

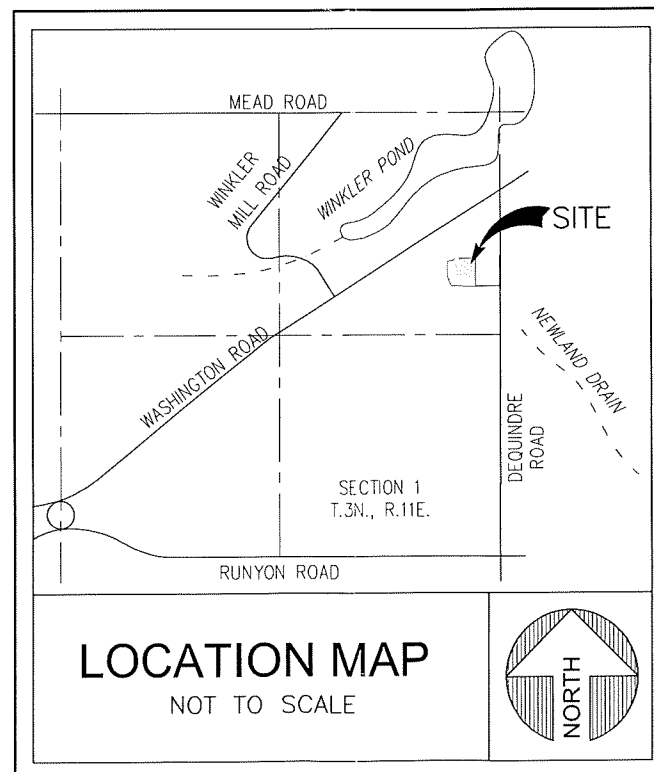
OAKLAND COUNTY CONDOMINIUM
 SUBDIVISION PLAN No. _____
 EXHIBIT "B" TO THE MASTER DEED OF
CHRISTENBURY SITE CONDOMINIUM
 CITY OF ROCHESTER HILLS
 OAKLAND COUNTY, MICHIGAN

ATTENTION COUNTY REGISTER OF DEEDS
 THE CONDOMINIUM SUBDIVISION PLAN NUMBER MUST BE
 ASSIGNED IN CONSECUTIVE SEQUENCE. WHEN A NUMBER
 HAS BEEN ASSIGNED TO THIS PROJECT, IT MUST BE
 PROPERLY SHOWN IN THE TITLE, SHEET 1, AND THE
 SURVEYOR'S CERTIFICATE, SHEET 2.

PROPERTY DESCRIPTION

Part of the NE 1/4 of Section 1, T.3N., R.11E., Rochester Hills, Oakland County, Michigan, being more particularly described as follows:

Commencing at the East 1/4 corner of Section 1;
 thence N89°44'48"W 280.03 feet to the Point of Beginning;
 thence N89°44'48"W 331.71 feet;
 thence N00°35'30"W 284.80 feet;
 thence N77°48'40"E 64.95 feet;
 thence N72°59'40"E 15.61 feet;
 thence N21°22'51"W 10.94 feet;
 thence with a curve turning to the right 68.35 feet, having a radius of 250.00 feet, a central angle of 15°39'55", and a chord bearing N81°34'33"E 68.14 feet;
 thence N89°24'30"E 189.46 feet;
 thence S00°35'30"E 326.67 feet to the Point of Beginning.
 Containing 2.413 acres.



