



RH House

2630 Crooks Rd
Rochester Hills, MI

DESIGNHAUS EST
ARCHITECTURE 1998

301 WALNUT BOULEVARD
ROCHESTER, MI 48307
T:248.601.4422 F:248.453.5854
WWW.DESIGNHAUS.COM
INFO@DESIGNHAUS.COM

STATEMENT OF SELECTED DESIGN PROFESSIONAL

THESE CONSTRUCTION DOCUMENTS WERE PREPARED FOR COMPLIANCE WITH THE MICHIGAN CONSTRUCTION CODES IN EFFECT AT THE TIME OF PERMIT SUBMITTAL. ALL ENGINEERS, CONTRACTORS AND SUPPLIERS INVOLVED WITH THIS PROJECT SHALL COMPLY WITH THE SAME CODES ISSUED AND APPROVED CODE MODIFICATIONS AND/OR MUNICIPAL CONSTRUCTION BOARDS OF APPEALS RULINGS AND WHENEVER REQUIRED SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS CLEARLY DESCRIBING COMPLIANCE TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR REVIEW AND APPROVAL.

REGISTERED DESIGN PROFESSIONAL IN CHARGE:
PETER STUHLREYER, A.I.A.
MICHIGAN IDENTIFICATION # 44668
DESIGNHAUS ARCHITECTURE

PROJECT TEAM

OWNER
Fabiil Tinaj
6559 Chatham Rd
Rochester Hills, MI 48306
T: 248.709.8616
EMAIL: POMMA@YAHOO.COM

ARCHITECT
DESIGNHAUS ARCHITECTURE
301 WALNUT BLVD.
ROCHESTER, MI 48307
T: 248.601.4422
F: 248.453.5854
PROJECT MANAGER: JOE LATOZAS
PROJECT ARCHITECT: PETER STUHLREYER, A.I.A.
LANDSCAPE ARCHITECT: MIKE PIZZOLA, PLA

INDEX OF DRAWINGS

- SHEET ISSUED
- REVISED
- SHEET REISSUED

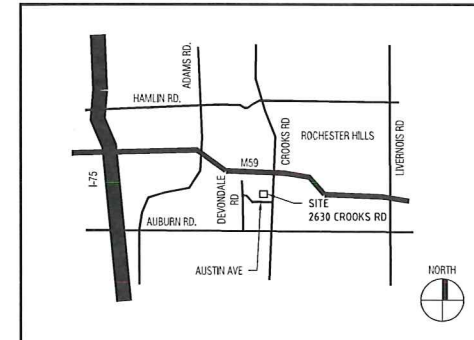
SHEET NO.	DRAWING NAME		
GENERAL			
G001	Title Sheet and Index	<input type="checkbox"/>	<input type="checkbox"/>
G002	Reference Information	<input type="checkbox"/>	<input type="checkbox"/>
CIVIL			
C10	Existing Conditions	<input type="checkbox"/>	<input type="checkbox"/>
C100	Demolition Plan	<input type="checkbox"/>	<input type="checkbox"/>
C200	Layout Plan	<input type="checkbox"/>	<input type="checkbox"/>
C300	Grading and Utility Plan	<input type="checkbox"/>	<input type="checkbox"/>
C400	Drainage Pattern Plan	<input type="checkbox"/>	<input type="checkbox"/>
LANDSCAPE			
L100	Site Plan	<input type="checkbox"/>	<input type="checkbox"/>
L200	A.D.A. Parking Areas & Accessible Route	<input type="checkbox"/>	<input type="checkbox"/>
L300	Exterior Photometric Study	<input type="checkbox"/>	<input type="checkbox"/>
L1100	Existing Tree Inventory and Preservation Plan	<input type="checkbox"/>	<input type="checkbox"/>
L2000	Landscape Plan	<input type="checkbox"/>	<input type="checkbox"/>
L3000	Irrigation Plan	<input type="checkbox"/>	<input type="checkbox"/>
ARCHITECTURAL			
A100	Floor Plan	<input type="checkbox"/>	<input type="checkbox"/>
A101	Roof Plan	<input type="checkbox"/>	<input type="checkbox"/>
A200	Elevations	<input type="checkbox"/>	<input type="checkbox"/>
A201	Elevations	<input type="checkbox"/>	<input type="checkbox"/>
A300	Building Sections	<input type="checkbox"/>	<input type="checkbox"/>
A301	Wall Sections	<input type="checkbox"/>	<input type="checkbox"/>
A500	Details	<input type="checkbox"/>	<input type="checkbox"/>
A600	Partition Details	<input type="checkbox"/>	<input type="checkbox"/>
A601	Door Schedule & Details	<input type="checkbox"/>	<input type="checkbox"/>
A602	Interior Finish Schedule	<input type="checkbox"/>	<input type="checkbox"/>

Site Plan Approval: 12.04.2017
Site Plan Re-Submittal: 01.31.2018

VICINITY MAP



LOCATION MAP



No.	Revision/Issue	Date
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	Site Plan Re-Submittal	01.31.2018
	Site Plan Approval	12.04.2017

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2630 Crooks Rd
Rochester Hills, MI

CITY FILE #17-050

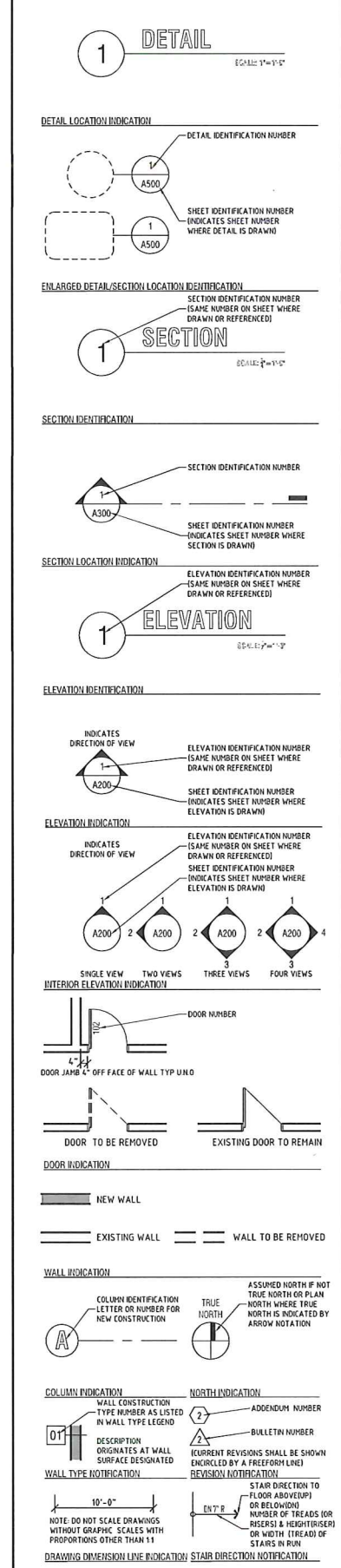
Title Sheet and Index

G001 017108

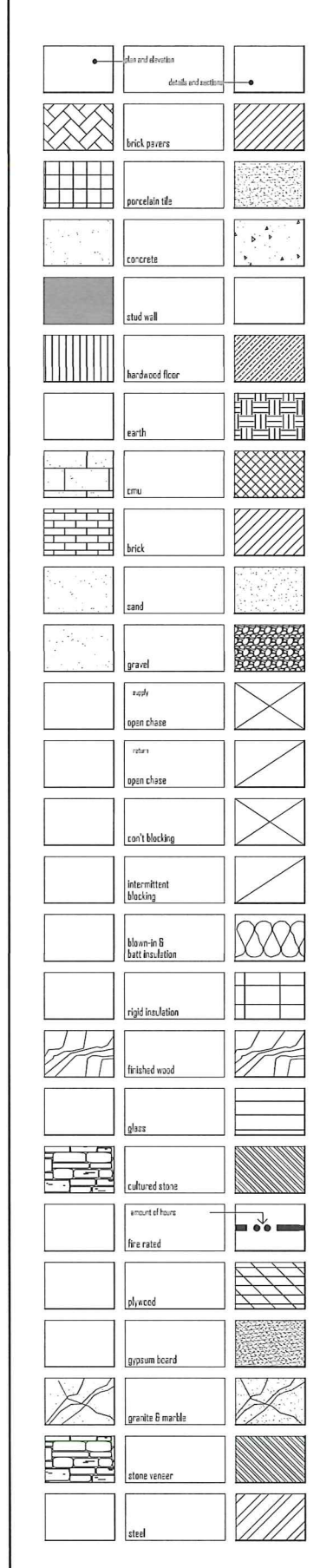
ABBREVIATIONS

Table of abbreviations and their corresponding full names, organized by letter from A to Z. Includes terms like AC (Acoustical), AD (Add), AGG (Aggregate), AL (Air Conditioning), etc.

SYMBOL LEGEND



GRAPHICS LEGEND



GENERAL NOTES

- 1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE CODES, REGULATIONS AND REQUIREMENTS.
2. DO NOT SCALE DRAWINGS. FIELD VERIFY ALL DIMENSIONS AND JOB CONDITIONS.
3. SHOULD ANY CONDITION ARISE WHERE THE INTENT OF THE DRAWINGS IS IN DOUBT...
4. IN THE CASE WHERE TWO OR MORE DETAILS APPLYING TO THE SAME PART OF THE WORK...
5. THE CONTRACTOR AND EACH SUBCONTRACTOR SHALL CAREFULLY EXAMINE THE CONDITIONS...
6. APPROVAL OF SHOP DRAWINGS MEANS APPROVAL OF THE GENERAL METHOD OF FABRICATION...
7. IF SPECIFICATIONS ARE PROVIDED, SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS...
8. NOT USED.
9. PROVIDE 2A, 10BC MINIMUM RATED FIRE EXTINGUISHER TO BE LOCATED WITHIN 75 FEET OF TRAVEL...
10. PLANS OF SPRINKLER SYSTEM SHALL BE APPROVED BY THE FIRE DEPARTMENT PRIOR TO INSTALLATION...
11. PLANS FOR ALL FIXED FIRE PROTECTION EQUIPMENT SUCH AS STANDPIPES, SPRINKLER SYSTEMS...
12. THIS DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS' SIGN, WITH MINIMUM ONE (1) INCH HIGH LETTERS...
13. NO HAZARDOUS MATERIALS, LIQUIDS OR CHEMICALS SHALL BE STORED OR USED WITHIN THE SUBJECT BUILDING...
14. ALL INTERIOR WALLS AND PARTITIONS SHALL BE DESIGNED AND CONSTRUCTED TO RESIST ALL LOADS...
15. ALL EGRESS EXITS SHALL BE OPENED FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
16. LIGHT, VENTILATION AND SANITATION SHALL COMPLY WITH SECTIONS OF APPLICABLE BUILDING CODES.
17. EGRESS DOORS SHALL HAVE A CLEAR OPENING OF NO LESS THAN 32" WHEN OPEN AND BE OPERABLE BY A SINGLE EFFORT.
18. THE FLOOR INSIDE OR OUTSIDE OF A DOORWAY SHALL BE LEVEL FOR A DISTANCE OF 5'-0" FROM THE DOOR...
19. SWITCHES AND CONTROLS FOR LIGHTS, VENTILATION, FIRE ALARMS, ETC. MUST BE PLACED NO MORE THAN 48" FROM THE FLOOR.
20. A 7'-0" MINIMUM VERTICAL CLEARANCE IN REQUIRED FROM THE FLOOR TO CEILING OR PROTRUDING WALL FIXTURES...
21. PROVIDE FIRE STOPPING AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES.
22. DRAFTSTOPS MUST BE INSTALLED SO THAT THE LONGEST HORIZONTAL DIMENSION DOES NOT EXCEED 100 FEET.

PROJECT INFORMATION

Project information section including address (5630 Crooks Rd, Rochester Hills, MI), area of work, applicable construction codes, Michigan Building Code - 2015, and occupancy classification (A-2 Assembly).



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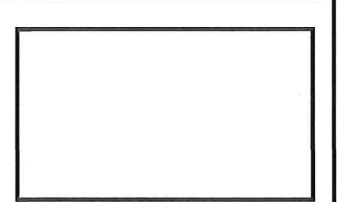
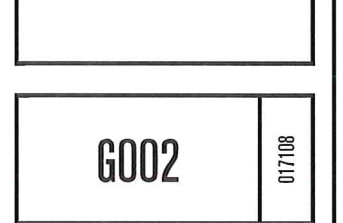


Table with 3 columns: No., Revision/Issue, Date. Includes 'Site Plan Re-Submittal' and 'Site Plan Approval'.

