHES.
WETLANDS: WETLAND DELINEATION WAS PERFORMED BY KING & MACGREGOR ON
 OCTOBER 18, 2018

GENERAL NOTES:

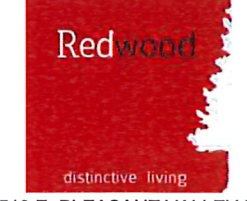
1. THE UNDERGROUND STRUCTURES AND UTILITIES SHOWN ON THESE PLANS HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORD MAPS. THEY ARE NOT CERTIFIED TO THE ACCURACY OF THEIR LOCATION AND/OR COMPLETENESS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND EXTENT OF ALL UNDERGROUND STRUCTURES AND UTILITIES PRIOR TO ANY DIGGING OR CONSTRUCTION ACTIVITIES IN THEIR VICINITY.
2. THE CONTRACTOR SHALL PERFORM ALL WORK IN COMPLIANCE WITH TITLE 29 OF FEDERAL REGULATIONS, PART 1926, SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION (OSHA)
3. ALL ROADS AND PRIVATE DRIVES SHALL BE KEPT CLEAN OF MUD, DEBRIS ETC. AT ALL TIMES.
4. REFER TO ARCHITECTURAL DRAWINGS FOR PRECISE BUILDING DIMENSIONS.
5. THE CONTRACTOR SHALL CONSULT THE CONSTRUCTION MANAGER BEFORE DEVIATING FROM THESE PLANS.
6. IN ALL TRENCH EXCAVATIONS, CONTRACTOR MUST LAY THE TRENCH SIDE SLOPES BACK TO A SAFE SLOPE. USE A TRENCH SHIELD OR PROVIDE SHEETING AND BRACING.
7. ALL EXISTING SURFACE APPURTENANCES (I.E. WATER VALVES, CATCH BASIN FRAMES AND GRATES, MANHOLE COVERS) WITHIN THE PROJECT LIMITS SHALL BE ADJUSTED TO FINISHED GRADE.
8. AREAS DISTURBED OR DAMAGED AS PART OF THIS PROJECT'S CONSTRUCTION THAT ARE OUTSIDE OF THE PRIVATE WORK AREA SHALL BE RESTORED, AT THE CONTRACTOR'S EXPENSE, TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.
9. THE CONTRACTOR SHALL CALL "MISS DIG" AT LEAST 3 WORKING DAYS (EXCLUDING WEEKENDS AND HOLIDAYS) PRIOR TO CONSTRUCTION.
10. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE APPLICABLE CODES, ORDINANCES, DESIGN STANDARDS AND STANDARD SPECIFICATIONS OF THE AGENCIES WHICH HAVE THE RESPONSIBILITY OF REVIEWING PLANS AND SPECIFICATIONS FOR CONSTRUCTION OF ALL ITEMS INCLUDED IN THESE PLANS.
11. UNLESS SPECIFICALLY STATED, THE CONTRACTOR SHALL APPLY FOR AND OBTAIN ALL NECESSARY PERMITS AS REQUIRED FOR CONSTRUCTION OF THIS PROJECT PRIOR TO THE BEGINNING OF WORK FROM THE PREVIOUSLY MENTIONED AGENCIES.
12. THE CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
13. WHEN ANY EXISTING UTILITY REQUIRES ADJUSTMENT OR RELOCATION, THE CONTRACTOR SHALL NOTIFY THE PROPER UTILITY COMPANY AND COORDINATE THE WORK ACCORDINGLY. THERE SHALL BE NO CLAIM MADE BY THE CONTRACTOR FOR ANY COSTS CAUSED BY DELAYS IN CONSTRUCTION DUE TO THE ADJUSTMENT OR RELOCATION OF UTILITIES.
14. THE CONTRACTOR IS TO VERIFY THAT THE PLANS AND SPECIFICATIONS THAT REFERENCE BUILDING FROM ARE THE VERY LATEST PLANS AND SPECIFICATIONS THAT HAVE BEEN APPROVED BY ALL APPLICABLE PERMIT-ISSUING AGENCIES AND THE OWNER. ALL ITEMS CONSTRUCTED BY THE CONTRACTOR PRIOR TO RECEIVING THE FINAL APPROVAL AND PERMITS HAVING TO BE ADJUSTED OR RE-DONE, SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.
15. SHOULD THE CONTRACTOR ENCOUNTER CONFLICT BETWEEN THESE PLANS AND SPECIFICATIONS, EITHER AMONG THEMSELVES OR WITH THE REQUIREMENTS OF ANY AND ALL REVIEWING AND PERMIT-ISSUING AGENCIES, HE/SHE SHALL SEEK CLARIFICATION IN WRITING FROM THE CONSTRUCTION MANAGER BEFORE COMMENCEMENT OF CONSTRUCTION. FAILURE TO DO SO SHALL BE AT THE SOLE EXPENSE OF THE CONTRACTOR.
16. THE CONTRACTOR SHALL FURNISH AS-BUILT DRAWINGS INDICATING ALL CHANGES AND DEVIATIONS FROM APPROVED DRAWINGS.
17. ALL SIGNS AND TRAFFIC CONTROL MEASURES DURING CONSTRUCTION AND MAINTENANCE ACTIVITIES SHALL BE CONSTRUCTED AND INSTALLED PER THE LATEST EDITION OF THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.).
18. ALL WORK WITHIN THE PUBLIC RIGHT OF WAY SHALL CONFORM TO THE STANDARDS OF THE OAKLAND COUNTY ROAD COMMISSION.
19. FIRE DEPARTMENT NOTES:
 A. FIRE LANES SHALL BE DESIGNED BY THE FIRE CODE OFFICIAL, AND SHALL BE CONSPICUOUSLY POSTED ON BOTH SIDES OF THE FIRE LANE, WITH FIRE LANE SIGNS, SPACED NOT MORE THAN 100 FEET APART. FIRE LANE SIGNS SHALL READ "NO STOPPING, STANDING, PARKING, FIRE LANE", AND SHALL CONFORM TO THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
 B. CONSTRUCTION SITES SHALL BE SAFEGUARDED IN ACCORDANCE WITH IFC 2005 CHAPTER 14.
 C. OPEN BURNING IS NOT PERMITTED INCLUDING THE BURNING OF TRASH, DEBRIS, OR LAND CLEARING MATERIALS. OPEN BURNING FOR WARMING OF SAND AND FOR WATER FOR THE PREPARATION OF MORTAR SHALL BE WITHIN THE CITY OF ROCHESTER HILLS BURN PERMIT GUIDELINES.
20. THE PROPOSED PRIVATE ROADS ARE NOT BEING CONSTRUCTED TO THE CITY'S PUBLIC ROAD STANDARDS, AND THEREFORE, CANNOT BE TRANSFERRED AS PUBLIC ROADS IN FUTURE.