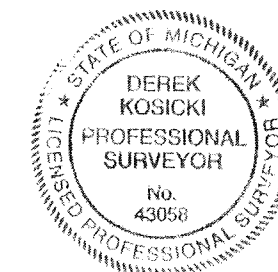
DRAWING INDEX:

1. TITLE SHEET
2. SURVEY PLAN
3. SITE PLAN
4. UTILITY PLAN

DEVELOPER:
 VITALIANO & MONICA TERRACCIANO
 CHARLES & MELINDA RUSSO
 1930 CHRISTENBURY COURT
 ROCHESTER HILLS, MI 48306

SURVEYOR:
 FENN & ASSOCIATES, INC.
 14933 COMMERCIAL DRIVE
 SHELBY TOWNSHIP, MI 48315

Shoiber

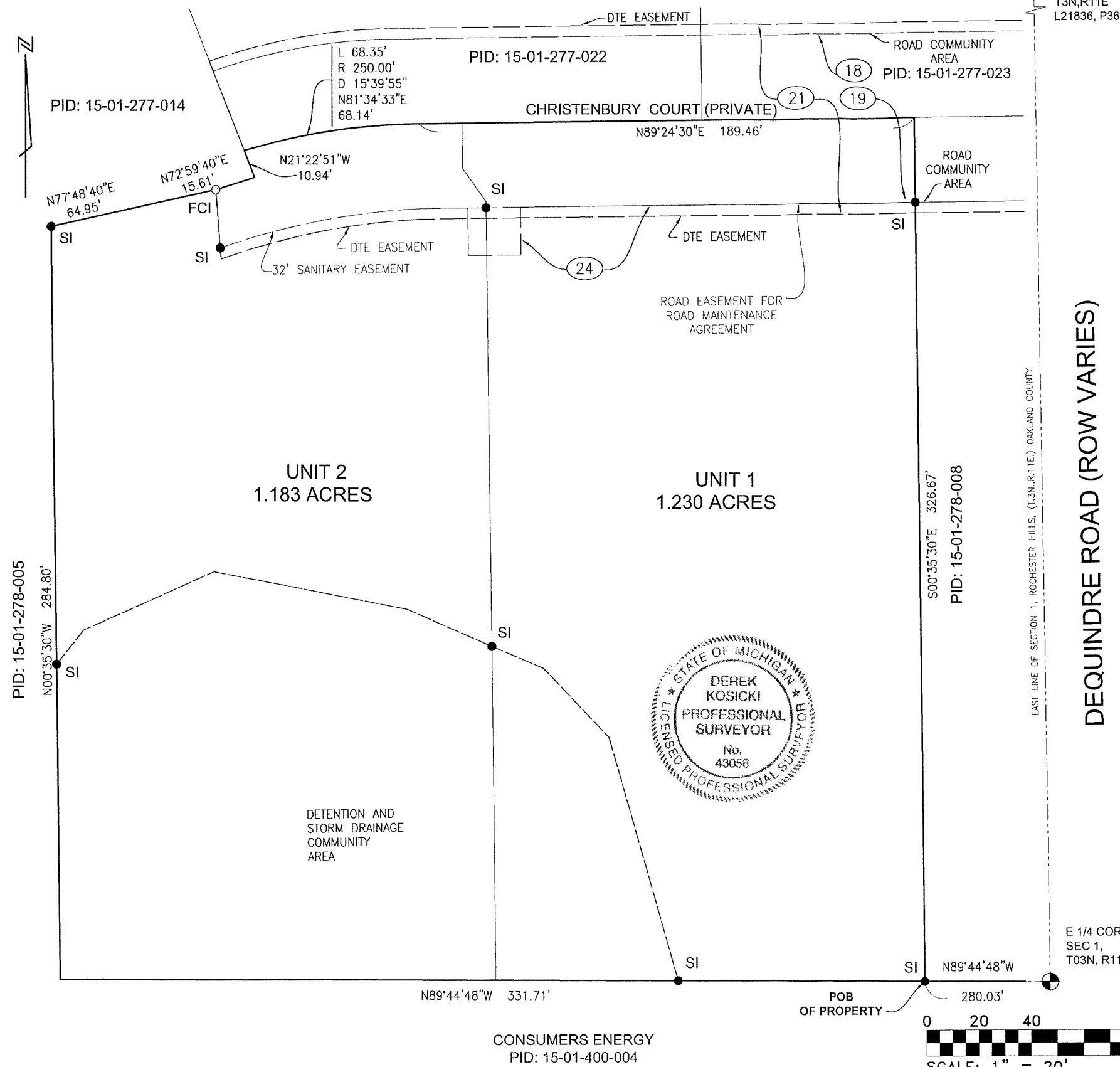


PROPOSED 07/18/2019
 MUST BE BUILT

Fenn & Associates, Inc.
 Land Surveying and Civil Engineering

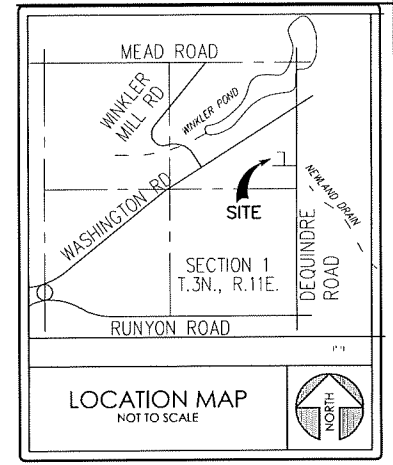
14933 Commercial Drive, Shelby Township, MI 48315
 Phone: 586.254.9577 Fax: 586.254.9020
 www.fennsurveying.com

CHRISTENBURY SITE CONDOMINIUM



NOTE:
- THIS PROPERTY DOES NOT LIE IN A FLOOD HAZARD AREA AS DETERMINED BY NATIONAL FLOOD INSURANCE PROGRAM 26099C0326G, SEPTEMBER 29, 2006
- BEARINGS AS SHOWN WERE DETERMINED FROM DECLARATION FOR CHRISTENBURY ESTATES MASTER COMMUNITY, L.47163, P.339

- LEGEND**
- FOUND CAPPED IRON
 - SET IRON
 - ⊕ SECTION CORNER
 - M MEASURED
 - ① EASEMENT NUMBER



- ITEM 16. Easement for ingress and egress Liber 4758, Page 368, Liber 5053, Page 871.
ITEM NOT SHOWN
- ITEM 17. Right of the public and adjoining owner for ingress and egress Liber 4758, Page 368, Liber 5053, Page 871.
ITEM NOT SHOWN
- ITEM 18. Road Community Area Easement as shown on Deed recorded in Liber 46849, Page 838