RH House
2630 Crooks Rd
Rochester Hills, MI

CITY FILE #17-050

Reference Information



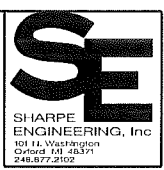
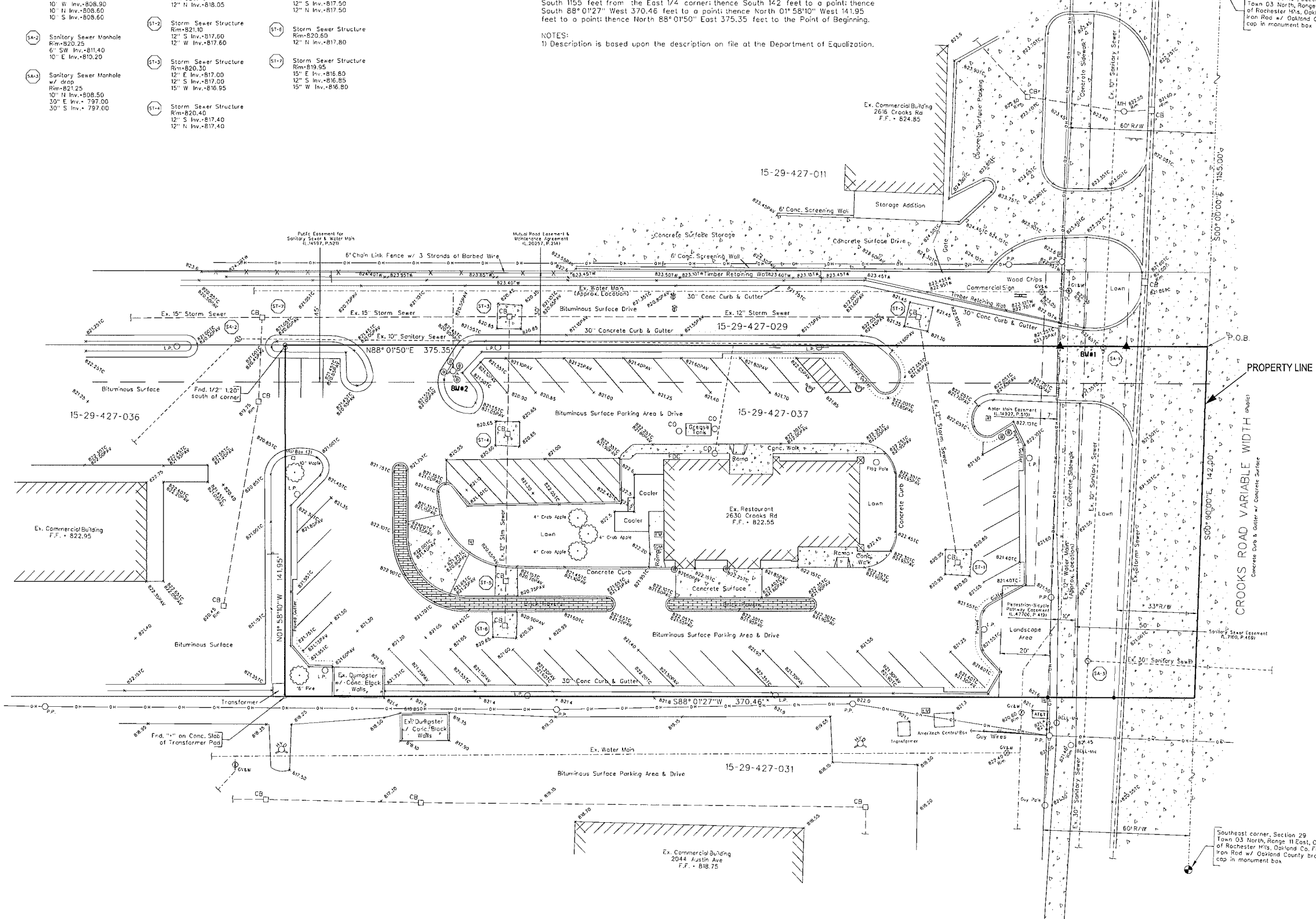
EXISTING STRUCTURE SCHEDULE:

<p>SA-1 Sanitary Sewer Manhole Rim=821.45 10' W Inv.=808.90 10' N Inv.=808.60 10' S Inv.=808.60</p>	<p>ST-1 Storm Sewer Structure Rim=820.70 12" N Inv.=818.05</p>	<p>ST-5 Storm Sewer Structure Rim=820.50 12" S Inv.=817.50 12" N Inv.=817.50</p>
<p>SA-2 Sanitary Sewer Manhole Rim=820.25 6" SW Inv.=811.40 10' E Inv.=810.20</p>	<p>ST-2 Storm Sewer Structure Rim=821.10 12" S Inv.=817.60 12" W Inv.=817.60</p>	<p>ST-6 Storm Sewer Structure Rim=820.60 12" N Inv.=817.80</p>
<p>SA-3 Sanitary Sewer Manhole w/ drop Rim=821.25 10' N Inv.=808.50 30" E Inv.= 797.00 30" S Inv.= 797.00</p>	<p>ST-3 Storm Sewer Structure Rim=820.30 12" E Inv.=817.00 12" S Inv.=817.00 15" W Inv.=816.95</p>	<p>ST-7 Storm Sewer Structure Rim=819.95 15" E Inv.=816.80 12" S Inv.=816.85 15" W Inv.=816.80</p>
	<p>ST-4 Storm Sewer Structure Rim=820.40 12" S Inv.=817.40 12" N Inv.=817.40</p>	

PROPERTY DESCRIPTION: Tax Item #15-29-427-037

Part of the East 1/2 of the Southeast 1/4 of Section 29, Town 3 North, Range 11 East, City of Rochester Hills, Oakland County, Michigan, Beginning at a point distance South 1155 feet from the East 1/4 corner; thence South 142 feet to a point; thence South 88° 0' 27" West 370.46 feet to a point; thence North 01° 58' 10" West 141.95 feet to a point; thence North 88° 0' 50" East 375.35 feet to the Point of Beginning.

NOTES:
1) Description is based upon the description on file at the Department of Equalization.



DATE	
SUBMITTAL NOTE	

MISS DIG SYSTEM
KNOW WHAT'S BELOW
800-482-7171 OR 811
CONTACT THE MISS DIG SYSTEM 3 WORKING DAYS IN ADVANCE

THIS DOCUMENT IS INTENDED FOR THE USE OF SHARPE ENGINEERING, INC. AND OTHER USERS AND DOES NOT CONSTITUTE A CONTRACT. THE USER SHALL BE RESPONSIBLE FOR THE USE OF THIS DOCUMENT. SHARPE ENGINEERING, INC. SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DATA PROVIDED AND THE USE OF THE DOCUMENT.

DEVELOPED FOR:

EXISTING CONDITIONS
2630 CROOKS ROAD

PLAN NAME:	EXISTING CONDITIONS 2630 CROOKS ROAD
CITY:	ROCHESTER HILLS
COUNTY:	OAKLAND
SECTION:	29
TOWN:	3-N, R-11-E
DATE:	10/12/17
SCALE:	1" = 20'
SHEET:	C1.0
PROJECT:	024.12.01

- LEGEND:**
- 822.35 x - EXISTING ELEVATION
 - BM - BENCH MARK
 - - FIN. 1/2" IRON ROD UNLESS NOTED
 - - SET 1/2" IRON ROD W/ ID CAP
 - ▲ - SET MAG NAIL
 - PP - EX. POWER POLE
 - - EX. GUY WIRE
 - - EX. UTILITY RISER
 - CO - EX. CLEAN OUT
 - - EX. SANITARY SEWER MANHOLE
 - ⊕ - EX. GATE VALVE & WELL
 - ⊕ - EX. DOMESTIC WATER SHUTOFF
 - CB - EX. CATCH BASIN
 - WH - EX. STORM MANHOLE
 - - EX. 5" STEEL BOLLARD
 - - EX. SIGN
 - F.F. - FINISHED FLOOR
 - O.M. - OVERHEAD LINES
 - ⊕ - GAS METER
 - EM - ELECTRIC METER
 - - EX. BITUMINOUS SURFACE
 - - EX. CONCRETE SURFACE
 - - EX. BRICK PAVERS

BENCHMARKS

- BM #1 - North rim of Sanitary Sewer Manhole in concrete approach
ELEV = 821.45 (City of Rochester Hills)
- BM #2 - Arrow Head on Fire Hydrant in Island 250' North of approach
ELEV = 824.00 (City of Rochester Hills)

SURVEY PROVIDED BY:

Kennedy Surveying, Inc.
105 N. Washington St.
Oxford, MI 48371
248.628.4241

JOB NUMBER: 17-7917
DATED: October 11, 2017

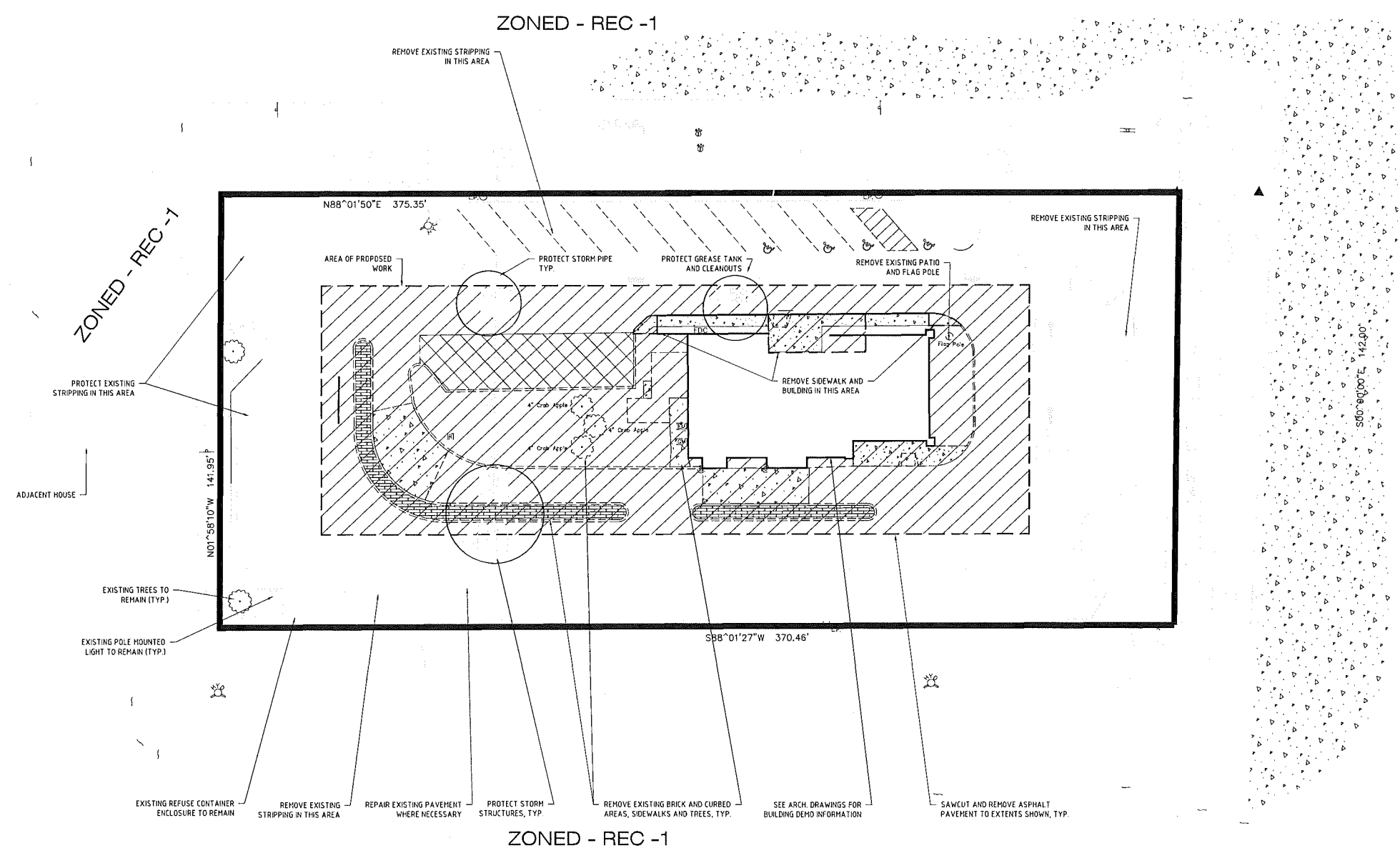
GENERAL DEMOLITION NOTES

THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT:

