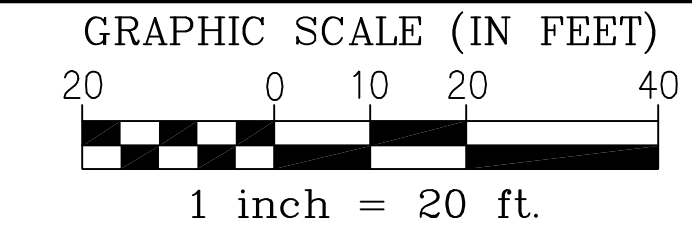


**CROSS ACCESS NOTE:**  
 THE BANK OF AMERICA, ITS SUCCESSORS AND ASSIGNS, HEREBY AGREE TO COMPLETE A CROSS ACCESS EASEMENT WITH THE PARCEL TO THE NORTH OF THE BANK SITE (PARCEL NO. 70-15-30-301-039) AND THAT THE LOCATION OF THE EASEMENT WILL BE DETERMINED AT THE TIME THAT THE PARCEL TO THE NORTH IS DEVELOPED. THE CROSS ACCESS EASEMENT INCLUDING ITS LOCATION AND CONSTRUCTION COST SHALL BE MUTUALLY AGREED TO BY BOTH PARTIES; AND SHALL BE RECORDED.

**LEGEND**

- FOUND IRON W/CAP NO. 47955
- EX. UTILITY POLE
- EX. BURIED ELECTRIC LINES
- EX. TELEPHONE MARKER
- EX. TELEPHONE PEDESTAL
- EX. BURIED TELEPHONE LINES
- EX. LIGHT POLE
- EX. ROAD SIGN
- EX. STORM MANHOLE
- EX. STORM CATCHBASIN
- EX. STORM SEWER
- EX. SANITARY MANHOLE
- EX. SANITARY SEWER
- EX. FIRE HYDRANT
- EX. WATERMAIN
- EX. GAS MAIN
- EX. GAS MARKER
- PROP. STORM MANHOLE
- PROP. STORM CATCHBASIN
- PROP. STORM SEWER
- PROP. SANITARY MANHOLE
- PROP. SANITARY CLEANOUT
- PROP. SANITARY SEWER
- PROP. DETECTABLE WARNING SURFACE
- PROP. WHITE PAINT TRAFFIC DIRECTIONAL ARROW
- PROP. WATERMAIN
- PROP. WATER MANHOLE
- PROP. WATER GATEVALVE
- PROP. FIRE HYDRANT
- PROP. LIGHT POLES
- PROP. BARRIER FREE SPACE
- PROP. CONCRETE AREAS
- PROP. 4" ASPHALT OVER 6" LIMESTONE PARKING LOT PAVEMENT
- PROP. 6-1/2" ASPHALT OVER 6" LIMESTONE HEAVY DUTY PAVEMENT
- PROP. 24" WIDE CONCRETE CURB & GUTTER
- PROP. 6" LONG WHEEL STOPS
- PROP. STORM WATER TREATMENT STRUCTURE
- ZONED INDUSTRIAL PER CONSENT JUDGEMENT



**FLOODPLAIN NOTE:**  
 THIS PROPERTY IS IN ZONE "X", OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN BOUNDARY (AREA OF MINIMAL FLOODING AS PER FLOOD INSURANCE RATE MAP NO. 26125C0389F, PANEL 389 OF 704 WHICH BEARS AN EFFECTIVE DATE OF SEPTEMBER 29, 2006).

**SITE DATA:**

- PRESENT SITE ZONING/LAND USE: INDUSTRIAL PER CONSENT JUDGEMENT (CIRCUIT COURT CASE NO. 02-046199-AW)
  - MIN. LOT SIZE: NONE SPECIFIED
  - MIN LOT WIDTH: NONE SPECIFIED
  - BUILDING SETBACKS:
    - A) FRONT-ADAMS ROAD: 75 FEET (PER CONSENT JUDGEMENT, ITEM 3B)
    - B) FRONT-MARKETPLACE CIRCLE: 50 FEET (PER CITY PLANNER)
    - C) SIDE SETBACK: 25 FEET (CONSENT JUDGEMENT, ITEM 3B)
    - D) REAR SETBACK: 50 FEET (PER CITY PLANNER)
  - ADJACENT ZONING = 1 (INDUSTRIAL) - SOUTH  
 1 (INDUSTRIAL) PER CONSENT JUDGEMENT - WEST, EAST
  - TOTAL SITE AREA = 45,433 SFT. OR 1.043 ACRES
  - MAX LOT COVERAGE = NONE SPECIFIED  
 PROPOSED GROSS BUILDING AREA = 3,066 SFT.  
 PROPOSED USEABLE FLOOR AREA = 2,608 SFT.  
 PROPOSED CANOPY AREA = 1,289 SFT.
  - MAX BUILDING HEIGHT ALLOWED = 40 FEET (PER CONSENT JUDGEMENT, ITEM 3A)  
 PROPOSED BUILDING HEIGHT = 21 FEET (ONE STORY)
  - PARKING SPACE & LANE SIZE REQUIREMENTS  
 PARKING SPACE SIZES:
    - a) 90° REGULAR = 10' x 18'
    - b) BARRIER FREE = 8' (MIN) x 18' W/8' AISLE (VAN ACCESSIBLE) OR 5' AISLE (NON VAN ACCESSIBLE)
    - c) 90° DRIVE AISLE = 24'
  - PARKING PROVIDED:
    - a) 1 SPACE PER 350 SFT. OF GROSS FLOOR AREA (GFA) = 3,066 SFT. x 1 SPACE/350 SFT. = 9 SPACES
    - b) BARRIER FREE SPACES = 2 SPACES
    - c) DRIVE THRU STACKING SPACES = 3 PER WINDOW
  - LOADING AREA = NONE REQUIRED BY BANK OF AMERICA
  - EXISTING LAND USE = VACANT
  - PROPOSED LAND USE = BANK OF AMERICA BRANCH WITH DRIVE THRU
  - PROPERTY TAX PARCEL NO.: TAX ITEM NO. 70-15-30-301-040
- NOTE: SITE LIGHT POLE LOCATIONS WERE OBTAINED FROM THE SITE LIGHTING PLAN PREPARED BY GMR PROTECTION RESOURCES, INC.  
 NOTE: ALL SITE SIGNAGE MUST COMPLY WITH THE TERMS OF THE CONSENT JUDGEMENT AND WITH THE BANK OF AMERICA STANDARDS

**LEGAL DESCRIPTION AS PROVIDED**

TAX ITEM NO. 70-15-30-301-040  
 THE LAND REFERRED TO IN THIS COMMITMENT, SITUATED IN THE COUNTY OF OAKLAND, CITY OF ROCHESTER HILLS, STATE OF MICHIGAN, IS DESCRIBED AS FOLLOWS:  
 PART OF THE SOUTHWEST 1/4 OF SECTION 30, TOWN 3 NORTH, RANGE 11 EAST, CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS: COMMENCING AT THE WEST 1/4 CORNER OF SAID SECTION 30 (AS REMONUMENTED); THENCE SOUTH 85 DEGREES 49 MINUTES 02 SECONDS WEST 1.93 FEET ALONG THE WESTERLY EXTENSION OF THE EAST AND WEST 1/4 LINE OF SAID SECTION 30 TO A PROPERTY CONTROLLING CORNER (FORMERLY DESCRIBED AS THE WEST 1/4 CORNER OF SAID SECTION 30); THENCE PROCEEDING ALONG A PROPERTY CONTROLLING LINE (AS MONUMENTED), FORMERLY DESCRIBED AS THE WEST LINE OF SECTION 30, ALSO BEING THE CENTERLINE OF OLD ADAMS ROAD (VARIABLE WIDTH) SOUTH 01 DEGREE 30 MINUTES 03 SECONDS EAST 380.18 FEET MEASURED (DUE SOUTH 380.00 FEET RECORD); THENCE NORTH 85 DEGREES 38 MINUTES 52 SECONDS EAST MEASURED (NORTH 87 DEGREES 46 MINUTES 00 SECONDS EAST RECORD) 945.60 FEET ALONG THE CENTERLINE OF A 60-FOOT WIDE INGRESS AND EGRESS EASEMENT FOR A PRIVATE ROAD KNOWN AS INDUSTRIAL DRIVE; THENCE SOUTH 02 DEGREES 02 MINUTES 36 SECONDS EAST 319.64 FEET; THENCE THE FOLLOWING TWO (2) COURSES ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF SOUTH ADAMS ROAD (VARIABLE WIDTH) 1) 36.85 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, RADIUS 880.00 FEET, CENTRAL ANGLE 02 DEGREES 23 MINUTES 57 SECONDS AND A CHORD THAT BEARS SOUTH 82 DEGREES 41 MINUTES 55 SECONDS EAST 36.85 FEET AND 2) SOUTH 91 DEGREES 29 MINUTES 57 SECONDS EAST 225.57 FEET THE POINT OF BEGINNING; THENCE NORTH 08 DEGREES 30 MINUTES 03 SECONDS EAST 210.04 FEET; THENCE SOUTH 82 DEGREES 12 MINUTES 07 SECONDS EAST 164.66 FEET; THENCE SOUTH 79 DEGREES 54 MINUTES 04 SECONDS EAST 58.24 FEET; THENCE THE FOLLOWING TWO (2) COURSES ALONG THE WEST LINE OF MARKETPLACE CIRCLE (VARIABLE WIDTH) 1) 97.91 FEET ALONG THE ARC OF A CURVE TO THE LEFT, RADIUS 530.00 FEET, CENTRAL ANGLE 10 DEGREES 35 MINUTES 04 SECONDS AND A CHORD THAT BEARS SOUTH 13 DEGREES 47 MINUTES 35 SECONDS WEST 97.77 FEET AND 2) SOUTH 08 DEGREES 30 MINUTES 03 SECONDS WEST 113.08 FEET; THENCE ALONG SAID NORTHERLY RIGHT-OF-WAY LINE OF SOUTH ADAMS ROAD NORTH 81 DEGREES 29 MINUTES 57 SECONDS WEST 213.85 FEET TO THE POINT OF BEGINNING.