- ITEM 19. Recording No: Liber 47163, Page 339
- ITEM 21. Right(s) of Way and/or Easement(s), DTE Electric Company, AT&T, Comcast and Consumers Recording Liber 47042, Page 612
- ITEM 22. Storm Water System, Liber 47182, Page 390
- ITEM 24. Ingress and Egress Easement Private Road Agreement for Public and Emergency Vehicles Liber 47201, Page 413

SURVEYOR'S CERTIFICATE
I, DEREK KOSICKI, PROFESSIONAL SURVEYOR HEREBY CERTIFY:
THAT THE CONDOMINIUM SUBDIVISION PLAN KNOWN AS CHRISTENBURY SITE CONDOMINIUM OAKLAND COUNTY CONDOMINIUM SUBDIVISION PLAN No. , AS SHOWN ON THE ACCOMPANYING DRAWINGS REPRESENTS A SURVEY ON THE GROUND MADE UNDER MY DIRECTION AND THAT THERE ARE NO EXISTING ENCROACHMENTS UPON THE LANDS AND PROPERTY HEREIN DESCRIBED.
THAT THE REQUIRED MONUMENTS AND IRON MARKERS HAVE BEEN LOCATED IN THE GROUND AS REQUIRED BY RULES PROMULGATED UNDER SECTION 142 OF ACT NUMBER 59 OF THE PUBLIC ACTS OF 1978, AS AMENDED.
THAT THE ACCURACY OF THIS SURVEY IS WITHIN THE LIMITS REQUIRED BY THE RULES PROMULGATED UNDER SECTION 142 OF ACT NUMBER 59 OF THE PUBLIC ACTS 1978, AS AMENDED.
THAT THE BEARINGS AS SHOWN, ARE NOTED ON THE SURVEY PLAN AS REQUIRED BY THE RULES PROMULGATED UNDER SECTION 142 OF ACT NUMBER 59 OF THE PUBLIC ACTS OF 1978, AS AMENDED.