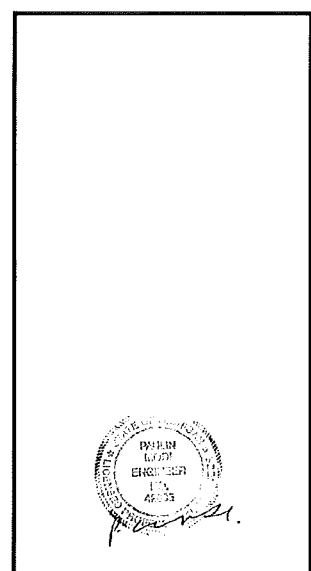
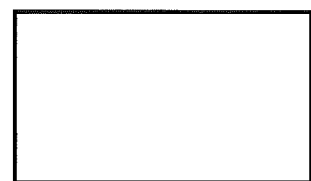
1. ALL MATERIAL TO BE REMOVED, WHETHER SPECIFICALLY NOTED IN THE PLANS OR NOT, SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR AND DISPOSED OF OFF-SITE IN A LEGAL MANNER. NO ON-SITE BURY OR BURN PITS SHALL BE ALLOWED.
2. ALL DEMOLITION WORK SHALL CONFORM TO ALL LOCAL CODES AND ORDINANCES.
3. STAGING/PHASING OF DEMOLITION AND CONSTRUCTION IS TO BE COORDINATED WITH THE OWNER AND THE CONTRACTOR PRIOR TO CONSTRUCTION.
4. SPECIFIC DEMOLITION ITEMS HAVE BEEN INDICATED ON THE PLANS AS A GUIDE TO THE GENERAL SCOPE OF THE WORK. IT IS THE INTENT THAT THESE ITEMS SHALL BE COMPLETELY REMOVED BY THE CONTRACTOR ABOVE AND BELOW GROUND, UNLESS SPECIFICALLY NOTED OTHERWISE, AND THAT DEMOLITION WILL INCLUDE BUT WILL NOT NECESSARILY BE LIMITED TO THESE ITEMS. CONTRACTOR SHALL VISIT SITE TO VERIFY EXISTING CONDITIONS AND EXTENTS OF THE DEMOLITION THAT WILL BE REQUIRED PRIOR TO SUBMITTING A BID.
5. REMOVE ALL STRUCTURES DESIGNATED FOR REMOVAL ACCORDING TO THE DEMOLITION PLAN. THIS INCLUDES CONCRETE SIDEWALKS, BRICK AND CURBED AREAS, ASPHALT, TREES, ETC.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEAN UP, NOISE, DUST CONTROL, STREET SWEEPING AND HOURS OF OPERATION IN ACCORDANCE WITH THE LOCAL CODES.
7. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADES, SIGNAGE, MARKINGS, LIGHTS AND OTHER TRAFFIC CONTROL DEVICES TO PROTECT THE WORK ZONE AND SAFELY MAINTAIN TRAFFIC PER AGENCY REQUIREMENTS AND IN ACCORDANCE WITH THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD) LATEST EDITION.
8. THE CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES TO CONFIRM THAT UTILITY LEADS HAVE BEEN TAKEN OUT OF SERVICE PRIOR TO DEMOLITION.
9. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF SIGNS AND SUPPORTS WITHIN THE WORK AREA, AS NECESSARY TO FACILITATE CONSTRUCTION. SIGNS SHALL BE PROTECTED OR STOCKPILED FOR REUSE AS SPECIFIED IN THE PLANS OR AS REQUIRED BY THE AGENCY OF JURISDICTION. THE CONTRACTOR SHALL REPLACE ANY DAMAGED SIGNS AND SUPPORTS AT NO ADDITIONAL COST TO THE OWNER.
10. THE CONTRACTOR SHALL NOTIFY MISS DIG, THE CITY OF ROCHESTER HILLS ENGINEER AND /OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.

DEMOLITION LEGEND

- ITEMS TO BE PROTECTED
- - - - DEMOLITION BOUNDARY
- ▨ AREA TO BE REMOVED
- - - - ITEMS TO BE DEMOLISHED



1 Demolition Plan
SCALE: 1" = 20'



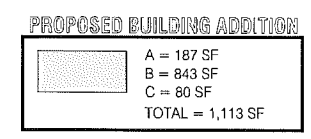
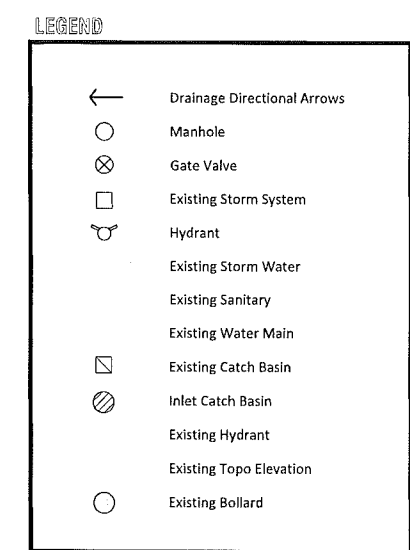
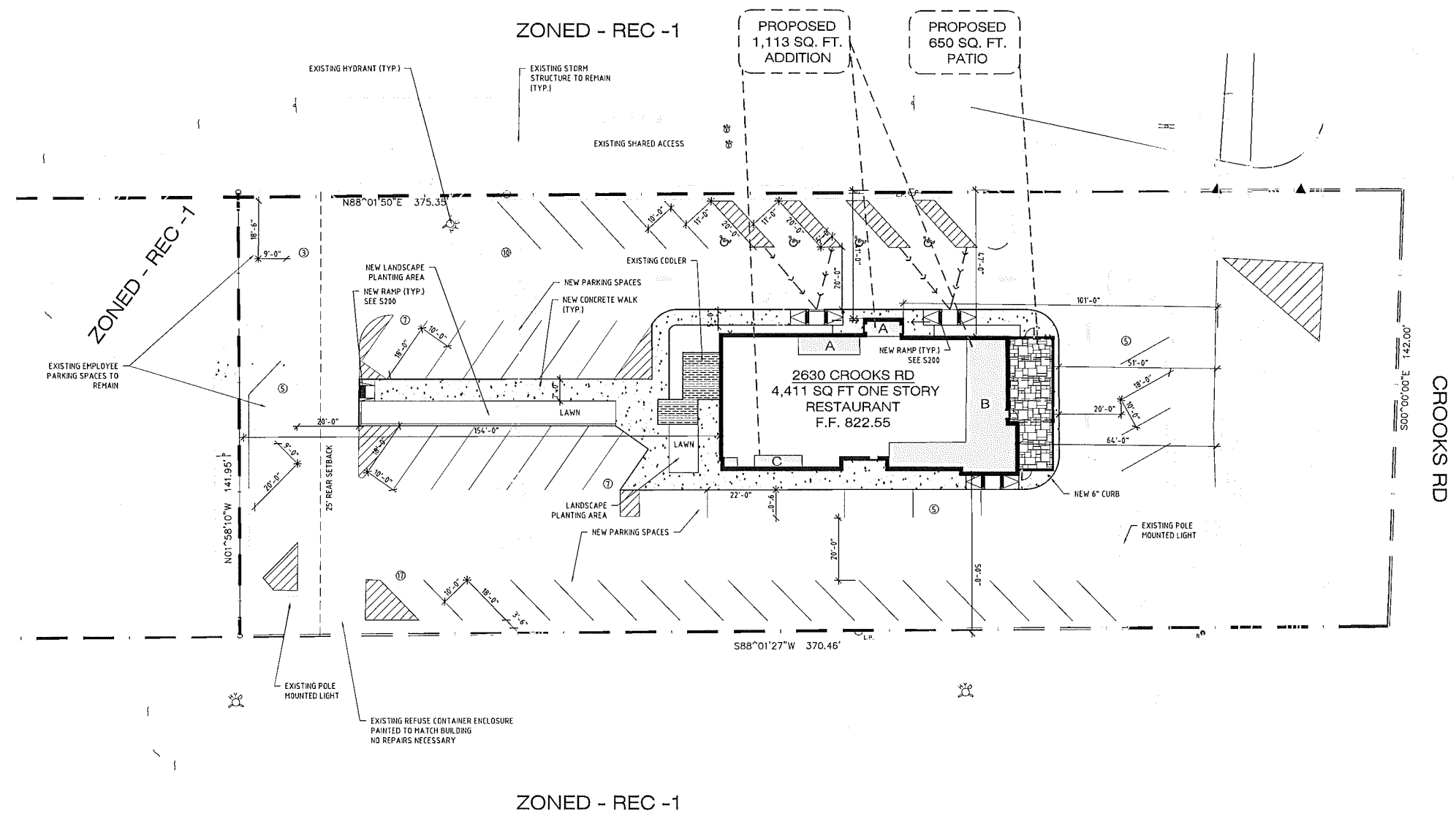
No.	Revision/Issue	Date
	Site Plan Po-Submittal	01.31.2018
	Site Plan Approval	2.04.2017

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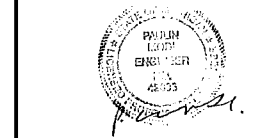
Demolition Plan

C100 017108



SITE DATA

Regulation	Information
Parcel I.D.	15-29-427-037
Address	2630 Crooks Rd, Rochester Hills, MI 48309
Zoning	REC - 1
Parcel Area	2.19 Acres (92,300 Sq. Ft.)



No.	Revision/Issue	Date
—	—	—
—	—	—
—	Site Plan Re-Submittal	01.31.2018
—	Site Plan Approval	2.04.2017

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Rochester Hills, MI

CITY FILE #17-050

Layout Plan

C200 017108

1 **Layout Plan**
SCALE: 1" = 20'
NORTH

Sanitary Sewer Basis of Design

Restaurant w/ 109 Seats
 Unit Factor - 0.13 / Seat
 R.E.U Calculation - $109 \times 0.13 = 14.17 = 15$ R.E.U.
 Average Flow - $100 \times 15 = 1,500$ GBD
 Peak Flow - $4 \times$ Average Flow = 6,000 GBD
 = 0.01 CFS
 6" @ 1.00 CFS = 0.73 CFS

EXISTING ELEVATION

821.65TC ELEVATION ON TOP OF CURB
 821.25PAV ELEVATION ON PAVEMENT
 821.25 SPOT ELEVATION

PROPOSED ELEVATION

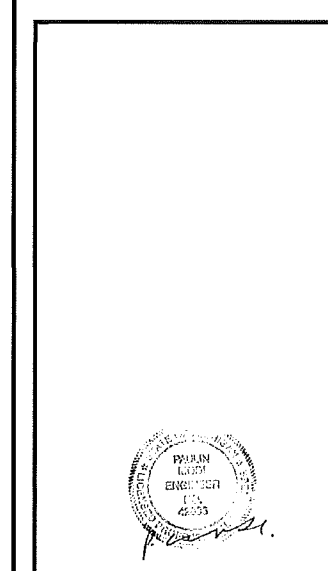
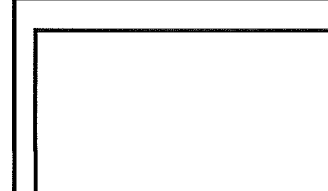
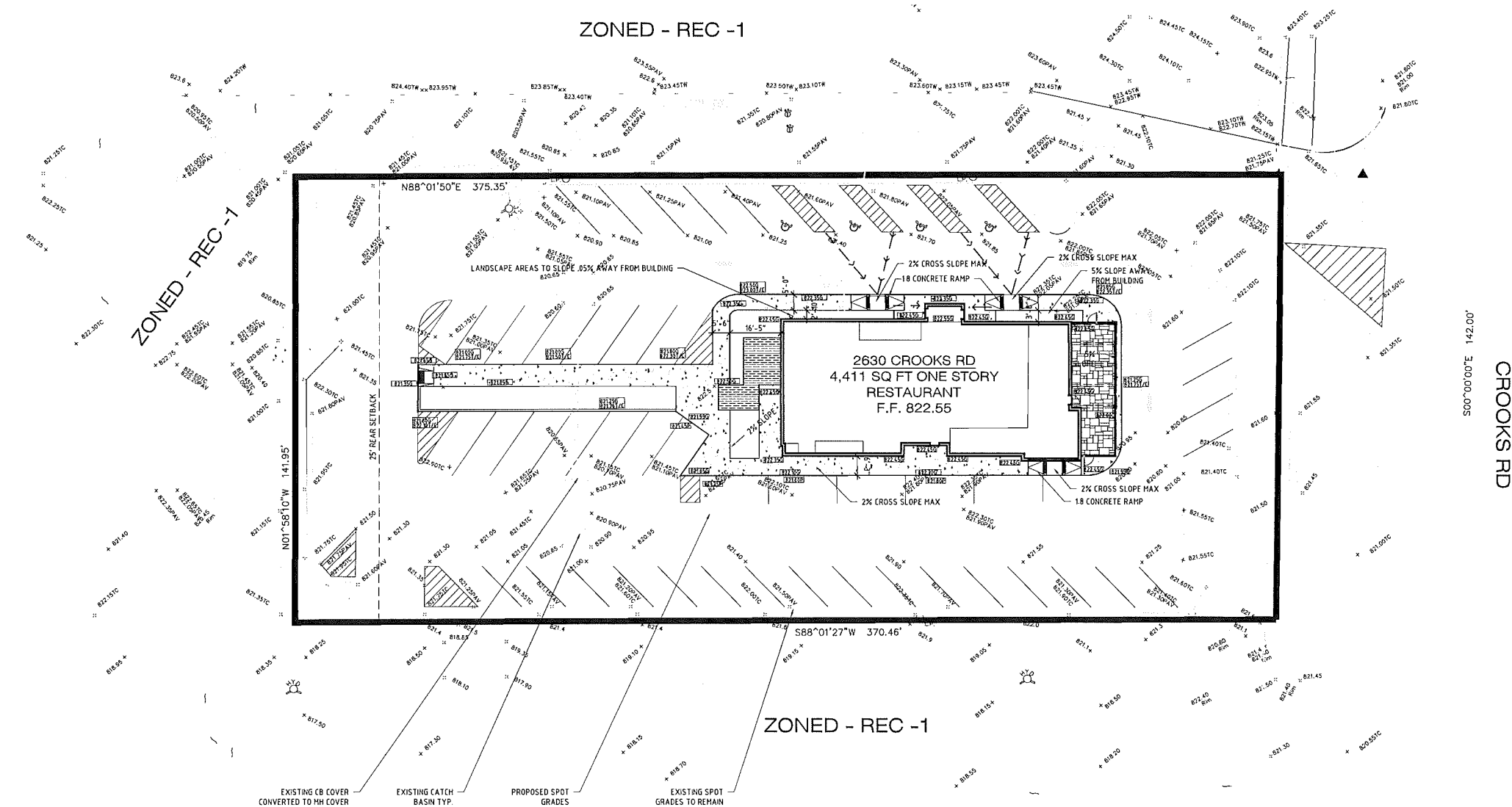
821.30G ELEVATION ON GUTTER
 821.80TC ELEVATION ON TOP OF CURB
 821.30 SPOT ELEVATION

SITE DATA

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Parcel I.D.	15-29-427-037
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Zoning	REC - 1
Parcel Area	2.19 Acres (92,300 Sq. Ft.)