**FIRE DEPARTMENT NOTES:**

- CONSTRUCTION SITES SHALL BE SAFEGUARDED IN ACCORDANCE WITH IFC CHAPTER 14
- OPEN BURNING IS NOT PERMITTED, INCLUDING THE BURNING OF TRASH, DEBRIS, OR LAND CLEARING MATERIALS. OPEN BURNING FOR WARMING OF SAND AND/OR WATER FOR THE PREPARATION OF MORTAR SHALL BE WITHIN CITY OF ROCHESTER HILLS BURN PERMIT GUIDELINES. CONTACT ROCHESTER HILLS FIRE DEPARTMENT FOR PERMIT INFORMATION. (FIRE PREVENTION ORDINANCE CHAPTER 58, SECTION 307.6.2 & 307.6.2.3)
- FIRE LANES SHALL BE DESIGNATED BY FIRE OFFICIAL, AND SHALL BE CONSPICUOUSLY POSTED ON BOTH SIDES OF FIRE LANE WITH FIRE LANE SIGNS SPACED NOT MORE THAN 100 FEET APART. FIRE LANE SIGNS SHALL READ "NO STOPPING, STANDING, PARKING, FIRE LANE" AND BE IN CONFORMANCE WITH THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. (FIRE PREVENTION ORDINANCE CHAPTER 58, SECTION 506)
- THE PROPOSED BUILDING CONSTRUCTION TYPE IS 5B.

**UTILITIES, LOCAL AGENCIES, AND PLAN DISTRIBUTION LIST**

AGENCY	FACILITY	CONTACT PERSON
CONSUMERS ENERGY	GAS	MICHAEL JABLONSKI (248) 858-4405
DTE ENERGY	ELECTRIC	KEN ROBINSON (586) 412-4709
AT&T	TELEPHONE	CEPHUS CLEVELAND (248) 456-0842
COMCAST	CABLE TELEVISION	TOM DICKINSON (586) 883.7412
ROAD COMMISSION FOR OAKLAND COUNTY UTILITIES COORDINATOR FOR CONSTRUCTION DIVISION	PUBLIC ROADS & UTILITIES	MIKE KOSSAK (248) 858.4405
CITY OF ROCHESTER HILLS PUBLIC SERVICES & ENGINEERING	ENGINEERING & PUBLIC SERVICES DEPARTMENTS	TRACEY BALINT, PE (248) 841.2504
CITY OF ROCHESTER HILLS PLANNING & ECONOMIC DEVELOPMENT DEPARTMENT	PLANNING & DEVELOPMENT	ED ANZEK (248) 656.4660
CITY OF ROCHESTER HILLS BUILDING & ORDINANCE COMPLIANCE	BUILDING & ORDINANCE	SCOTT COPE, DIRECTOR (248) 656.4615

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GRADING, DRAINAGE, AND PAVING PLAN	C-3
STORM SEWER PROFILES	C-3A
SANITARY SEWER LEAD & WATER LEAD PLAN	C-4
SOIL EROSION & SEDIMENTATION CONTROL PLAN	C-5
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MISCELLANEOUS DETAILS AND NOTES	C-7 - C-9
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**NOT TO BE USED AS CONSTRUCTION DRAWINGS**

ISSUED FOR PLANNING REVIEW - 03.15.2012  
 CITY FILE NUMBER 11-009

**ZONED INDUSTRIAL PER CONSENT JUDGEMENT**

302-040  
 MEIJER GAS STATION  
 2754 S. ADAMS ROAD

326-010  
 ZONED INDUSTRIAL PER CONSENT JUDGEMENT

P.O.B.  
 60' R/W LINE

EX. 8" ASPH. BICYCLE PATH  
 S81°29'57"E 225.57'

EX. 24" RCP STM.  
 EX. 12" STM. SEWER

EX. 24" RCP STM. SEWER  
 EX. 12" STM. SEWER

EX. 24" RCP STM.  
 EX. 12" STM. SEWER

EX. 24" RCP STM.  
 EX. 12" STM. SEWER

EX. 24" RCP STM.  
 EX. 12" STM. SEWER

EX. 24" RCP STM.  
 EX. 12" STM. SEWER

EX. 24" RCP STM.  
 EX. 12" STM. SEWER

EX. 24" RCP STM.  
 EX. 12" STM. SEWER

EX. 24" RCP STM.  
 EX. 12" STM. SEWER

EX. 8" PVC STM.  
 PLACE FIRE LANE SIGN & ONE WAY SIGN

PROP. DRIVE-THRU CANOPY. SEE ARCHITECTURAL PLANS FOR DETAILS

EX. CONC. PAVEMENT  
 EMERGENCY GAS SHUT-OFF

EX. CONC. PAVEMENT

EX. 12" RCP STM.

EX. 12" RCP STM.

EX. 12" RCP STM.

EX. 12" RCP STM.

EX. 12" RCP STM.

EX. 12" RCP STM.

EX. 12" RCP STM.

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EX. 12" RCP STM.

EX. 12" RCP STM.

EX. 12" RCP STM.

EX. 12" RCP STM.

EX. 12" RCP STM.

**UTILITY STATEMENT**

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR/ENGINEER MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR/ENGINEER FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR/ENGINEER HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

KES JOB NO. 2011-03  
**Bank of America**

PREPARED FOR:  
 JONES LANG LASALLE/BANK OF AMERICA  
 C/O STEPHANIE LIEB  
 135 S. LASALLE, SUITE 1225  
 CHICAGO, IL 60601  
 PHONE: 815.717.8131 / FAX: 302.601.1283  
 EMAIL: STEPHANIE.LIEB@AM.JLL.COM