KEY NOTES:

- A. STANDARD CONCRETE PAVING SECTION (TYP.) SEE DETAIL ON SHEET C509
- B. BARRIER FREE SPACES WITH APPROPRIATE SIGNAGE AND STRIPING PER APPLICABLE LOCAL, AND STATE OR FEDERAL REQUIREMENTS (TYP.)
- C. STORMWATER MANAGEMENT FACILITY
- D. MAINTENANCE SHED
- E. STANDARD CONCRETE DRIVEWAY (TYP.) SEE DETAIL ON SHEET C500, 15' X 22' UNLESS OTHERWISE NOTED.
- F. MODEL UNIT
- G. AT-GRADE, NON-STRUCTURAL PATIO PORCH (TYP.) REFER TO ARCH. PLANS.
- H. MAIL KIOSK
- I. DOG PARK
- J. 8' WIDE ASPHALT PATH
- K. APPROXIMATE LOCATION OF FUTURE SHARED USE PATH WITH EASEMENT. PATH TO BE CONSTRUCTED BY THE DEVELOPER. FINAL LAYOUT AND LOCATED TO BE DETERMINED IN COORDINATION WITH THE CITY.
- L. BARRIER FREE RAMP WITH CROSSWALK AND DETECTABLE WARNING SURFACE.
- M. ACTIVE OPEN SPACE AREAS
- N. 5' CONCRETE SIDEWALK
- O. 25' CORNER CLEARANCE
- P. RETAINING WALL (TYP.)
- Q. TYPICAL PARKING SPACES (10'X18')
- R. CONCRETE DRIVE APPROACH WITH CONTROL JOINTS EVERY 8 FEET OR 8' X 8' PANELS (TYP.)
- S. PROPOSED CROSSWALK

**REDWOOD
ROCHESTER HILLS**

E. AVON ROAD
ROCHESTER HILLS, MI 48307
OAKLAND COUNTY



7510 E. PLEASANT VALLEY RD
INDEPENDENCE, OH 44131



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Suite 200
Lansing, MI 48917
office: 517.272.9835
fax: 517.272.9836
www.bergmannpc.com

DATE	DESCRIPTION
11/16/2018	PUD REVIEW
02/04/2019	REV. PER CITY COMMENTS
03/21/2019	2ND REV. PER CITY COMMENTS
05/02/2019	3RD REV. PER CITY COMMENTS
09/22/2019	4TH REV. PER CITY COMMENTS
09/27/2019	STEP ONE PUD REVIEW
10/29/2019	ADDED TWO UNITS
11/04/2019	RESUBMITTED TO PC REVIEW