DATE: 07/18/2019

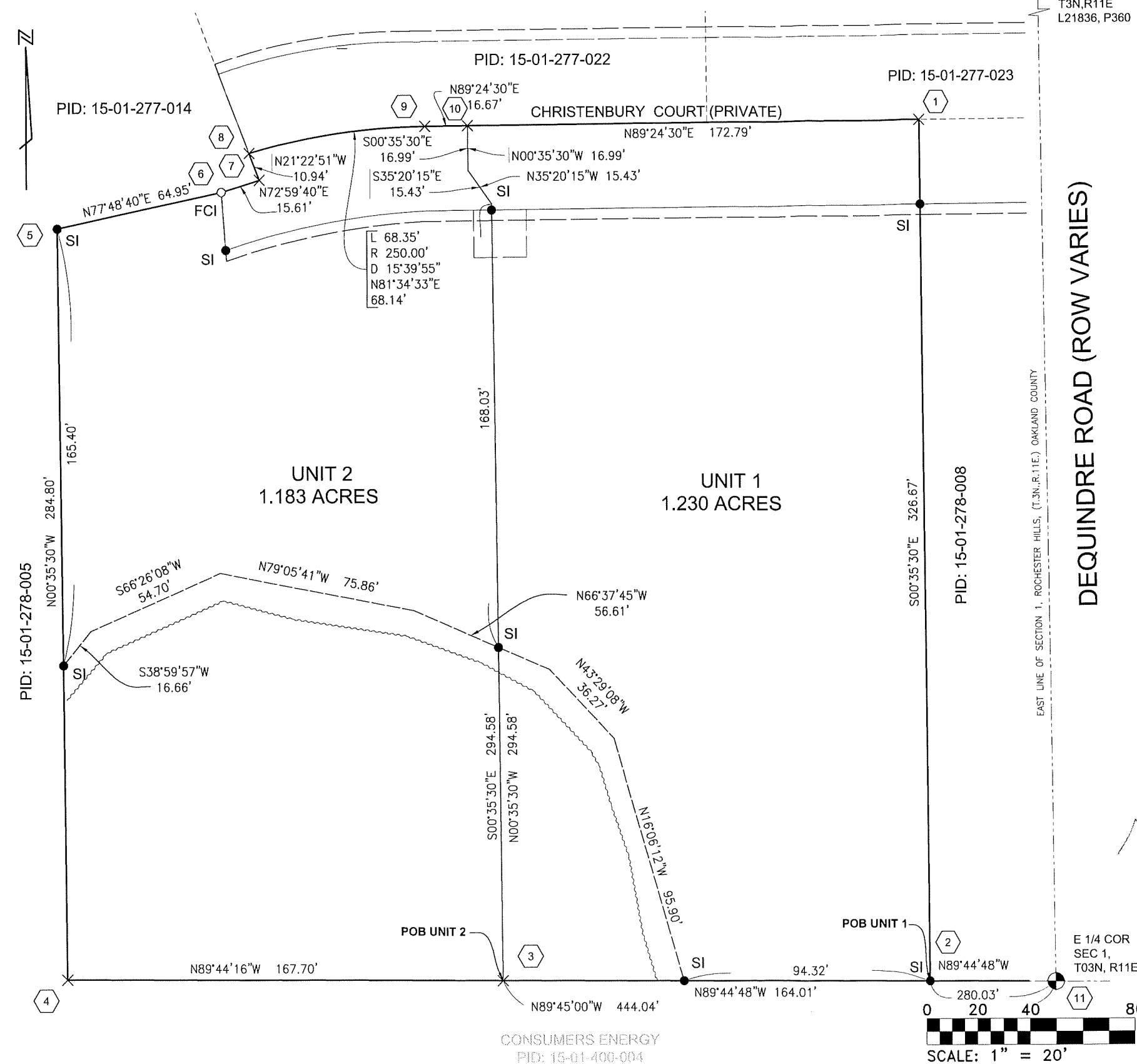
Derek Kosicki
DEREK KOSICKI, PROFESSIONAL SURVEYOR
NO: 43058
FENN & ASSOCIATES, SURVEYING, INC.
14933 COMMERCIAL DRIVE
SHELBY TOWNSHIP, MICHIGAN 48315