ZONED INDUSTRIAL 326-010

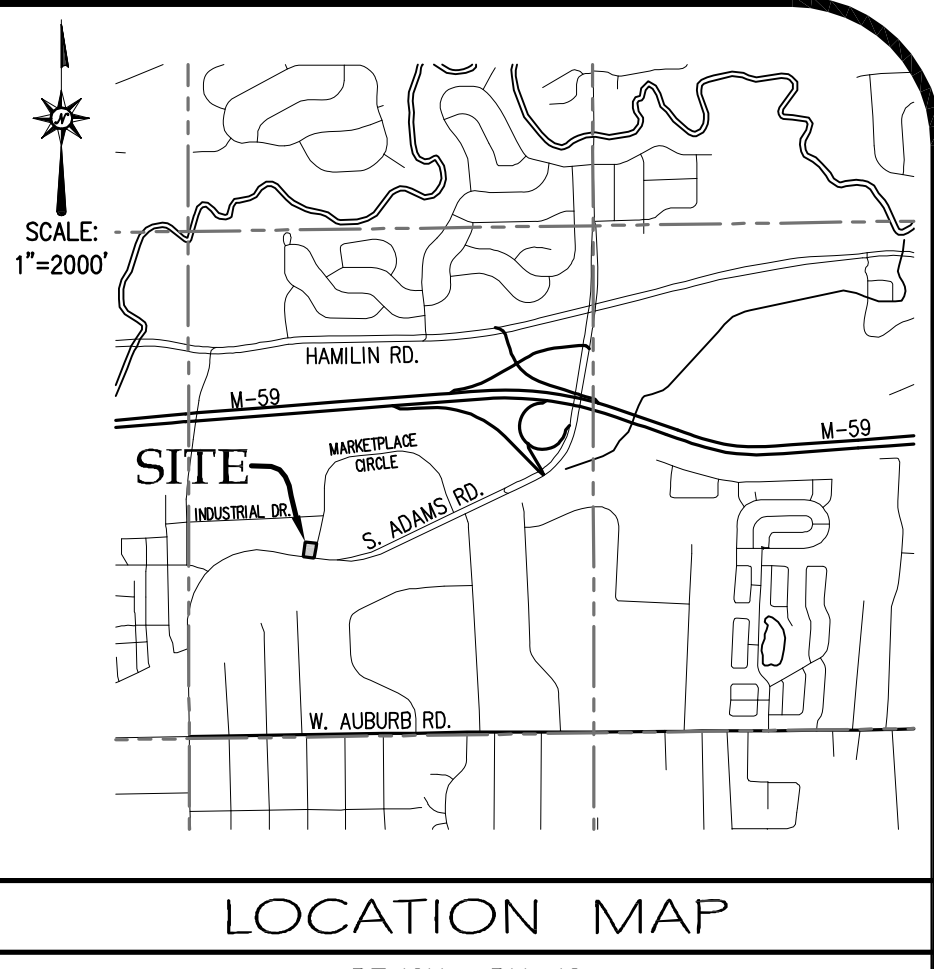
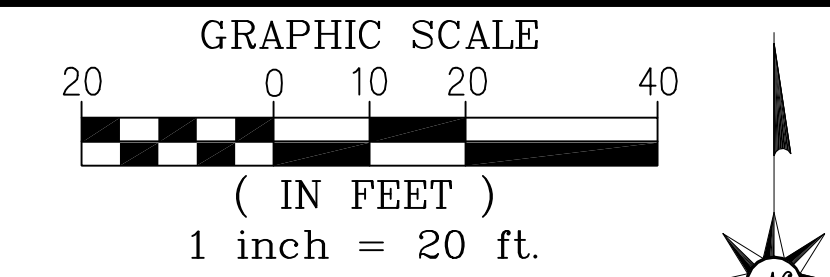
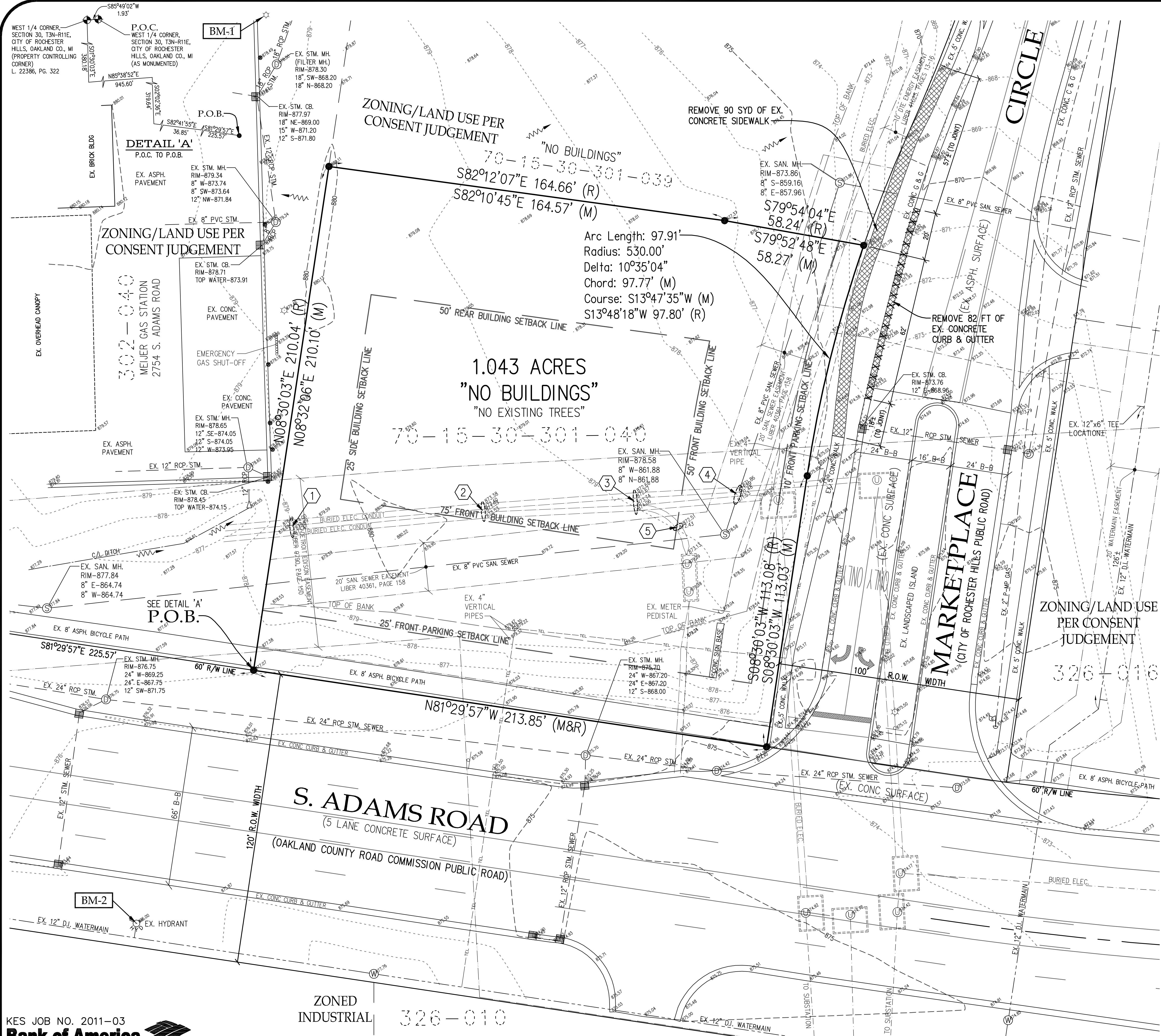
Three full working days before you dig, call the MISS DIG System at 1-800-482-7171

PREPARED BY:  
**KRAFT ENGINEERING & SURVEYING, INC.**  
 engineers - surveyors - planners  
 409 WEST SEVENTH STREET FLINT, MICHIGAN 48503  
 PHONE: 810.234.2694 or 810.234.2695 FAX: 810.234.2696  
 E-MAIL: MIKE@KRAFTENGINEERING.COM

**BANK OF AMERICA BRANCH AT ADAMS MARKETPLACE**  
 NW CORNER OF ADAMS ROAD & MARKETPLACE CIRCLE  
 PART OF THE SOUTHWEST 1/4 OF SECTION 30, T3N-R11E  
 CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MI

**SITE PLAN & COVER SHEET**

REVISIONS	DRN. BY:	RADO	03.09.2012	SHEET NO.:
09.28.2012	DSN. BY:	M.R.P.	"	C-1
11.12.2012	D5GN. BY:	M.R.P.	"	
	APPR. BY:	M.R.P.	"	



**FLOODPLAIN NOTE:**  
 THIS PROPERTY IS IN ZONE "X", OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN BOUNDARY (AREA OF MINIMAL FLOODING AS PER FLOOD INSURANCE RATE MAP NO. 28125CD0389F, PANEL 389 OF 704 WHICH BEARS AN EFFECTIVE DATE OF SEPTEMBER 29, 2006).

**EXISTING SOIL INFORMATION**  
 A GEOTECHNICAL SUBSURFACE INVESTIGATION HAS BEEN PREPARED BY TTL ASSOCIATES, INC; TTL PROJECT NO. 7532.01, DATE APRIL 29, 2011.

**SITE DATA INFORMATION:**

- 1) SITE ZONING/LAND USE AS PER CONSENT JUDGEMENT (CIRCUIT COURT CASE NO. 02-046199-AW)
- 2) MIN. LOT SIZE: NONE SPECIFIED
- 3) MIN. LOT WIDTH: NONE SPECIFIED
- 4) BUILDING SETBACKS:
  - A) FRONT-ADAMS ROAD: 75 FEET (PER CONSENT JUDGEMENT, ITEM 3B)
  - B) FRONT-MARKETPLACE CIRCLE: 50 FEET (PER CITY PLANNER)
  - C) SIDE SETBACK: 25 FEET (CONSENT JUDGEMENT, ITEM 3B)
  - D) REAR SETBACK: 50 FEET (PER CITY PLANNER)
- 5) PARKING SETBACK:
  - 25 FEET FROM ADAMS ROAD R/W (PER CONSENT JUDGEMENT, ITEM 4K)
  - 10 FEET FROM MARKETPLACE R/W (PER CONSENT JUDGEMENT, ITEM 4K)
- 6) MAXIMUM LOT COVERAGE: NONE SPECIFIED
- 7) MAX. HEIGHT: 40 FEET (PER CONSENT JUDGEMENT, ITEM 3A)