Not For Construction

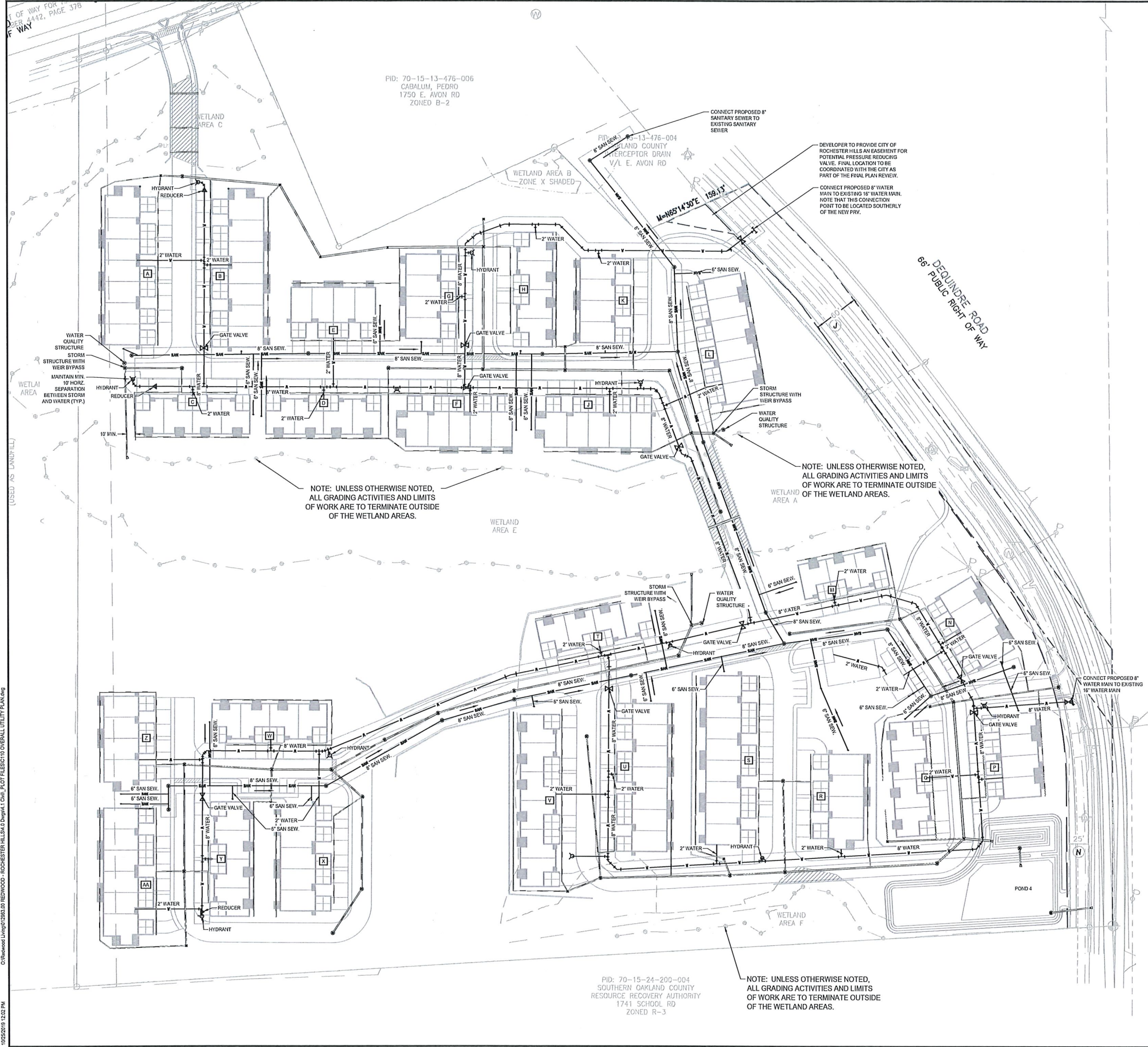
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Prepared By	Checked By
P. FURTAIW, PE	P. FURTAIW, PE
Designed By	Drawn By
I. GRAHAM, PE	I. GRAHAM, PE
Date	Project No.
NOVEMBER 9, 2018	12963.00

OVERALL SITE PLAN

C100

CITY FILE #18-022 SECTION 13



PID: 70-15-13-476-006
 CABALUM, PEDRO
 1750 E. AVON RD
 ZONED B-2

PID: 70-15-24-200-004
 SOUTHERN OAKLAND COUNTY
 RESOURCE RECOVERY AUTHORITY
 1741 SCHOOL RD
 ZONED R-3

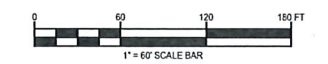
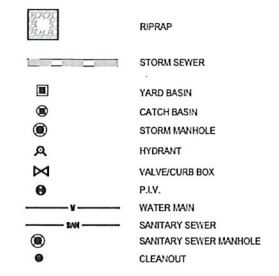
UTILITY NOTES:

1. ALL WORKMANSHIP, MATERIALS, AND CONSTRUCTION PRACTICES SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF ROCHESTER HILLS OR THE AGENCY HAVING JURISDICTION OVER THE APPLICABLE UTILITY.
2. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITY DURING CONSTRUCTION AT NO COST TO THE OWNER.
3. ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
4. CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
5. IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATERLINES, SANITARY LINES, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE CONTRACTOR SHALL NOTIFY THE ENGINEER AS SOON AS THE CONFLICT IS DISCOVERED.
6. TOPS OF EXISTING UTILITY STRUCTURES SHALL BE ADJUSTED TO FINISHED GRADE.
7. EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
8. CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE CONSTRUCTION REQUIREMENTS OF THE UTILITY OWNERS.
9. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
10. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
11. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION AND ELEVATIONS OF ALL UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, TELEPHONE, AND GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES, IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH UTILITY REQUIREMENTS AS TO LOCATION AND SCHEDULING FOR THE INS CONNECTIONS PRIOR TO CONNECTING TO EXISTING UTILITIES.
12. THE CONTRACTOR SHALL CONDUCT ALL REQUIRED TESTS TO THE SATISFACTION OF THE RESPECTIVE UTILITY COMPANIES AND THE OWNERS INSPECTING AUTHORITIES.
13. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, AND OTHER MEANS OF PROTECTION. THIS TO INCLUDE BUT NOT LIMITED FOR ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA.
14. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING PIPE SIZES AND INVERTS ELEVATIONS BEFORE ORDERING MANHOLE AND CATCH BASIN STRUCTURES.
15. ALL UTILITIES BELOW PAVED AREAS SHALL BE BACKFILLED WITH 100% GRANULAR MATERIAL (OR APPROVED OTHER) AND COMPACTED TO 95% OF ITS MAXIMUM UNIT WEIGHT.
16. ALL RIM ELEVATIONS IN OUTLAW AREAS ARE APPROXIMATE ONLY AND SHALL BE ADJUSTED BY THE CONTRACTOR AFTER FINAL GRADES ARE ESTABLISHED.
17. ALL UTILITIES SHALL MAINTAIN A MINIMUM OF 10' SEPARATION FROM OTHER UTILITIES, STRUCTURES, AND RETAINING WALLS.
18. BWPS WILL BE IMPLEMENTED DURING THE CONSTRUCTION PHASE OF THE PROPOSED PROJECT AND ANY TEMPORARY IMPACT AREAS WILL BE RESTORED TO ORIGINAL GRADES WITH ORIGINAL SOIL OR EQUIVALENT, SOILS AND SEEDED WITH CITY APPROVED WETLAND SEED.

BASIS OF DESIGN:

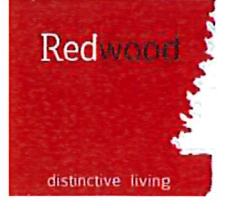
- 0.60 REU / UNIT
- 118 UNITS * 0.60 REU = 70.8 REU
- 70.8 REU * (2.5 PEOPLES) * (90 GPD) = 15,930 GPD
- 15,930 GPD = 0.0246 CFS
- ASSUME 3.5 X PEAKING FACTOR = 0.0018 CFS * 4.0 = 0.0072 CFS PEAK

UTILITY LEGEND:



REDWOOD ROCHESTER HILLS

E. AVON ROAD
 ROCHESTER HILLS, MI 48307
 OAKLAND COUNTY



7510 E. PLEASANT VALLEY RD
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DATE	DESCRIPTION
11/19/2018	PUD REVIEW
02/04/2019	REV. PER CITY COMMENTS
03/21/2019	2ND REV. PER CITY COMMENTS
03/03/2019	3RD REV. PER CITY COMMENTS
06/22/2019	4TH REV. PER CITY COMMENTS
02/27/2019	STEP ONE PUD REVIEW
10/04/2019	UPDATE PRV EASEMENT NOTE
11/04/2019	RESUBMITTED TO PC REVIEW

Not For Construction

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Prepared By: P. FURTAIW, PE	Checked By: P. FURTAIW, PE
Designed By: I. GRAHAM, PE	Drawn By: I. GRAHAM, PE
Date Plotted: NOVEMBER 9, 2018	Project No.: 12963.00

OVERALL UTILITY PLAN

C110