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SURVEY PLAN

CHRISTENBURY SITE CONDOMINIUM



LEGEND

- FOUND CAPPED IRON
- SET IRON
- ⊙ SECTION CORNER
- ① COORDINATE NUMBER
- 15 UNIT NUMBER
- UNIT LIMITS

COORDINATE NUMBERS

| POINT # | NORTHING | EASTING |
|---------|----------|---------|
| 1 | 5328.50 | 4716.62 |
| 2 | 5001.85 | 4719.99 |
| 3 | 5002.58 | 4555.98 |
| 4 | 5003.31 | 4388.28 |
| 5 | 5288.09 | 4385.33 |
| 6 | 5301.81 | 4448.82 |
| 7 | 5306.38 | 4463.74 |
| 8 | 5316.56 | 4459.77 |
| 9 | 5326.54 | 4527.16 |
| 10 | 5326.71 | 4543.83 |
| 11 | 5000.61 | 5000.02 |

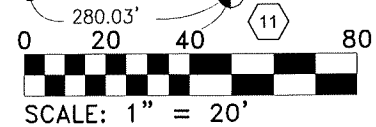
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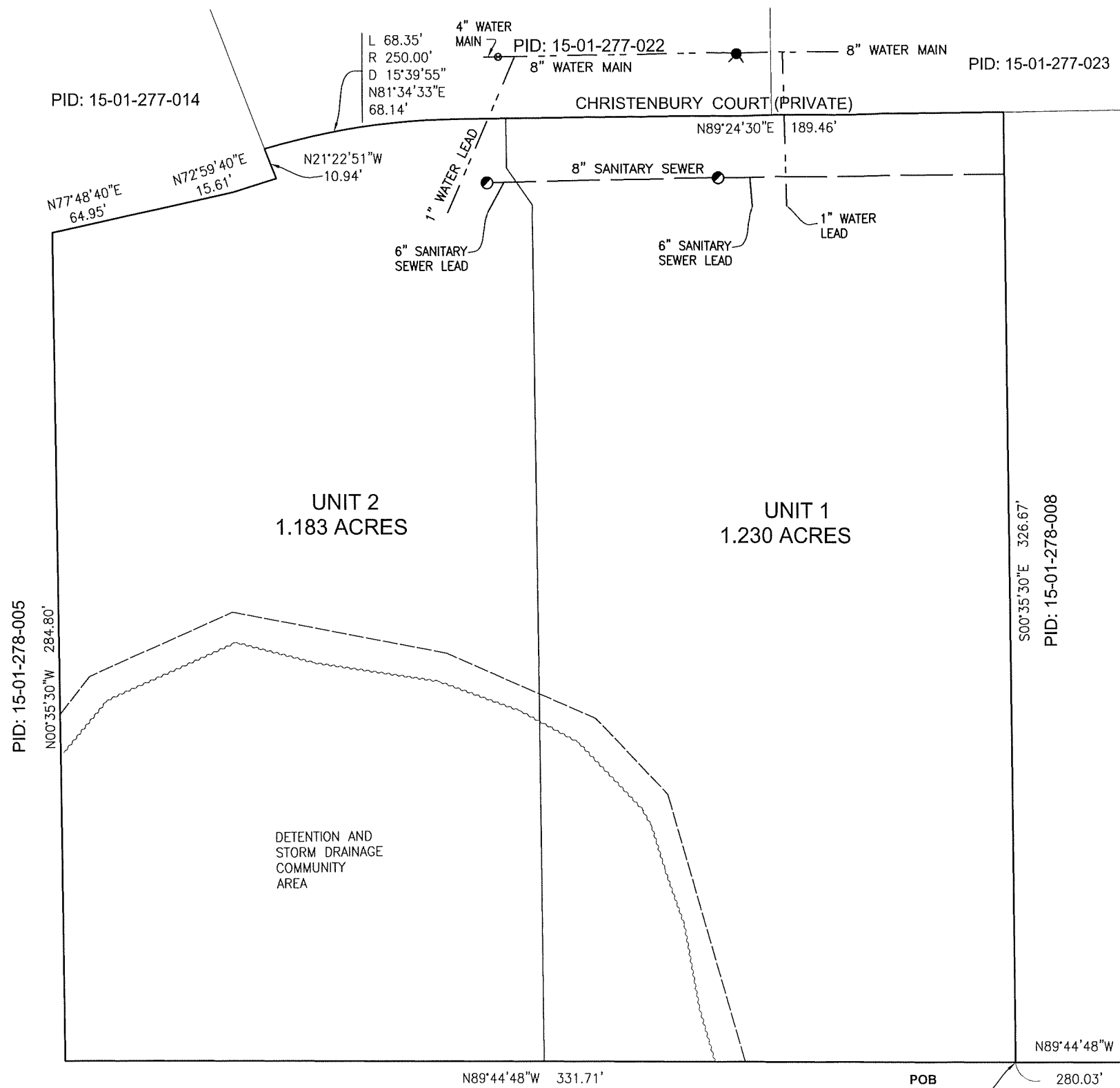
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SITE PLAN