**LEGAL DESCRIPTION AS PROVIDED:**  
 TAX ITEM NO. 70-15-30-040

THE LAND REFERRED TO IN THIS COMMITMENT, SITUATED IN THE COUNTY OF OAKLAND, CITY OF ROCHESTER HILLS, STATE OF MICHIGAN, IS DESCRIBED AS FOLLOWS:  
 PART OF THE SOUTHWEST 1/4 OF SECTION 30, TOWN 3 NORTH, RANGE 11 EAST, CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS: COMMENCING AT THE WEST 1/4 CORNER OF SAID SECTION 30 (AS REMONUMENTED); THENCE SOUTH 85 DEGREES 49 MINUTES 02 SECONDS WEST 1.93 FEET ALONG THE WESTERLY EXTENSION OF THE EAST AND WEST 1/4 LINE OF SAID SECTION 30 TO A PROPERTY CONTROLLING CORNER (FORMERLY DESCRIBED AS THE WEST 1/4 CORNER OF SAID SECTION 30); THENCE PROCEEDING ALONG A PROPERTY CONTROLLING LINE (AS MONUMENTED), FORMERLY DESCRIBED AS THE WEST LINE OF SECTION 30, ALSO BEING THE CENTERLINE OF OLD ADAMS ROAD (VARIABLE WIDTH) SOUTH 01 DEGREE 30 MINUTES 03 SECONDS EAST 382.18 FEET MEASURED (DUE SOUTH 380.00 FEET RECORD); THENCE NORTH 85 DEGREES 38 MINUTES 52 SECONDS EAST MEASURED NORTH 87 DEGREES 46 MINUTES 00 SECONDS EAST RECORD) 945.60 FEET ALONG THE CENTERLINE OF A 60-FOOT WIDE INGRESS AND EGRESS EASEMENT FOR A PRIVATE ROAD KNOWN AS INDUSTRIAL DRIVE; THENCE SOUTH 02 DEGREES 02 MINUTES 36 SECONDS EAST 319.64 FEET; THENCE THE FOLLOWING TWO (2) COURSES ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF SOUTH ADAMS ROAD (VARIABLE WIDTH) 1) 36.85 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, RADIUS 880.00 FEET, CENTRAL ANGLE 02 DEGREES 23 MINUTES 57 SECONDS AND A CHORD THAT BEARS SOUTH 82 DEGREES 41 MINUTES 55 SECONDS EAST 36.85 FEET AND 2) SOUTH 81 DEGREES 29 MINUTES 57 SECONDS EAST 225.57 FEET THE POINT OF BEGINNING; THENCE NORTH 08 DEGREES 30 MINUTES 03 SECONDS EAST 210.04 FEET; THENCE SOUTH 82 DEGREES 12 MINUTES 07 SECONDS EAST 164.66 FEET; THENCE SOUTH 79 DEGREES 54 MINUTES 04 SECONDS EAST 58.24 FEET; THENCE THE FOLLOWING TWO (2) COURSES ALONG THE WEST LINE OF MARKETPLACE CIRCLE (VARIABLE WIDTH) 1) 97.91 FEET ALONG THE ARC OF A CURVE TO THE LEFT, RADIUS 530.00 FEET, CENTRAL ANGLE 10 DEGREES 35 MINUTES 04 SECONDS AND A CHORD THAT BEARS SOUTH 13 DEGREES 47 MINUTES 35 SECONDS WEST 97.77 FEET AND 2) SOUTH 08 DEGREES 30 MINUTES 03 SECONDS WEST 113.03 FEET; THENCE ALONG SAID NORTHERLY RIGHT-OF-WAY LINE OF SOUTH ADAMS ROAD NORTH 81 DEGREES 29 MINUTES 57 SECONDS WEST 213.85 FEET TO THE POINT OF BEGINNING.

**LEGEND**

●	FOUND IRON W/CAP NO. 47955	⊙	EX. STORM MANHOLE
- - -	EX. SURFACE CONTOUR	⊞	EX. STORM CATCHBASIN
- - -	EX. SURFACE POINT ELEVATION	—	EX. STORM SEWER
⊙	EX. UTILITY POLE	⊙	EX. SANITARY MANHOLE
- - -	EX. BURIED ELECTRIC LINES	⊙	EX. SANITARY SEWER
- - -	EX. TELEPHONE MARKER	⊙	EX. FIRE HYDRANT
- - -	EX. BURIED TELEPHONE LINES	⊙	EX. WATERMAIN
- - -	EX. LIGHT POLE	⊙	EX. GASMAIN
- - -	EX. ROAD SIGN	⊙	EX. GAS MARKER
- - -	EX. UTILITY/ELECTRIC MANHOLE	⊙	EX. EASEMENT LINE

**UTILITY STATEMENT**  
 THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR/ENGINEER MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR/ENGINEER FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR/ENGINEER HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

EXISTING ELEVATIONS OF DTE ELECTRIC CONDUITS

POINT NO. LOCATION	TOP OF EX. GRADE	TOP OF ELEC. CONDUIT ELEV.	EX. COVER
①	878.7 878.7	N-874.00 S-873.49	4.70 5.21
②	879.7 879.7	N-873.39 S-873.53	6.31 6.17
③	878.9 879.0	N-872.68 S-874.06	6.22 4.94
④	878.3 878.3	N-871.89 S-871.53	6.41 6.77
⑤	878.9	872.47	6.43

**NOTE:** THE ACTUAL LOCATIONS OF THE EXISTING DTE ELECTRIC CONDUITS WERE DUG UP AT FIVE LOCATIONS BY DTE PERSONNEL ON 2-20-2012. THE ACTUAL LOCATIONS AND ELEVATIONS OF THE CONDUITS WERE OBTAINED BY KRAFT ENGINEERING & SURVEYING, INC. AT ALL FIVE LOCATIONS AT THE SAME TIME THAT DTE DUG THEM UP.

**NOT TO BE USED AS CONSTRUCTION DRAWINGS**

ISSUED FOR PLANNING REVIEW — 03.15.2012  
 CITY FILE NUMBER 11-009

KES JOB NO. 2011-03  
**Bank of America**

ZONED INDUSTRIAL 326-010

SCALE: 1"=20'  
 APPLICANT: JONES LANG LASALLE/BANK OF AMERICA  
 C/O STEPHANIE LIEB  
 135 S. LASALLE, SUITE 1225  
 CHICAGO, IL 60601  
 PHONE: 815.717.8131 / FAX: 815  
 EMAIL: STEPHANIE.LIEB@AM.JLL.COM



PREPARED BY:  
**KRAFT ENGINEERING & SURVEYING, INC.**  
 engineers - surveyors - planners  
 409 WEST SEVENTH STREET FLINT, MICHIGAN 48503  
 PHONE: 810.234.2694 OR 810.234.2695 FAX: 810.234.2696  
 E-MAIL: MIKE@KRAFTENGINEERING.COM

**BANK OF AMERICA BRANCH AT ADAMS MARKETPLACE**  
 NW CORNER OF ADAMS ROAD & MARKETPLACE CIRCLE  
 PART OF THE SOUTHWEST 1/4 OF SECTION 30, T3N-R11E  
 CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MI

**SURVEY OF EXISTING CONDITIONS AND REMOVAL PLAN**

REVISIONS	DRN. BY:	RADO	07.29.2011	SHEET NO:
03.09.2012	FLD. BY:	DJK/TLO	"	C-2
09.28.2012	DGN. BY:	M.R.P.	"	
	APPR. BY:	M.R.P.	"	

**UTILITY STATEMENT**

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR/ENGINEER MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR/ENGINEER FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR/ENGINEER HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

**PROP. COVER OVER DTE ELECTRIC CONDUITS**

POINT NO. LOCATION	TOP OF PROP. FINISH GRADE	TOP OF ELEC. CONDUIT ELEV.	COVER
1	878.27	N-874.00	4.27
2	878.22	S-873.49	4.73
3	879.37	S-873.39	6.05
4	879.15	N-872.68	6.47
5	879.07	S-874.06	5.01
6	877.90	N-871.89	6.01
7	877.94	S-871.53	6.41
8	878.60	872.51	6.09

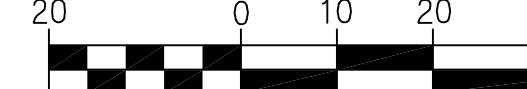
**UTILITY CROSSING INFORMATION**

POINT NO. LOCATION	TOP OF EX OR PROP. UTILITY PIPE	INVERT OF EX OR PROP. UTILITY PIPE	POINT NO. LOCATION	TOP OF EX OR PROP. UTILITY PIPE	INVERT OF EX OR PROP. UTILITY PIPE
1	TOP OF EX. 8" SAN. SEWER-864.50	INVERT OF PROP. 12" STM SEWER-875.09	6	TOP OF PROP. 6" SAN LEAD-868.30	INVERT OF PROP. 12" STM SEWER-870.97
2	TOP OF EX. 8" SAN. SAN LEAD-875.10	INVERT OF PROP. 8" ROOF DRAIN-876.10	7	TOP OF EX. 8" SAN. SEWER-861.10	INVERT OF PROP. 12" STM SEWER-869.44
3	TOP OF PROP. 1-1/2" WATER LEAD-874.50	INVERT OF PROP. 8" ROOF DRAIN-875.30	8	TOP OF EX. 8" SAN SEWER-861.60	INVERT OF PROP. 1-1/2" WATER LEAD-871.00
4	TOP OF PROP. 6" SAN LEAD-871.70	INVERT OF PROP. 8" ROOF DRAIN-873.45	9	TOP OF PROP. 1-1/2" WATER LEAD-873.20	INVERT OF PROP. 8" ROOF DRAIN-873.80

**NOTES:**

- PROPOSED SPOT ELEVATIONS ARE TO TOP OF PAVEMENT UNLESS NOTED OTHERWISE. SEE DETAILS ON SHEETS C-8 & C-9 TO DETERMINE TOP OF CURB & TOP OF SIDEWALK ELEVATIONS.
- ALL PROPOSED 12" STORM SEWER SHALL BE CLASS IV REINFORCED CONCRETE PIPE UNLESS NOTED OTHERWISE. ALL PROPOSED 8" ROOF DRAIN PIPE SHALL BE SDR-23.5 PVC INSTALLED AT A MINIMUM SLOPE OF 1.0% UNLESS NOTED OTHERWISE.
- ALL STORM SEWER AND ROOF DRAINS UNDER PROPOSED PAVEMENT OR SIDEWALK SHALL BE BACKFILLED WITH CLASS II SAND COMPACTED TO A MINIMUM 95% OF MAXIMUM UNIT WEIGHT FOR THE FULL DEPTH OF THE TRENCH.
- ALL PROPOSED DRAINAGE STRUCTURES UNDER PAVEMENT SHALL HAVE A MINIMUM OF 20' OR 40' OF 6" UNDERDRAIN PER DETAILS ON SHEET C-8.
- CATCH BASIN (CB) DRAINAGE STRUCTURE COVER K IS A STANDARD MDOT COVER PER MDOT STANDARD PLAN R-15-E.
- CONTRACTOR SHALL PLACE COMPACTED MDOT 6AA CRUSHED LIMESTONE BACKFILL AT ALL UTILITY CROSSINGS BETWEEN THE CROWN OF THE LOWER UTILITY AND THE BOTTOM OF THE HIGHER UTILITY. MAINTAIN 12" MINIMUM VERTICAL SEPARATION AT ALL UTILITY CROSSINGS.