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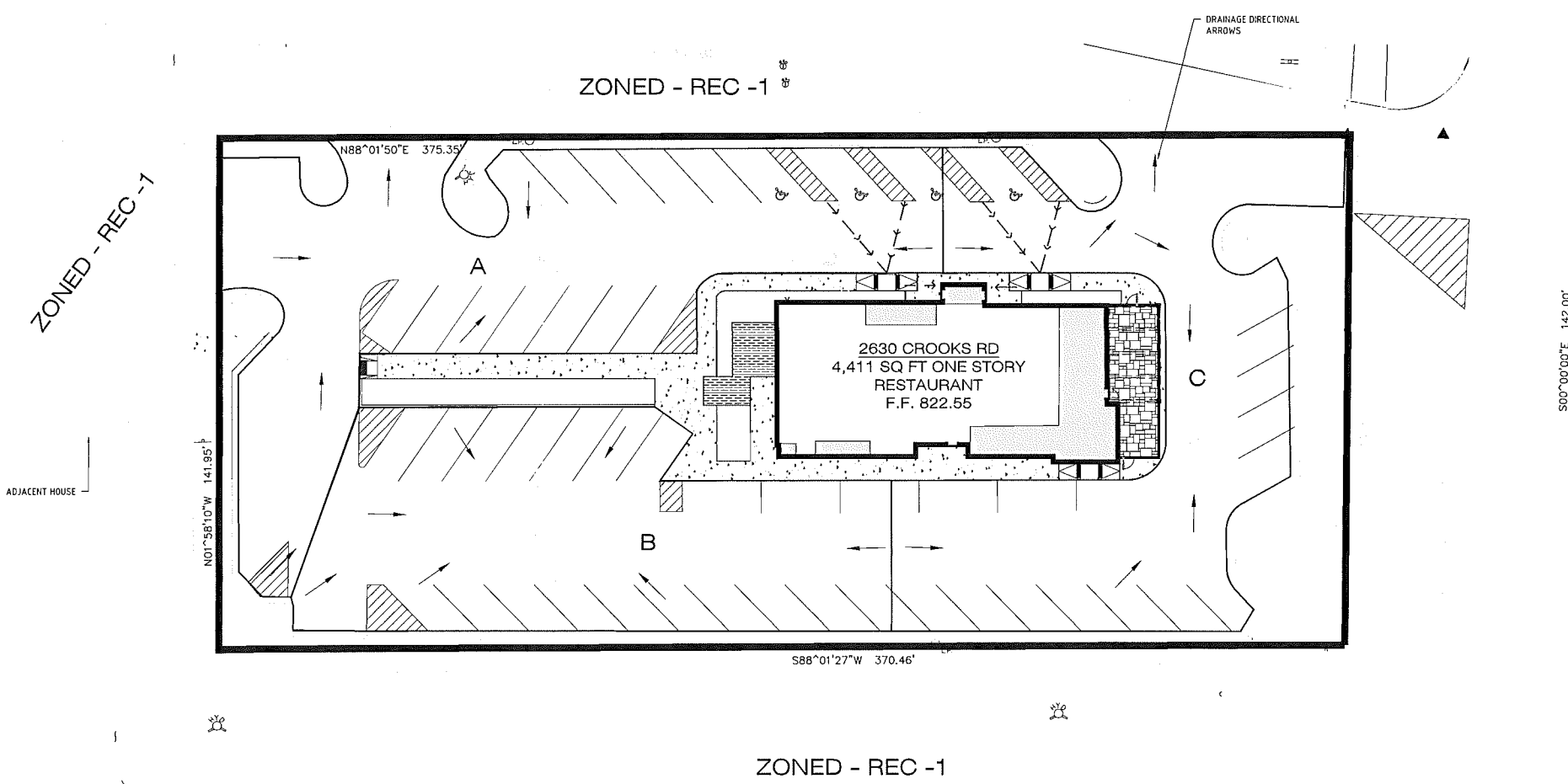
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 CITY FILE #17-050

Grading and Utility Plan

C300 017108

1 Grading and Utility Plan
 SCALE: 1"=20'
 NORTH



1 Drainage Pattern Plan
SCALE: 1" = 20'
NORTH

DRAINAGE AREAS

IDENTITY	Area S.F./Acres
A	11,028 S.F./ 0.25 Acres
B	8,705 S.F./ 0.2 Acres
C	9,302 S.F./ 0.21 Acres
TOTAL	29,035 S.F./ 0.66 Acres

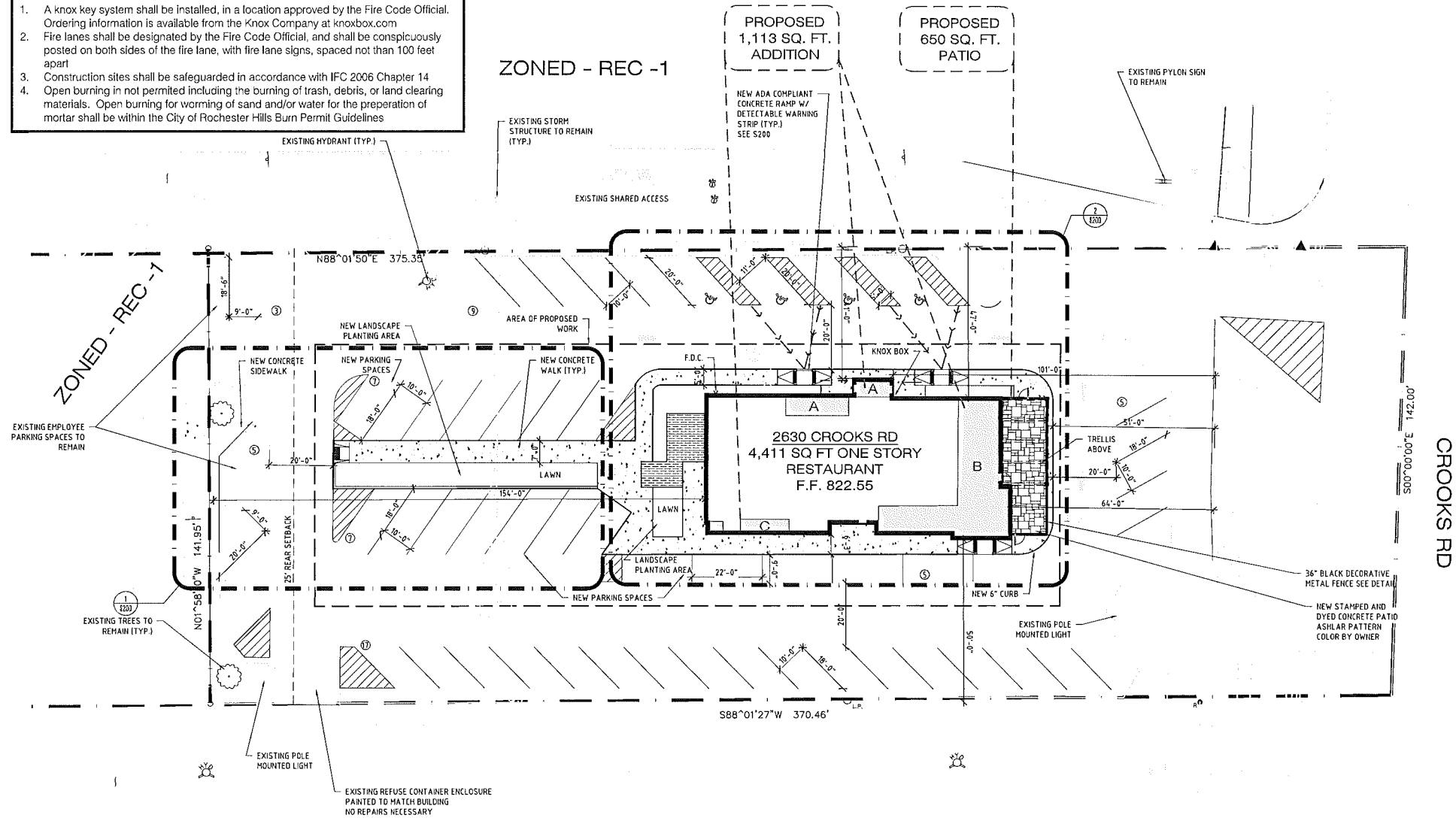
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<p>RH House 2630 Crooks Rd Rochester Hills, MI</p> <p>CITY FILE #17-050</p>															
<p>Drainage Pattern Plan</p>															
<p>C400</p>															
<p>017108</p>															

GENERAL NOTES

- All construction and materials shall be in accordance with the current standards and specifications of the city of Rochester Hills, Oakland county & MDOT.
- The contractor must contact the engineer should they encounter any design issues during construction. If the contractor makes design modifications without the written direction of the design engineer, the contractor does so at his own risk.
- All necessary permits, testing, bonds and insurances etc., shall be paid for by the contractor. The owner shall pay for all city inspection fees.
- The contractor shall be responsible for dust control during the periods of construction. This shall be considered incidental to the job.
- The contractor shall notify miss dig (811) and representatives of other utilities in the vicinity of the work a minimum of 72 hours prior to start of construction (excluding weekends and holidays) for location and stacking of on-site utility lines. If no notification is given and damage results, said damage will be repaired at sole expense of the contractor. If existing utility lines are encountered that conflict in location with the new construction, the contractor shall notify the design engineer so that the conflict may be resolved.
- Contractor to verify that the plans and specifications are the very latest plans and specifications and furthermore, verify that these plans and specifications have been approved. All items constructed by the contractor prior to receiving final approval, having to be adjusted or re-done, shall be at the contractor's expense. Should the contractor encounter a conflict between these plans and/or specifications, they shall seek clarification in writing from the engineer before commencement of construction. Failure to do so shall be at sole expense to the contractor.
- All properties or facilities in the surrounding areas, public or private, destroyed or otherwise disturbed due to construction, shall be replaced and/or restored to the original condition by the contractor.
- Manhole, catch basin, gate valves and hydrant finish grades must be closely checked and approved by the engineer before the contractors work is considered complete.
- Contractor shall remove and dispose of off-site any trees, brush, stumps, trash or other unwanted debris at the owner's direction including old building foundations and floors. Burning of trash, stumps or other debris shall not be permitted.
- The contractor shall provide all necessary barricading all necessary barricading signage, lights and traffic control devices to protect the work and safely maintain traffic in accordance with local requirements and the manual of uniform traffic control devices (latest edition) the design engineer, owner, city and state shall not be held liable for any claims resulting from accidents or damages caused by the contractors failure to comply with traffic and public safety regulations during the construction period.
- All excavations shall be sloped, shorted or braced in accordance with mi-osa requirements. The contractor shall provide an adequately constructed and braced shoring system for employees working in an excavation that may expose employees to the danger of moving ground.

FIRE DEPARTMENT NOTES

- A Knox key system shall be installed, in a location approved by the Fire Code Official. Ordering information is available from the Knox Company at knoxbox.com
- Fire lanes shall be designated by the Fire Code Official, and shall be conspicuously posted on both sides of the fire lane, with fire lane signs, spaced not than 100 feet apart
- Construction sites shall be safeguarded in accordance with IFC 2006 Chapter 14
- Open burning is not permitted including the burning of trash, debris, or land clearing materials. Open burning for worming of sand and/or water for the preparation of mortar shall be within the City of Rochester Hills Burn Permit Guidelines



NOTES

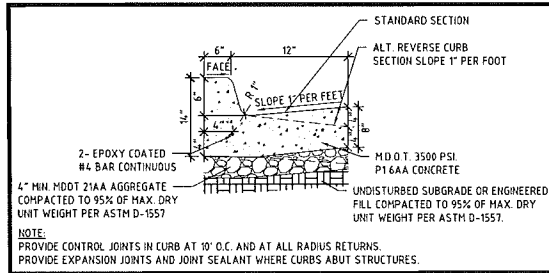
- No increase in stormwater runoff anticipated
- No changes to existing pole mounted lights
- Existing dumpster enclosure painted to match building, no repairs required.
- A note must be added to the plans that states that all signs must meet section 138-8.603 and chapter 134 of the city code of ordinances and be approved under a separate permit issued by the building department.