CHRISTENBURY SITE CONDOMINIUM



NE CORNER
SEC 1
T3N,R11E
L21836, P360

- LEGEND:**
- SANITARY SEWER
 - SANITARY MANHOLE
 - - - STORM SEWER
 - STORM MANHOLE
 - ROAD CATCH BASIN
 - ⊗ CATCH BASIN
 - - - WATERMAIN
 - ⊙ FIRE HYDRANT
 - ⊕ GATE VALVE & WELL
 - ▼ STORM DRAIN, END SECTION

NOTE:
UTILITIES, AS SHOWN, INDICATE APPROXIMATE LOCATIONS OF FACILITIES ONLY, AS DISCLOSED BY THE RECORDS OF THE VARIOUS COMPANIES AND NO GUARANTEE IS GIVEN AS TO THE COMPLETENESS OR ACCURACY THEREOF.

GENERAL NOTATIONS
ALL UNITS SERVICED WITH SANITARY SEWER & WATER BY THE CITY OF ROCHESTER HILLS
SANITARY SEWER, WATER MAIN AND STORM INFORMATION AS SHOWN OBTAINED FROM PLANS PREPARED BY FENN AND ASSOCIATES, INC.

ALL UNITS TO BE SERVICED WITH NATURAL GAS
ALL UNITS TO BE SERVICED WITH ELECTRIC
ALL UNITS TO BE SERVICED WITH TELEPHONE

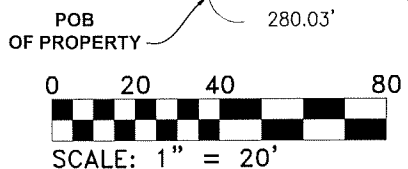
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E 1/4 COR
SEC 1,
T03N, R11E

PROPOSED 07/18/2019
MUST BE BUILT

CONSUMERS ENERGY
PID: 15-01-400-004



UTILITY PLAN

Fenn & Associates, Inc.
Land Surveying and Civil Engineering

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