**GRAPHIC SCALE**



( IN FEET )  
1 inch = 20 ft.

**BENCHMARK NO. 1**  
TOP EAST SIDE OF CONCRETE LIGHT POLE BASE, WEST SIDE OF PROPERTY  
ELEVATION=881.76  
(NORTH AMERICAN VERTICAL DATUM PER U.S.G.S.)

**BENCHMARK NO. 2**  
TOP FLANGE, SE BOLT OF EX. FIRE HYDRANT, S. SIDE OF ADAMS ROAD.  
ELEVATION=876.46  
(NORTH AMERICAN VERTICAL DATUM PER U.S.G.S.)

**LEGEND**

- FOUND PROPERTY CORNER
- - - 875 - EX. SURFACE CONTOUR
- 872.35 EX. SURFACE ELEVATION
- EX. UTILITY POLE
- - - EX. OVERHEAD POWERLINES
- - - EX. BURIED ELECTRIC
- - - EX. BURIED TELEPHONE
- EX. UTILITY/ELECTRIC MANHOLE
- EX. TELEPHONE MARKER
- EX. TELEPHONE PEDESTAL
- EX. LIGHT POLE
- EX. STORM MANHOLE
- EX. STORM CATCHBASIN
- EX. STORM SEWER
- EX. SANITARY MANHOLE
- EX. SANITARY SEWER
- EX. FIRE HYDRANT
- - - EX. WATERMAIN
- - - EX. GASMAIN
- EX. GAS MARKER
- EX. ROAD SIGN
- PROP. STM CATCHBASIN
- PROP. STM MANHOLE
- - - PROP. STM SEWER
- ➔ PROP. PAINTED TRAFFIC ARROW
- PROP. BARRIER FREE PARKING
- PROP. LIGHT POLES
- PROP. 4" ASPHALT OVER 6" LIMESTONE PARKING LOT PAVEMENT
- PROP. 6-1/2" ASPHALT OVER 8" LIMESTONE HEAVY DUTY PAVEMENT
- PROP. CONCRETE PAVEMENT
- PROP. CONCRETE CURB & GUTTER
- 875.00 PROP. SPOT ELEVATION
- T-876.00 PROP. TOP OF WALK OR CURB ELEVATION
- E-876.00 PROP. EDGE OF PAVEMENT ELEVATION
- ➔ PROP. DRAINAGE FLOW DIRECTION
- PROP. CATCHBASIN W/2" DEEP SUMP
- DS-5 DRAINAGE STRUCTURE NUMBER
- CO-B ROOF DRAIN CLEANOUT LETTER
- PROP. SIDEWALK RAMP DETECTABLE WARNING SURFACE

**DRAINAGE STRUCTURE SCHEDULE**

- DRAINAGE STRUCTURE 1 (DS-1)**  
CONST. 5' DIA. MH W/COVER B  
RIM-873.90  
12" INV N,S,W-868.74
- DRAINAGE STRUCTURE 2 (DS-2)**  
CONST. 5' DIA. CB W/COVER K & 2" DEEP SUMP  
RIM-875.67  
12" INV N,E-869.18  
12" INV N,W-870.20
- DRAINAGE STRUCTURE 3 (DS-3)**  
CONST. 4' DIA. CB W/COVER K & 2" DEEP SUMP  
RIM-873.67  
12" INV S,W,N-869.34
- DRAINAGE STRUCTURE 4 (DS-4)**  
CONST. 2' DIA. CB W/COVER K & 2" DEEP SUMP  
RIM-872.57  
12" INV S-869.50
- DRAINAGE STRUCTURE 5 (DS-5)**  
CONST. 4' DIA. CB W/COVER K & 2" DEEP SUMP  
RIM-875.92  
12" INV N,E-874.03  
8" INV S-875.30  
8" INV. W-875.80
- DRAINAGE STRUCTURE 6 (DS-6)**  
CONST. 4' DIA. CB W/COVER K & 2" DEEP SUMP  
RIM-878.17  
12" INV. E,S-874.25
- DRAINAGE STRUCTURE 7 (DS-7)**  
CONST. 2' DIA. CB W/COVER K & 2" DEEP SUMP  
RIM-877.77  
12" INV. S-875.14
- DRAINAGE STRUCTURE 8 (DS-8)**  
CONST. 4' DIA. W/COVER B  
RIM-880.00  
8" INV N,E-874.03  
8" INV. S-875.30  
8" INV. W-875.80
- ROOF DRAIN CLEANOUT A (CO-A)**  
PLACE 8" DIA. CLEANOUT W/STEEL COVER  
RIM-880.50  
8" INV. E-876.45
- ROOF DRAIN CLEANOUT B (CO-B)**  
PLACE 8" DIA. CLEANOUT W/STEEL COVER  
RIM-880.10  
8" INV. N,W-875.90
- ROOF DRAIN CLEANOUT C (CO-C)**  
PLACE 8" DIA. CLEANOUT W/STEEL COVER  
RIM-880.42  
8" INV. E-876.45

**TOPSOIL INSTALLATION NOTES FOR LANDSCAPED AREAS:**

- REMOVE ALL CONSTRUCTION DEBRIS, ROOTS, AND ROCKS OVER 3" DIAMETER AS WELL AS OTHER MATERIALS THAT WILL NOT SUPPORT PLANT GROWTH, AND DISPOSE OFF SITE IN AN APPROVED MANNER.
- ESTABLISH SUBSOIL GRADES TO ALLOW FOR THE INSTALLATION OF 12" OF TOPSOIL IN ALL LAWN AREAS, AND 18" OF TOPSOIL IN ALL PLANTING BEDS.
- SCARIFY SUBSOIL TO A 6" TO 12" DEPTH, TAKING CARE NOT TO DISTURB BELOW GRADE UTILITIES OR INFRASTRUCTURE.
- SUBMIT A SOIL TOPSOIL SAMPLE WITH SOIL TEST RESULTS TO THE LANDSCAPE ARCHITECT (OR OTHER DESIGNATED PERSON) FOR APPROVAL AT LEAST TWO WEEKS PRIOR TO INSTALLATION. PROVIDE TOPSOIL SOURCE (LOCATION) TO ALLOW FOR INSPECTION BY LANDSCAPE ARCHITECT. DO NOT MOVE OR INSTALL WET OR FROZEN TOPSOIL. TOPSOIL SHALL BE SCREENED, LOAMY SOIL IN A LOOSE, FRIABLE CONDITION, WITH THE FOLLOWING CHARACTERISTICS:  
A PH BETWEEN 5.5 AND 7.5  
A MINIMUM OF 2% ORGANIC MATTER.  
FREE OF PERENNIAL WEEDS SUCH AS QUACKGRASS, HORSETAIL, AND NUTSEDGE.  
NOTE: IN LIEU OF ADDING COMPOST AFTER INSTALLATION, CONTRACTOR MAY OPT TO BLEND PLANT BED SOILS WITH COMPOST PRIOR TO INSTALLATION. BLENDING RATE IS 1 PART COMPOST TO 3 PARTS TOPSOIL.
- INSTALL TOPSOIL AT THE FOLLOWING DEPTHS: LAWN AREAS=12", PLANT BEDS=18"
- DO NOT INSTALL TOPSOIL OVER SATURATED OR MUDDY SUBSOILS.

**STORM SEWER SYSTEM DESIGN**

STRUCTURE #	INCREMENT AREA A	RUNOFF COEF. C	EQUIVALENT AREA CA1	TOTAL EQUIV. AREA TOTAL CA1	TIME T	RAINFALL INTENSITY I	FLOW Q=I TOTAL CA1	PIPE CAPACITY P	DIAMETER OF PIPE	LENGTH OF PIPE TO NEXT STRUCTURE	SLOPE OF PIPE	VELOCITY OF FLOW	TIME OF FLOW		INVERT ELEV.	RIM
													UPPER END	LOWER END		
DS-7	0.0140	0.30	0.0042	0.0042	15.00	4.38	0.78	2.55	12	178	0.50	3.10	0.94	875.14	874.25	877.77
DS-6	0.0130	0.30	0.0039	0.1829	15.94	4.27	1.25	5.30	12	138	2.20	6.00	0.33	874.25	871.32	878.17
DS-5	0.0362	0.30	0.0109	0.3040	16.27	4.24	1.82	4.55	12	70	1.60	5.60	0.21	871.32	870.20	875.92
DS-4	0.0100	0.30	0.0030	0.0030	15.00	4.38	0.23	2.55	12	32	0.50	3.15	0.17	869.50	869.34	872.57
DS-3	0.0033	0.30	0.0010	0.0010	15.17	4.36	0.30	2.55	12	32	0.50	3.15	0.17	869.34	869.18	873.67
DS-2	0.0491	0.30	0.0147	0.1116	16.48	4.22	2.85	3.60	12	44	1.00	4.40	0.17	869.18	868.74	875.67
DS-1	0.1722	0.30	0.0516	0.0516	16.65											
TOTAL	0.7965															
TOTAL AVERAGE 'C'	0.7965															