1 Site Plan SCALE: 1" = 20'

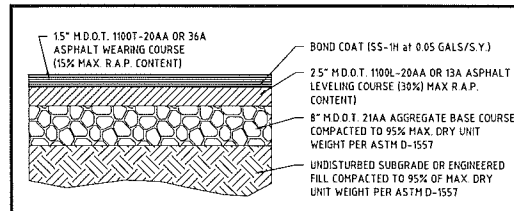
LEGEND

- ← Drainage Directional Arrows
- Manhole
- ⊗ Gate Valve
- Existing Storm System
- ⊕ Hydrant
- Existing Storm Water
- Existing Sanitary
- Existing Water Main
- Existing Catch Basin
- Existing Inlet Catch Basin
- Existing Hydrant
- Existing Topo Elevation
- Existing Bollard

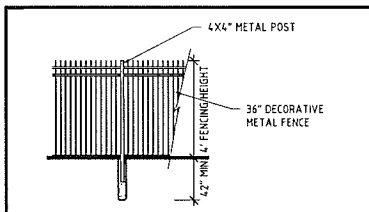
STANDARD CONCRETE CURB DETAILS



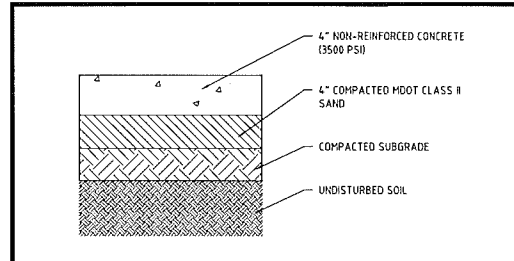
STANDARD DUTY ASPHALT NOTES



METAL FENCE DETAIL



SIDEWALK CROSS-SECTION



SITE DATA

Regulation	Information
Parcel I.D.	15-29-427-037
Address	2630 Crooks Rd, Rochester Hills, MI 48309
Zoning	REC - 1
Parcel Area	2.19 Acres (92,300 Sq. Ft.)

PROPOSED BUILDING ADDITION

A	= 187 SF
B	= 843 SF
C	= 80 SF
TOTAL	= 1,113 SF

SETBACKS DETAIL

Requirement	Proposed Ft. (Area-A)	Proposed Ft. (Area-B)
Max. Height 80ft.	36	36
Min. Front Setback min/max (east - Crooks Rd.) 5ft./80ft.	103	65
Min. Side Setback (north/south) 0ft.	41/90	47/50
Min. Rear Setback (west) 25ft.	181	208

PARKING DETAIL

Requirement	Proposed
Min. #Parking Spaces Restaurant - 1 per 2 persons permitted at max occupancy = 114 Persons	58 spaces
Min. Barrier Free Spaces 11ft.x18ft. w/ 5ft. aisle	4 spaces
Min. Parking Space Dimensions 10ft.x18ft. (customer spaces)	54 spaces

DESIGNHAUS ARCHITECTURE EST 1998
 301 WALNUT BOULEVARD ROCHESTER, MI 48307
 T:248.601.4422 F:248.453.5854
 WWW.DESIGNHAUS.COM
 INFO@DESIGNHAUS.COM

Professional seal and revision table:

No.	Revision/Issue	Date
1	Site Plan Re-Submittal	01.31.2018
2	Site Plan Approval	02.04.2017

RH House
 2630 Crooks Rd
 Rochester Hills, MI
 CITY FILE #17-050
S100 017108

S100 Site Plan.dwg 2/23/2018 Dell User

D-Series Size 0 LED Area Luminaire

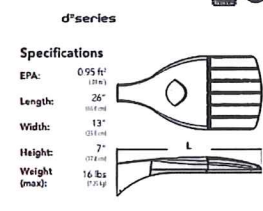


Height	7"
Length	26"
Width	13"
Weight	16 lbs

Capable Luminaire
This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is A+ Certified when ordered with DTL equipped luminaires meet the A+ specification for luminaire to photometric interoperability
- This luminaire is part of an A+ Certified solution for ROAM or XPoint wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded background

To learn more about A+, visit www.acuitybrands.com/a-plus
1. See ordering tree for details.
2. A+ Certified Solutions for ROAM require the order of one ROAM mode per luminaire. Sold Separately. Link to Roaming Link to DTL LED.

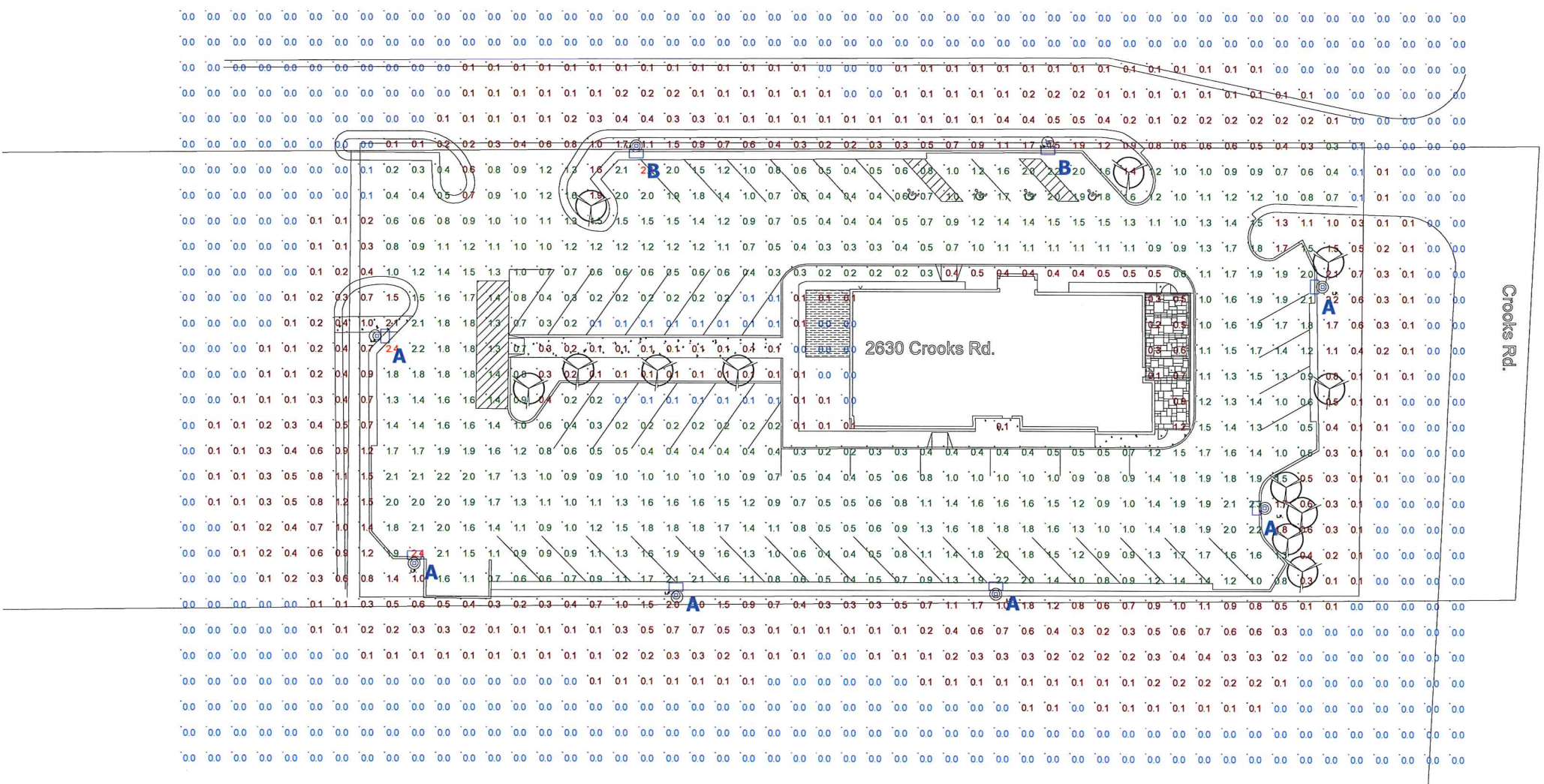


Ordering Information

EXAMPLE: DSX0 LED P6 40K T3M HVOLT SPA DDBX0

Series	SKU	Color Temperature	Beam Spread	Height	Mounting
DSX0 LED	P6	4000K	115	7'	SPA
	P7	4000K	115	7'	SPA
	P5	5000K	115	7'	SPA
	P6	AMPC	115	7'	SPA
	P7		115	7'	SPA
	P5		115	7'	SPA
	P6		115	7'	SPA
	P7		115	7'	SPA
	P5		115	7'	SPA
	P6		115	7'	SPA
	P7		115	7'	SPA

Control option	Driver option	Finish
PER: RIMA lens lock mount only (sold separately)	DRIVE: B: Not included (standard)	FINISH: B: Black
PER: RIMA lens lock mount only (sold separately)	DRIVE: S: Single (100, 275, 400)	FINISH: S: Silver
PER: RIMA lens lock mount only (sold separately)	DRIVE: D: Dual (100, 275, 400)	FINISH: D: White
PER: RIMA lens lock mount only (sold separately)	DRIVE: L: LED (100, 275, 400)	FINISH: L: LED (100, 275, 400)
PER: RIMA lens lock mount only (sold separately)	DRIVE: H: Hybrid (100, 275, 400)	FINISH: H: Hybrid (100, 275, 400)
PER: RIMA lens lock mount only (sold separately)	DRIVE: H: Hybrid (100, 275, 400)	FINISH: H: Hybrid (100, 275, 400)
PER: RIMA lens lock mount only (sold separately)	DRIVE: H: Hybrid (100, 275, 400)	FINISH: H: Hybrid (100, 275, 400)
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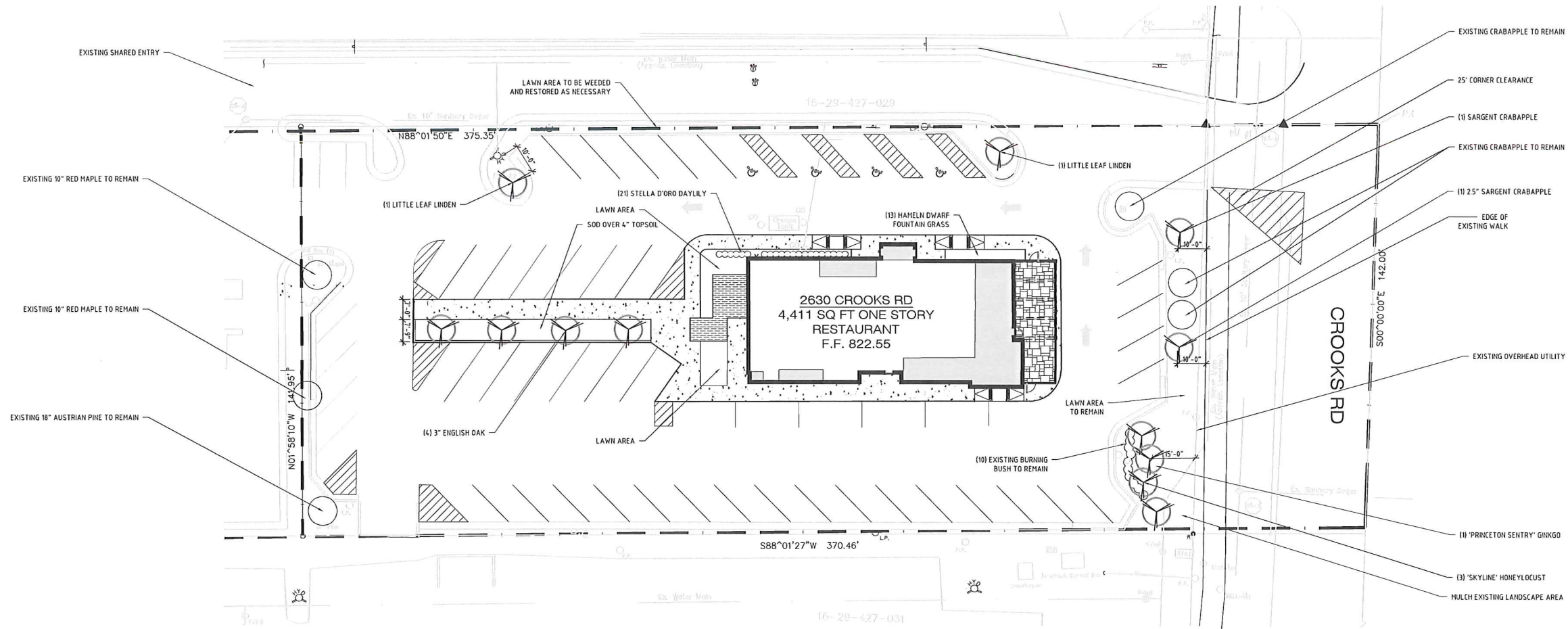
GENERAL NOTE
1. SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
2. SEE LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTOR.
3. CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: GRADE.