COMPUTATION OF STORMWATER TREATMENT FLOW  
Q<sub>T</sub> = 0.5" RAINFALL WITHIN 15 MINUTE = 2 IN/HR  
Q<sub>T</sub> = CIA = 0.85 x 2 in/hr x 0.80 acre = 1.36 cfs

**NOT TO BE USED AS CONSTRUCTION DRAWINGS**

ISSUED FOR PLANNING REVIEW - 03.15.2012  
CITY FILE NUMBER 11-009

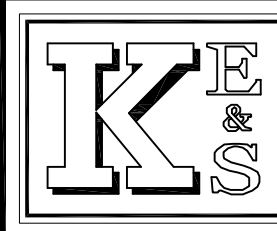


KES JOB NO. 2011-03  
**Bank of America**

ZONED INDUSTRIAL 326-010

SCALE: 1"=20'  
PREPARED FOR: JONES LANG LASALLE/BANK OF AMERICA  
C/O STEPHANIE LIEB  
135 S. LASALLE, SUITE 1225  
CHICAGO, IL 60601  
PHONE: 815.717.8131 / FAX: 302.601.1283  
EMAIL: STEPHANIE.LIEB@AM.JLL.COM

Three full working days before you dig, call the MISS DIG System at 1-800-482-7171

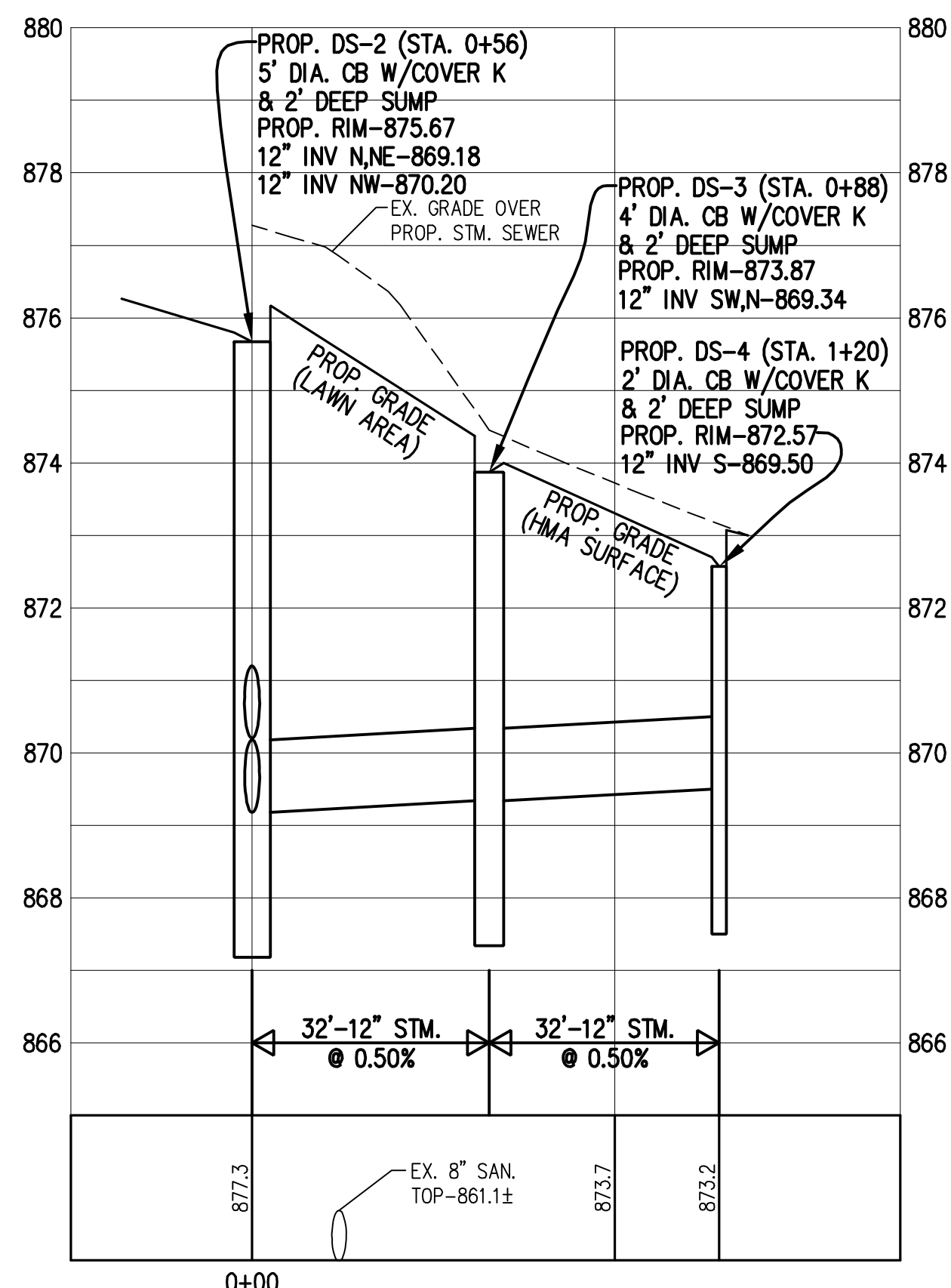
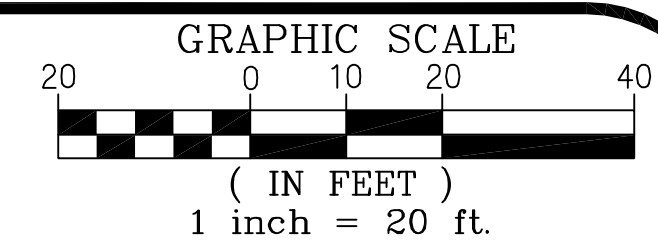


PREPARED BY: **KRAFT ENGINEERING & SURVEYING, INC.**  
engineers - surveyors - planners  
409 WEST SEVENTH STREET FLINT, MICHIGAN 48503  
PHONE: 810.234.2694 or 810.234.2695 FAX: 810.234.2696  
E-MAIL: MIKE@KRAFTENGINEERING.COM

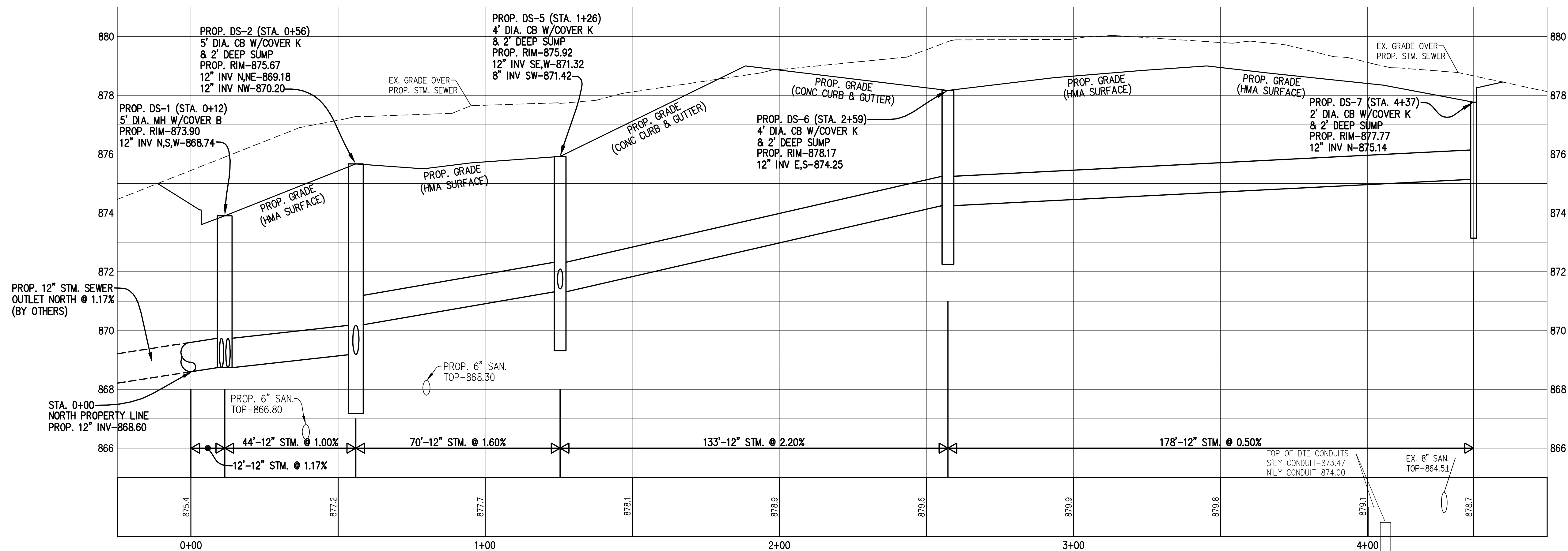
BANK OF AMERICA BRANCH AT ADAMS MARKETPLACE  
NW CORNER OF ADAMS ROAD & MARKETPLACE CIRCLE  
PART OF THE SOUTHWEST 1/4 OF SECTION 30, T3N-R11E  
CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MI

**GRADING, DRAINAGE, AND PAVING PLAN**

REVISIONS	DRN. BY:	RADO	03.09.2012	SHEET NO.:
09.28.2012	D5GN. BY:	M.R.P.	"	C-3
11.12.2012	CHKD BY:	M.R.P.	"	
	APPR. BY:	M.R.P.	"	



STORM SEWER PROFILE (DS-2 TO DS-4)



STORM SEWER PROFILE (DS-1 TO DS-7)

NOT TO BE USED AS  
 CONSTRUCTION DRAWINGS

ISSUED FOR PLANNING REVIEW - 03.15.2012  
 CITY FILE NUMBER 11-009

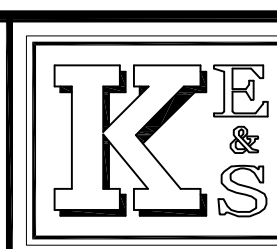
KES JOB NO. 2011-03



SCALE:  
 HOR: 1"=20'  
 VERT: 1"=2'

PREPARED FOR:  
 JONES LANG LASALLE/BANK OF AMERICA  
 C/O STEPHANIE LIEB  
 135 S. LASALLE, SUITE 1225  
 CHICAGO, IL 60601  
 PHONE: 815.717.8131 / FAX: 302.601.1283  
 EMAIL: STEPHANIE.LIEB@AM.JLL.COM

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BANK OF AMERICA BRANCH AT ADAMS MARKETPLACE  
 NW CORNER OF ADAMS ROAD & MARKETPLACE CIRCLE  
 PART OF THE SOUTHWEST 1/4 OF SECTION 30, T3N-R11E  
 CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MI

STORM SEWER  
 PROFILES

REVISIONS	DRN. BY:	RADO	11.12.2012	SHEET NO.:
	DSGN. BY:	M.R.P.	"	C-3A
	CHKD BY:	M.R.P.	"	
	APPR. BY:	M.R.P.	"	

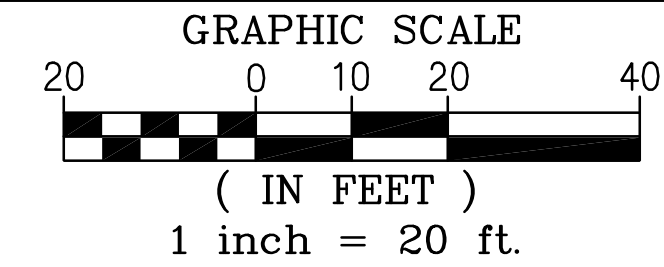
**UTILITY STATEMENT**

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR/ENGINEER MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR/ENGINEER FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR/ENGINEER HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

**BENCHMARKS:**

**BENCHMARK NO. 1**  
TOP EAST SIDE OF CONCRETE LIGHT POLE BASE, WEST SIDE OF PROPERTY  
ELEVATION=881.76  
(NORTH AMERICAN VERTICAL DATUM PER U.S.G.S.)

**BENCHMARK NO. 2**  
TOP FLANGE, SE BOLT OF EX. FIRE HYDRANT, S. SIDE OF ADAMS ROAD.  
ELEVATION=876.46  
(NORTH AMERICAN VERTICAL DATUM PER U.S.G.S.)

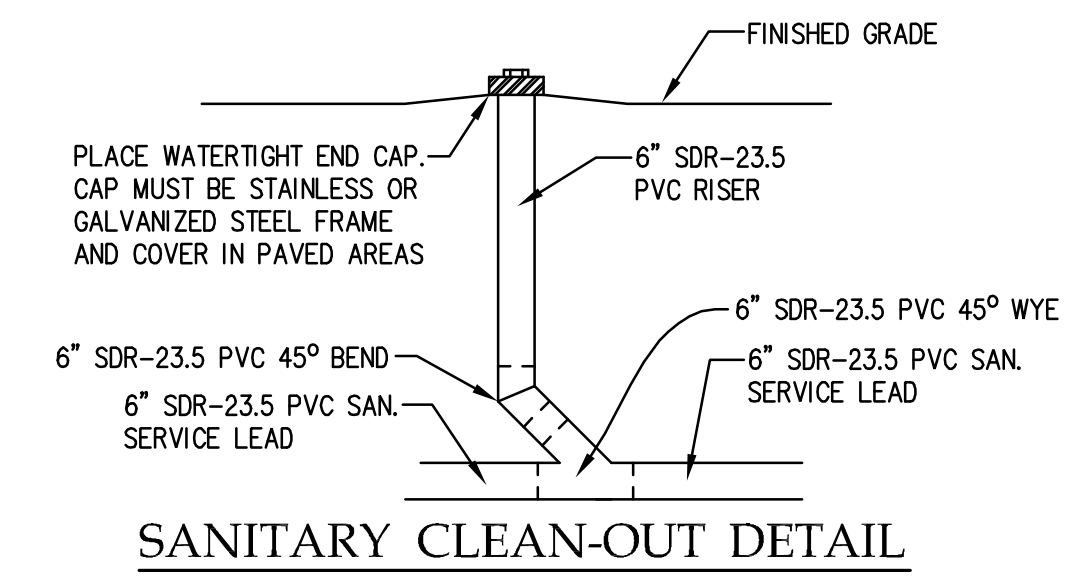


**LEGEND**

- 875--- FOUND PROPERTY CORNER
- EX. SURFACE CONTOUR
- EX. SURFACE ELEVATION
- EX. UTILITY POLE
- EX. OVERHEAD POWERLINES
- EX. BURIED TELEPHONE
- EX. TELEPHONE MARKER
- EX. TELEPHONE TRANSFORMER
- EX. LIGHT POLE
- EX. STORM MANHOLE
- EX. STORM CATCHBASIN
- EX. STORM SEWER
- EX. SANITARY MANHOLE
- EX. SANITARY SEWER
- EX. FIRE HYDRANT
- EX. WATERMAIN
- EX. GASMAIN
- EX. GAS MARKER
- EX. ROAD SIGN
- PROP. CONCRETE AREAS
- PROP. ASPH. OVER LIMESTONE PARKING LOT PAVEMENT
- PROP. SANITARY CLEAN OUT
- PROP. 6" SANITARY LEAD
- PROP. 8" WATERMAIN
- PROP. FIRE HYDRANT
- PROP. WATER MANHOLE
- PROP. GATE VALVE
- PROP. 2" TYPE K COPPER WATER LEAD
- PROP. SPOT ELEVATION
- T-876.00 PROP. TOP OF WALK OR CURB ELEVATION
- E-876.00 PROP. EDGE OF PAVEMENT ELEVATION
- PROP. CROSSING SYMBOL NUMBER (SEE CHART ON THIS SHEET)

**CONSTRUCTION NOTES:**

1. UNDERGROUND UTILITY LOCATIONS AS SHOWN ON THE PLANS WERE OBTAINED FROM UTILITY OWNERS AND WERE NOT FIELD LOCATED. A MINIMUM OF 72 HOURS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY "MISS DIG" (800-482-7171) AND HAVE ALL UNDERGROUND UTILITIES STAKED BEFORE ANY WORK MAY BEGIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND RELOCATION OF ALL UTILITIES THAT MAY INTERFERE WITH CONSTRUCTION 72 HOURS BEFORE YOU DIG-CALL MISS DIG (800-482-7171).
  2. THERE SHALL BE NO PERMANENT STRUCTURE BUILT ON ANY UTILITY EASEMENTS.
  3. ALL SANITARY SERVICE LEAD, WATERMAIN, AND WATER SERVICE LEAD CONSTRUCTION, AND ALL WORK CONNECTING TO EXISTING WATERMAIN AND SANITARY SEWER SHALL CONFORM WITH THE LATEST CITY OF ROCHESTER HILLS ENGINEERING STANDARDS, STANDARD SPECIFICATIONS, AND STANDARD DETAILS.
  4. THE PROPOSED 1-1/2" WATER LEAD SHALL BE TYPE K COPPER INSTALLED WITH A MINIMUM COVER OF 5.5' FROM THE FINISH GRADE.
  5. ALL WATERMAIN, WATER LEAD, AND SANITARY LEAD UNDER PROPOSED PAVEMENT SHALL BE BACKFILLED WITH CLASS II SAND FOR THE FULL DEPTH OF THE TRENCH COMPACTED TO 95% OF THE MAXIMUM UNIT WEIGHT BY MODIFIED PROCTOR.
  6. SANITARY CLEANOUTS SHALL HAVE FABRICATED WATERTIGHT END CAPS. END CAPS SHALL BE GALVANIZED OR STAINLESS STEEL WHEN LOCATED IN PAVED AREAS.
  7. ALL SANITARY SEWER SERVICE LEAD PIPE SHALL BE 6" SDR-23.5 PVC WITH STONE BEDDING TO TOP OF PIPE AND BACKFILL PER CITY OF ROCHESTER HILLS SANITARY SEWER STANDARD DETAILS AND SPECIFICATIONS. SANITARY LEAD SHALL BE INSTALLED AT A MIN. SLOPE OF 1%.
  8. CONTRACTOR SHALL PLACE COMPACTED MDOT 6 AA CRUSHED LIMESTONE BACKFILL AT ALL UTILITY CROSSINGS BETWEEN THE CROWN OF THE LOWER UTILITY AND THE BOTTOM OF THE HIGHER UTILITY. MAINTAIN 12" MINIMUM VERTICAL SEPARATION AT ALL UTILITY CROSSINGS WHEN POSSIBLE.
  9. THE CONTRACTOR SHALL VERIFY THE EXACT ELEVATION AND LOCATION OF THE EX. 8" SANITARY SEWER PRIOR TO CONSTRUCTION.
- NOTE:  
THE SITE CONTRACTOR MUST MAKE THE 6" RISER LEAD CONNECTION TO THE EXISTING 8" SANITARY SEWER AS REQUIRED BY THE CITY OF ROCHESTER HILLS. THE SITE CONTRACTOR MUST COORDINATE THIS WORK WITH THE CITY AS MAY BE REQUIRED. THE CITY REPRESENTATIVE MUST BE PRESENT WHEN THE TAP IS MADE.
- NOTE:  
THE CITY OF ROCHESTER HILLS DPW WILL TAP THE EXISTING 12" WATERMAIN AND CONSTRUCT THE PROPOSED 1-1/2" WATER LEAD FROM THE EXISTING 12" WATERMAIN ON THE EAST SIDE OF MARKETPLACE CIRCLE TO WEST SIDE OF MARKETPLACE CIRCLE APPROXIMATELY 1' EAST OF THE ROAD RIGHT-OF-WAY LINE. AT WHICH POINT THE CITY WILL PLACE A 1-1/2" SHUTOFF VALVE IN A BOX. THE CITY WILL ALSO FURNISH A 1-1/2" METER TO BE INSTALLED IN THE BUILDING BY THE PLUMBING CONTRACTOR. THE SITE CONTRACTOR MUST COORDINATE ALL WORK WITH THE CITY AS MAY BE REQUIRED. THE SITE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF THE WATER LEAD WORK PERFORMED BY THE CITY. COST=\$2,090.00. THE CONTRACTOR MUST VERIFY THIS COST.