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PARKING/ DRIVE AREA	★	1.1 fc	2.4 fc	0.1 fc	24.0:1	11.0:1

Luminaire Schedule											
Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens per Lamp	LLF	Wattage
□	A	6	Lithonia Lighting	DSX0 LED P3 40K T7FH HVOLT HS	DSX0 LED P3 40K T7FH HVOLT with houseshield	LED	1	DSX0_LED_P3_40K_T7FH_H VOLT_HS.lvs	6595	0.9	71
□	B	2	Lithonia Lighting	DSX0 LED P3 40K T3H HVOLT HS	DSX0 LED P3 40K T3H HVOLT with houseshield	LED	1	DSX0_LED_P3_40K_T3H_H VOLT_HS.lvs	6649	0.9	71

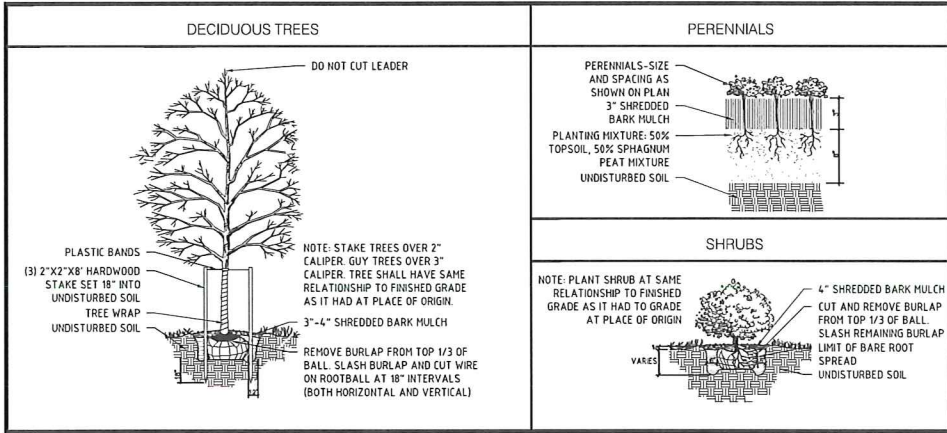


1 LANDSCAPE PLAN
1/2/2017

LANDSCAPE REQUIREMENTS

Disposition	Landscaping Required	Landscaping Provided	Note
R.O.W. (Crooks Rd.) Existing Frontage - 142'	(1) Deciduous Tree / 35' 142' / 35' = 5 Trees Required (1) Ornamental Tree / 60' 142' / 60' = 3 Trees Required	(4) Deciduous Trees (Due to O.H. utility constraints, (1) ornamental tree to be substituted for (1) deciduous tree. (4) Ornamental Trees (2 Existing)	(10) Existing Burning Bush to Remain (8) New Trees Proposed w/ (2) Existing to Remain
Buffer 'D' (North, South, West)	Not Required	None	
Parking Lot Requirements:	5% of Parking Area 27,879 Sq. Ft. @ 5% = 1,394 Sq. Ft. Landscape Area Required 1,394 Sq. Ft. / 150 = 10 Trees Required	(10) Trees in + 2,886 Sq. Ft. Landscape Area Provided	(6) New Trees Provided w/ (4) Trees Existing to Remain

PLANTING DETAILS



GENERAL NOTES FOR LANDSCAPE DEVELOPMENT

- LANDSCAPE CONTRACTOR SHALL VISIT THE SITE, INSPECT EXISTING SITE CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED WORK. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, PLAN SHALL GOVERN QUANTITIES. CONTACT LANDSCAPE ARCHITECT WITH ANY CONCERNS.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON-SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON HIS/HER PHASE OF WORK. ELECTRIC, GAS, TELEPHONE, CABLE TELEVISION MAY BE LOCATED BY CALLING MISS DIG. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF CONTRACTOR. CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES ON THE JOB AND SHALL REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNERS REPRESENTATIVE PRIOR TO COMMENCING.
- ALL PLANT MATERIAL TO BE PREMIUM GRADE NURSERY STOCK AND SHALL SATISFY AMERICAN ASSOCIATION OF NURSEYMEN STANDARD FOR NURSERY STOCK. ALL LANDSCAPE MATERIAL SHALL BE NORTHERN GROWN, NO. 1 GRADE.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON LANDSCAPE PLAN PRIOR TO PRICING THE WORK.
- THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
- ALL SINGLE STEM SHADE TREES TO HAVE STRAIGHT TRUNKS AND SYMMETRICAL CROWNS.
- ALL SINGLE TRUNK SHADE TREES TO HAVE A CENTRAL LEADER. TREES WITH FORKED OR IRREGULAR TRUNKS WILL NOT BE ACCEPTED.
- ALL TREES TO HAVE CLAY OR CLAY LOAM BALLS. TREES WITH SAND BALLS WILL BE REJECTED.
- ALL TREE LOCATIONS SHALL BE STAKED BY LANDSCAPE CONTRACTOR AND ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF THE PLANT MATERIAL.
- CONCERNING GROUND COVER, ALL PLANTING BEDS SHALL RECEIVE 3" SHREDDED HARDWOOD BARK MULCH. SEE SPECIFICATIONS. ALL OTHER DISTURBED AREAS SHALL BE SODDED.
- LANDSCAPING SHALL BE MAINTAINED IN A GOOD CONDITION TO PRESENT A HEALTHY, NEAT, AND ORDERLY APPEARANCE FREE FROM REFUSE AND DEBRIS. ALL UNHEALTHY AND DEAD MATERIAL SHALL BE REPLACED WITHIN ONE (1) YEAR OF THE NEXT APPROPRIATE PLANTING PERIOD.
- OWNER TO ESTABLISH MAINTENANCE PROGRAM TO ENSURE GROUNDS AND LANDSCAPING TO REMAIN HEALTHY AND WELL-GROOMED.
- RECOMMENDED PLANTING DATES ARE MARCH 1ST TO MAY 15TH FOR ALL MATERIALS, AND OCTOBER 15TH TO DECEMBER 15TH FOR DECIDUOUS MATERIALS. PLANTINGS OUTSIDE THESE DATES SHALL HAVE PRIOR APPROVAL OF THE LANDSCAPE ARCHITECT.
- UNDERGROUND IRRIGATION SYSTEM TO BE DESIGNED AND INSTALLED BY CONTRACTOR.
- TURF GRASS TO BE COMMON TO OAKLAND COUNTY, MI.

NOTE:

- EXISTING IRRIGATION TO BE MODIFIED TO COVER ALL LANDSCAPE AREAS AS REQUIRED
- PRIOR TO RELEASE OF PERFORMANCE BOND, THE CITY OF ROCHESTER HILLS MUST INSPECT ALL LANDSCAPE PLANTINGS.

PLANT SCHEDULE

#	BOTANICAL NAME	COMMON NAME	SIZE/ROOT	UNIT COST / TOTAL
1	GINKGO biloba 'PRINCETON SENTRY'	PRINCETON SENTRY GINKGO	3" B&B	\$350.00 / \$350.00
3	GLEDITSIA tricanthos 'SKYLINE'	SKYLINE HONEYLOCUST	3" B&B	\$325.00 / \$975.00
2	TILIA cordata 'GREENSPIRE'	GREENSPIRE LITTLELEAF LINDEN	3" B&B	\$325.00 / \$650.00
4	QUERCUS robur	ENGLISH OAK	3" B&B	\$350.00 / \$1,400.00
13	PENNISSETUM a. 'HAMLIN'	HAMLIN FOUNTAIN GRASS	#3 CONT.	\$30.00 / \$390.00
21	HEMEROCALLIS x 'STELLA D'ORO'	STELLA D'ORO DAYLILY	#2 CONT.	\$15.00 / \$315.00
1	MALUS x 'SARGENTII'	SARGENT CRABAPPLE	3" B&B	\$275.00 / \$275.00
TOTAL NEW TREES: 11				
TOTAL SHRUBS, GRASSES & PERENNIALS: 36				LANDSCAPE TOTAL: \$4,355.00

DESIGNHAUS EST 1998
ARCHITECTURE

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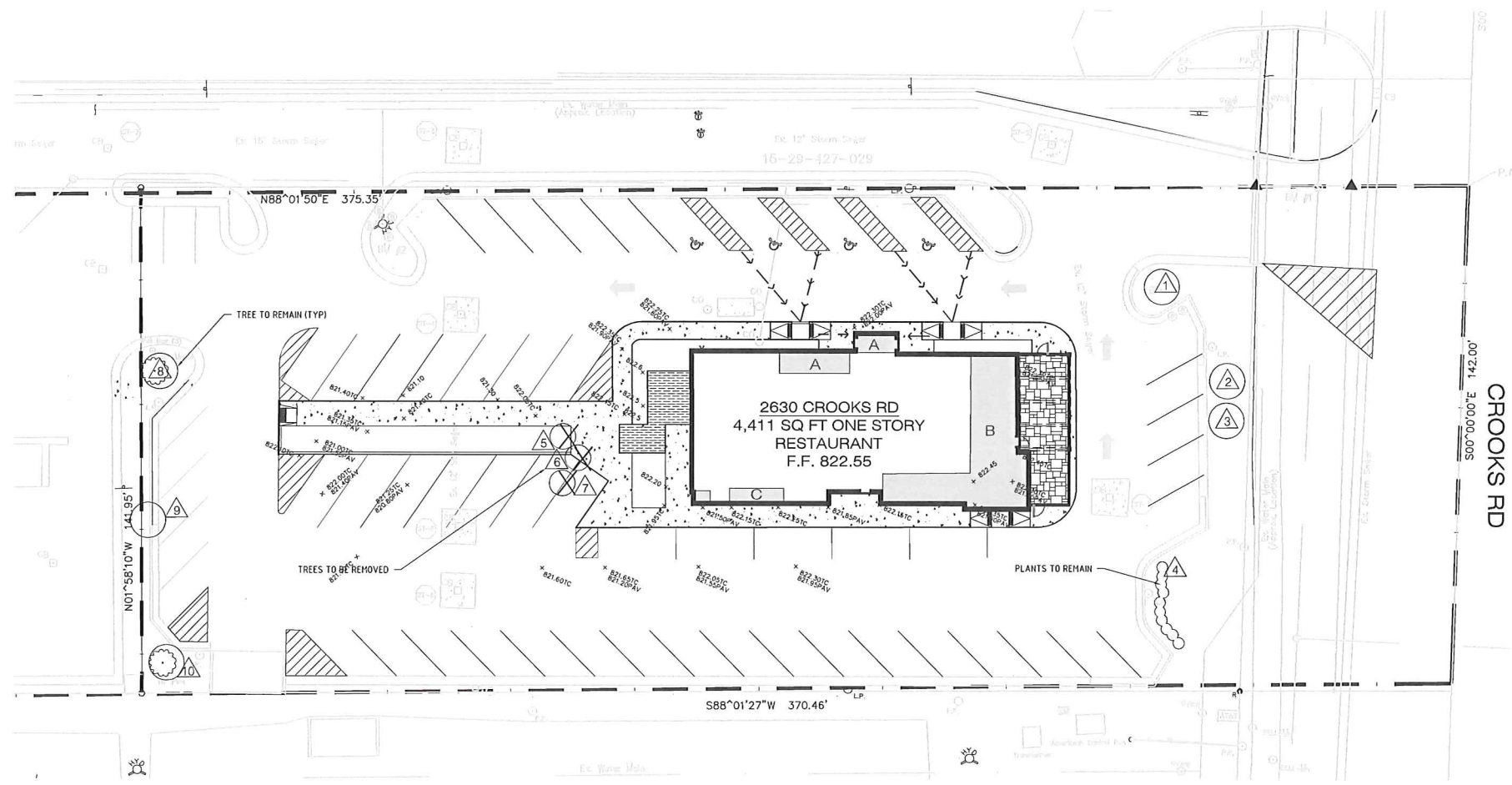
No.	Revision/Issue	Date
	Site Plan Re-Submittal	01.31.2018
	Site Plan Approval	2.04.2017

RH House
2630 Crooks Rd
Rochester Hills, MI

CITY FILE #17-050

Landscape Plan

L200 017108



1 Existing Tree Inventory and Preservation Plan NORTH

EXISTING TREE INVENTORY

TAG	BOTANICAL NAME	COMMON NAME	SIZE	DISPOSITION
1	MALUS	CRABAPPLE	4"	TO REMAIN
2	"	"	"	TO REMAIN
3	"	"	"	TO REMAIN
4	EUONYMUS alata	BURNING BUSH	10	TO REMAIN
5	MALUS	"	4"	TO BE REMOVED
6	"	"	"	TO BE REMOVED
7	"	"	"	TO BE REMOVED
8	ACER rubrum	RED MAPLE	8"	TO REMAIN
9	"	"	"	TO REMAIN
10	PINUS	PINE	18"	TO REMAIN

- ⚠ EXISTING TREE TAG
- ✗ EXISTING TREE TO BE REMOVED

NOTE:
NO WETLANDS ON SITE
NO NATURAL FEATURE SETBACKS REQUIRED
NO STEEP SLOPES ON SITE
EXISTING IRRIGATION SYSTEM TO BE REPAIRED IF NECESSARY
ALL LANDSCAPE AREAS ARE IRRIGATED



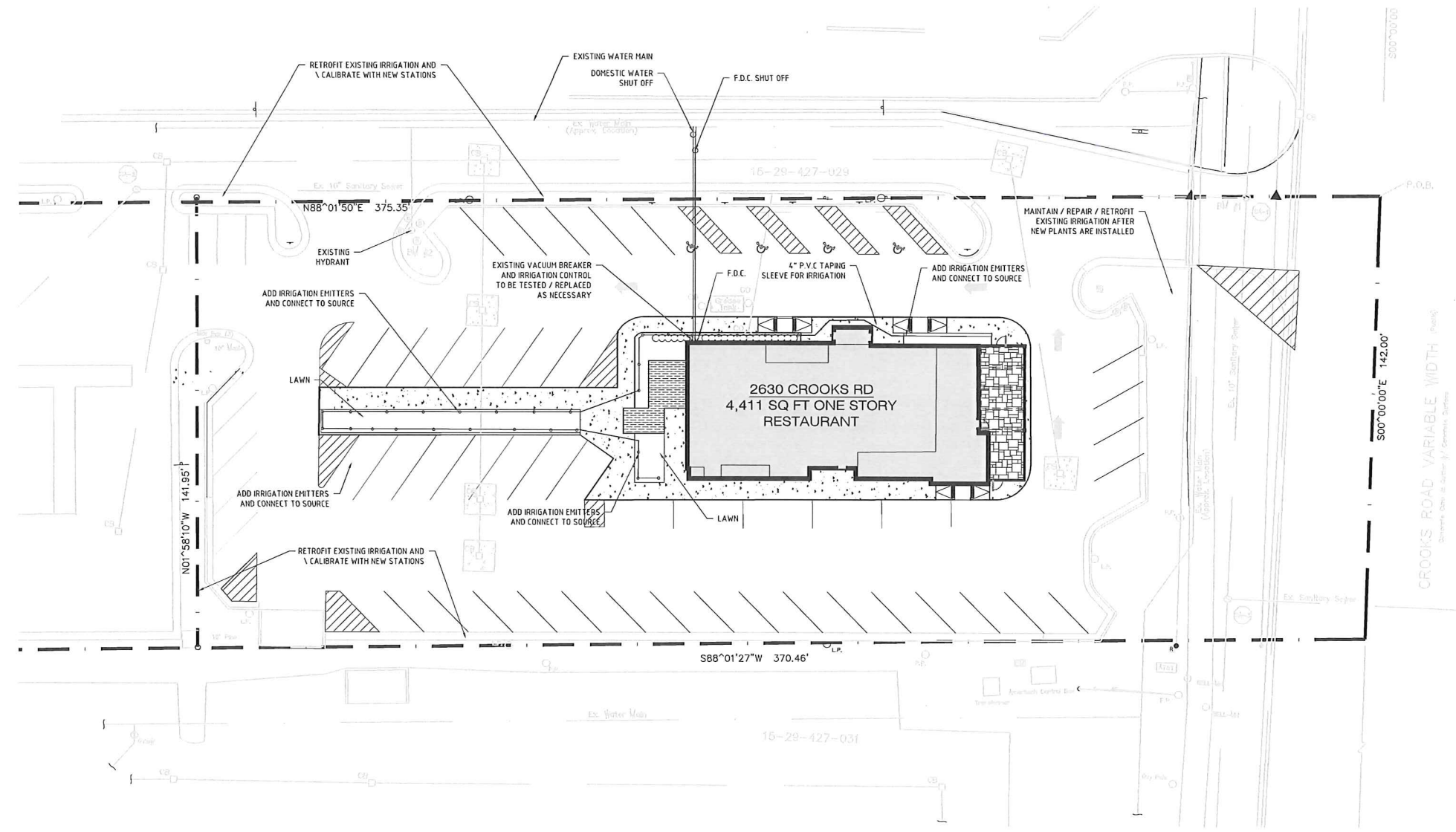
No.	Revision/Issue	Date
1	Site Plan Approval	2.04.2017
2	Site Plan Re-Submittal	01.31.2018

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Rochester Hills, MI

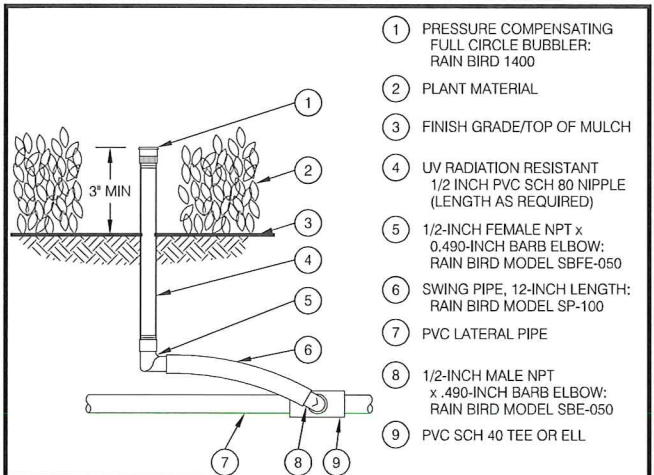
CITY FILE #17-050

Existing Tree Inventory and
Preservation Plan

L100 017108

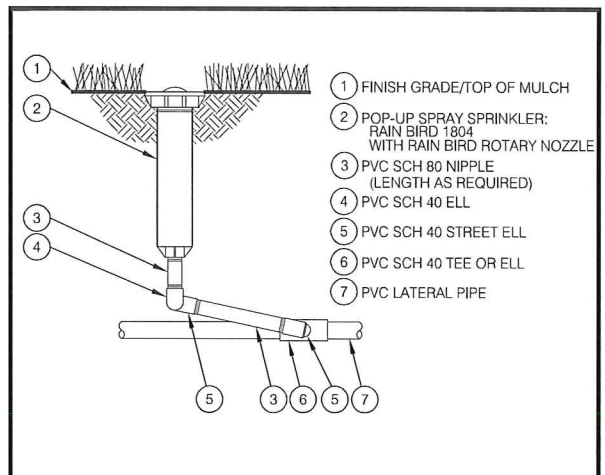


1400 SERIES BUBBLER



- 1 PRESSURE COMPENSATING FULL CIRCLE BUBBLER: RAIN BIRD 1400
- 2 PLANT MATERIAL
- 3 FINISH GRADE/TOP OF MULCH
- 4 UV RADIATION RESISTANT 1/2 INCH PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)
- 5 1/2-INCH FEMALE NPT x 0.490-INCH BARB ELBOW: RAIN BIRD MODEL SBFE-050
- 6 SWING PIPE, 12-INCH LENGTH: RAIN BIRD MODEL SP-100
- 7 PVC LATERAL PIPE
- 8 1/2-INCH MALE NPT x .490-INCH BARB ELBOW: RAIN BIRD MODEL SBE-050
- 9 PVC SCH 40 TEE OR ELL

1804 POP-UP SPRAY SPRINKLER



- 1 FINISH GRADE/TOP OF MULCH
- 2 POP-UP SPRAY SPRINKLER: RAIN BIRD 1804 WITH RAIN BIRD ROTARY NOZZLE
- 3 PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)
- 4 PVC SCH 40 ELL
- 5 PVC SCH 40 STREET ELL
- 6 PVC SCH 40 TEE OR ELL
- 7 PVC LATERAL PIPE

1 Irrigation Plan NORTH
1" = 30'

IRRIGATION NOTES

1. ALL PROPOSED IRRIGATION MODIFICATIONS SHALL BE DESIGNED AND INSTALLED BY OWNERS IRRIGATION CONTRACTOR
2. IRRIGATION CONTRACTOR SHALL COORDINATE CONDUIT LOCATIONS FOR PROPOSED IRRIGATION PRIOR TO PAVING / SIDEWALK INSTALLATION
3. ALL IRRIGATION MODIFICATIONS ARE ESTIMATED AT \$3,500.00 FOR BONDING PURPOSES
4. IRRIGATION WATERING TIMES SHALL OCCUR BETWEEN THE HOURS OF 12AM AND 5AM.

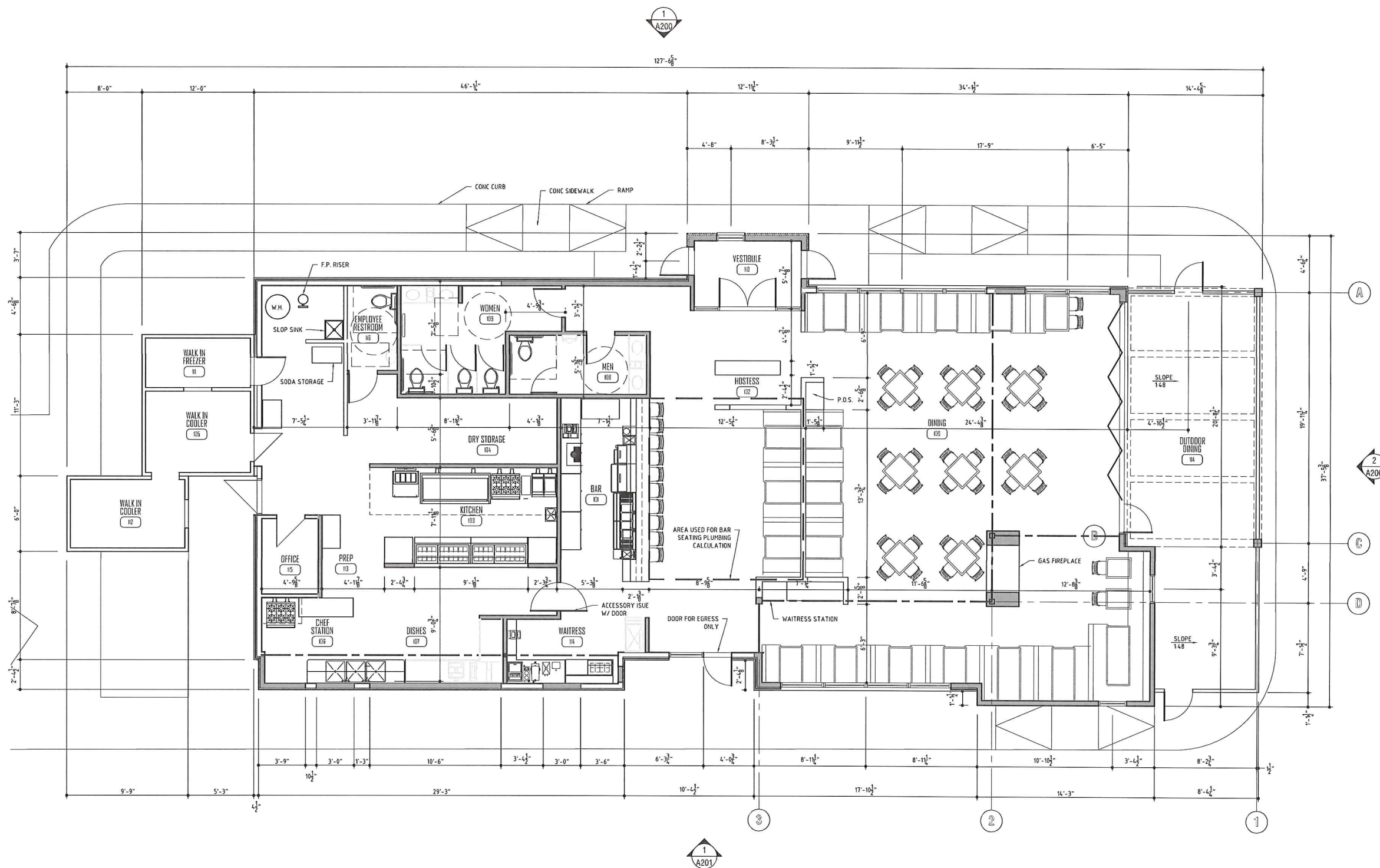


No.	Revision/Issue	Date
	Site Plan Re-Submittal	01.31.2018
	Site Plan Approval	02.04.2017

RH House
2630 Crooks Rd
Rochester Hills, MI

Irrigation Plan
CITY FILE #17-050

L300 017108



No.	Revision/Issue	Date
—	—	—
—	—	—
—	Site Plan Re-Submittal	01.31.2015
—	Site Plan Approval	02.04.2017

RH House
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Rochester Hills, MI

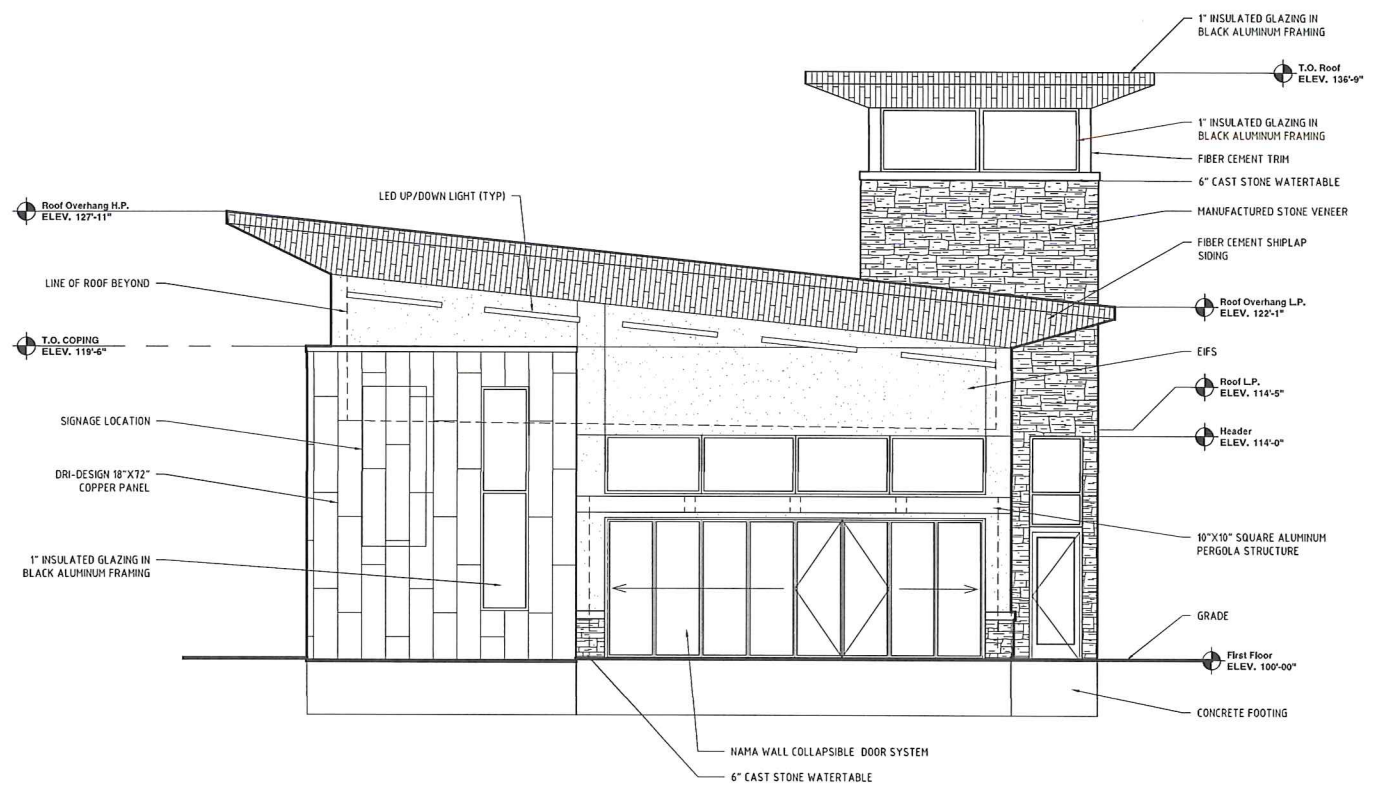
CITY FILE #17-050

Floor Plan

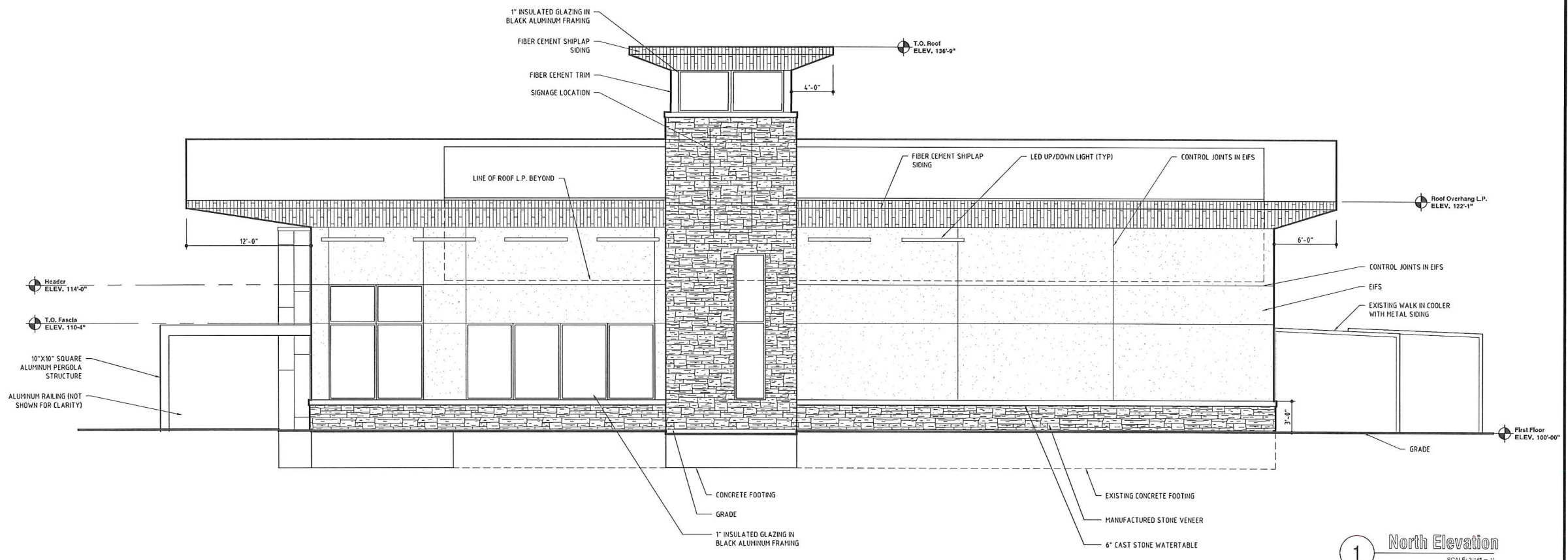
A100

07/108

1 Floor plan SCALE: 3/16" = 1' NORTH



2 East Elevation
SCALE: 3/16" = 1'



1 North Elevation
SCALE: 3/16" = 1'

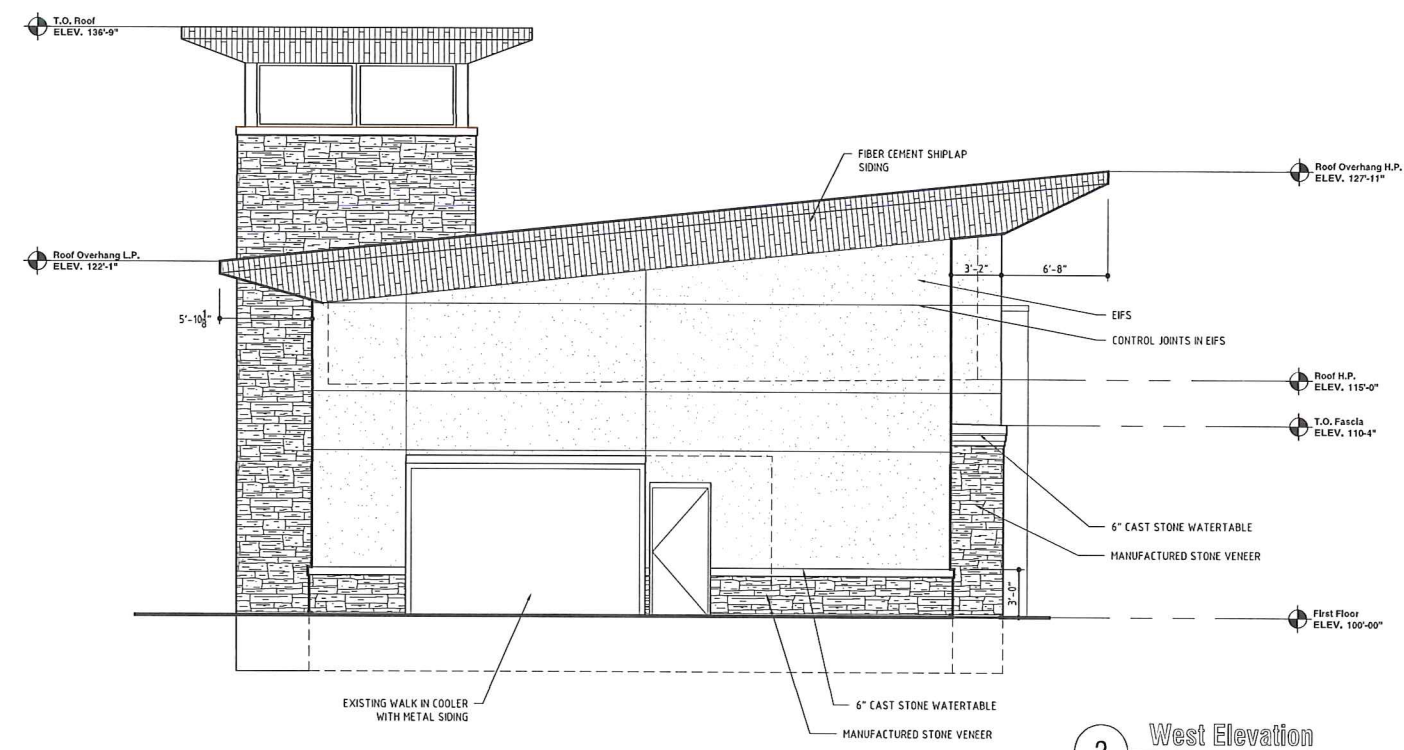


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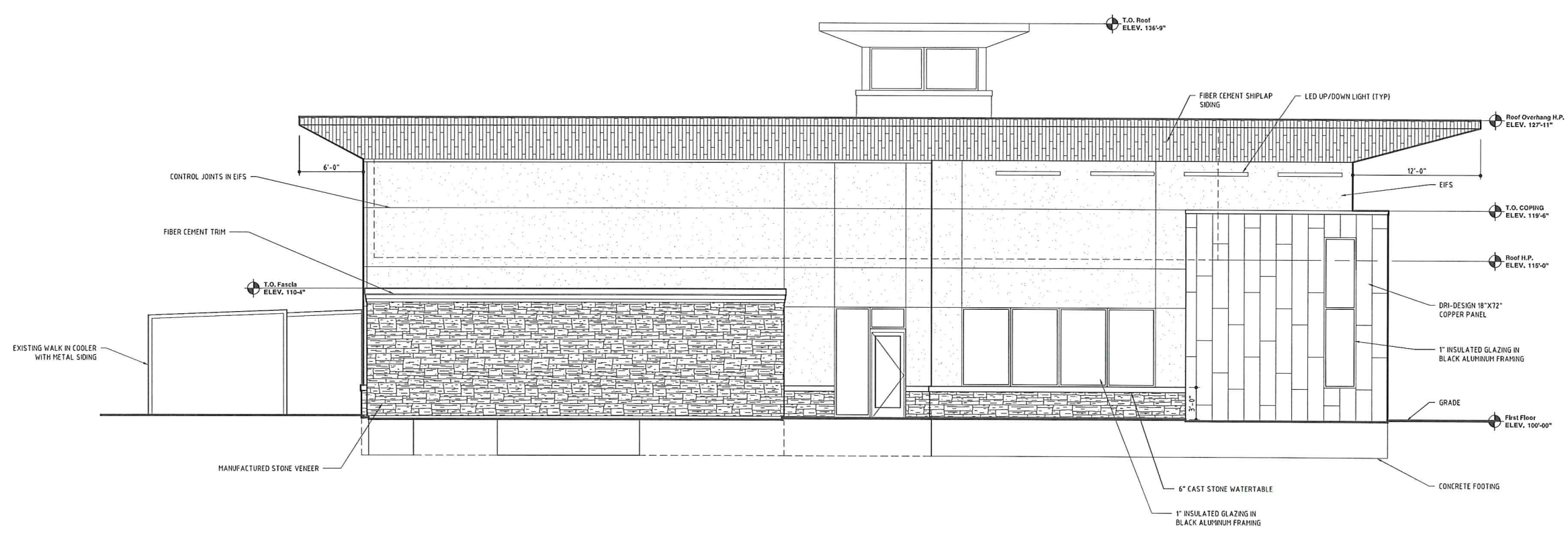
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Elevations

A200 017108



2 West Elevation
SCALE: 3/16" = 1'



1 South Elevation
SCALE: 3/16" = 1'



No.	Revision/Issue	Date
—	—	—
—	—	—
—	Site Plan Re-Submittal	01.31.2018
—	Site Plan Approval	02.04.2017

RH House
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Elevations

A201 017108