**UTILITY CROSSING INFORMATION**

POINT NO. LOCATION	TOP OF EX OR PROP UTILITY PIPE	INVERT OF EX OR PROP. UTILITY PIPE	POINT NO. LOCATION	TOP OF EX OR PROP UTILITY PIPE	INVERT OF EX OR PROP. UTILITY PIPE
1	TOP OF EX. 8" SAN. SEWER-864.50	INVERT OF PROP. 12" STM SEWER-875.09	6	TOP OF PROP. 6" SAN LEAD-875.10	INVERT OF PROP. 12" STM SEWER-875.09
2	TOP OF PROP. 6" SAN LEAD-875.10	INVERT OF PROP. 8" ROOF DRAIN-876.10	7	TOP OF EX. 8" SAN SEWER-861.10	INVERT OF PROP. 12" STM SEWER-869.44
3	TOP OF PROP. 1-1/2" WATER LEAD-874.50	INVERT OF PROP. 8" ROOF DRAIN-875.90	8	TOP OF EX. 8" SAN SEWER-861.80	INVERT OF PROP. 1-1/2" WATER LEAD-871.00
4	TOP OF PROP. 8" SAN LEAD-871.70	INVERT OF PROP. 8" ROOF DRAIN-873.45	9	TOP OF PROP. 6" SAN LEAD-866.80	INVERT OF PROP. 12" STM SEWER-869.03
5	TOP OF PROP. 1-1/2" WATER LEAD-873.20	INVERT OF PROP. 8" ROOF DRAIN-873.80			

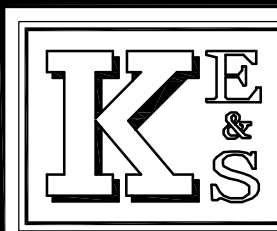
**NOT TO BE USED AS CONSTRUCTION DRAWINGS**

KES JOB NO. 2011-03



ZONED INDUSTRIAL 326-010

SCALE: 1"=20'  
APPLICANT: JONES LANG LASALLE/BANK OF AMERICA  
C/O STEPHANIE LIEB  
135 S. LASALLE, SUITE 1225  
CHICAGO, IL 60601  
PHONE: 815.717.8131 / FAX: 302.601.1283  
EMAIL: STEPHANIE.LIEB@AM.JLL.COM



PREPARED BY: KRAFT ENGINEERING & SURVEYING, INC.  
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PHONE: 810.234.2694 or 810.234.2695 FAX: 810.234.2696  
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BANK OF AMERICA BRANCH AT ADAMS MARKETPLACE  
NW CORNER OF ADAMS ROAD & MARKETPLACE CIRCLE  
PART OF THE SOUTHWEST 1/4 OF SECTION 30, T3N-R11E  
CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MI

**SANITARY SEWER LEAD & WATER LEAD PLAN**

REVISIONS	DRN. BY:	DATE	SHEET NO.:
09.28.2012	RADO	03.09.2012	C-4
11.12.2012	M.R.P.	"	"
	M.R.P.	"	"
	M.R.P.	"	"

**UTILITY STATEMENT**

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR/ENGINEER MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR/ENGINEER FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR/ENGINEER HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

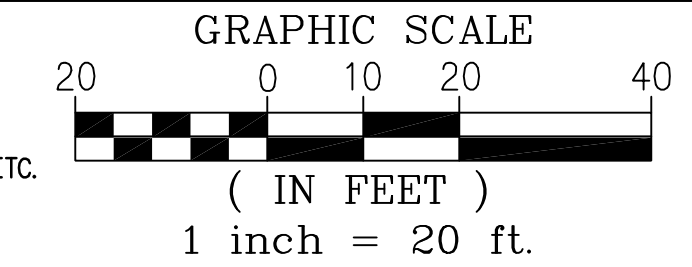
**APPROX. TOTAL AREA OF DISTURBANCE = 1.2 ACRES**

NOTE: PLACE SILT FENCE AROUND PERIMETER OF SITE AS DEPICTED BY (SP-2) AND (---) LEGENDS.

NOTE: PLACE INLET FILTER IN ALL PROP. DRAINAGE STRUCTURES AS DEPICTED BY (SI-4) LEGEND (TYP)

**CONSTRUCTION SEQUENCE & NOTES:**

1. PLACE GEOTEXTILE SILT FENCE AROUND PERIMETER OF SITE, AS SHOWN.
2. THE CONTRACTOR SHALL STRIP ALL WORK AREAS OF TOPSOIL, EX. PAVEMENT, CURBS, ETC.
3. PLACE ALL OTHER TEMPORARY SOIL EROSION CONTROL MEASURES AS PER THIS PLAN.
4. CUT/FILL ALL AREAS AS PER GRADES ON CONSTRUCTION PLANS.
5. INSTALL ALL PROPOSED UTILITIES AS PER CONSTRUCTION PLANS.
6. PLACE TOPSOIL SEED & MULCH ALL DISTURBED GREEN AREAS.
7. REMOVE ALL TEMPORARY SOIL EROSION CONTROL ITEMS AFTER ALL AREAS ARE WELL ESTABLISHED.
8. CONTRACTOR SHALL KEEP ALL STREETS CLEAN AT ALL TIMES, AND MAINTAIN MINIMAL DUST POLLUTION.
9. APPROXIMATELY 1.2 ACRES WILL BE DISTURBED BY CONSTRUCTION. AN NPDES STORM WATER DISCHARGE PERMIT FROM THE MDEQ IS NOT REQUIRED FOR THIS PROJECT.



**BENCHMARK NO. 1**  
TOP EAST SIDE OF CONCRETE LIGHT POLE BASE, WEST SIDE OF PROPERTY ELEVATION=881.76 (NORTH AMERICAN VERTICAL DATUM PER U.S.G.S.)

**BENCHMARK NO. 2**  
TOP FLANGE, SE BOLT OF EX. FIRE HYDRANT, S. SIDE OF ADAMS ROAD. ELEVATION=876.46 (NORTH AMERICAN VERTICAL DATUM PER U.S.G.S.)

**LEGEND**

- FOUND PROPERTY CORNER
- 875 EX. SURFACE CONTOUR
- 872.35 EX. SURFACE ELEVATION
- EX. UTILITY POLE
- EX. OVERHEAD POWERLINES
- EX. BURIED ELECTRIC
- EX. BURIED TELEPHONE
- EX. UTILITY/ELECTRIC MANHOLE
- EX. TELEPHONE MARKER
- EX. TELEPHONE TRANSFORMER
- EX. LIGHT POLE
- EX. STORM MANHOLE
- EX. STORM CATCHBASIN
- EX. STORM SEWER
- EX. SANITARY MANHOLE
- EX. SANITARY SEWER
- EX. FIRE HYDRANT
- EX. WATERMAIN
- EX. GASMAIN
- EX. GAS MARKER
- EX. ROAD SIGN
- PROP. STM CATCHBASIN
- PROP. STM MANHOLE
- PROP. STM SEWER
- PROP. PAINTED TRAFFIC ARROW
- PROP. BARRIER FREE PARKING
- PROP. 4" ASPHALT OVER 6" LIMESTONE PARKING LOT PAVEMENT
- PROP. 6-1/2" ASPHALT OVER 8" LIMESTONE HEAVY DUTY PAVEMENT
- PROP. CONCRETE PAVEMENT
- PROP. CONCRETE CURB & GUTTER
- 875.00 PROP. SPOT ELEVATION
- T-876.00 PROP. TOP OF WALK OR CURB ELEVATION
- E-876.00 PROP. EDGE OF PAVEMENT ELEVATION
- PROP. DRAINAGE FLOW DIRECTION
- CB PROP. CATCHBASIN W/2' DEEP SUMP
- PROP. SIDEWALK RAMP DETECTABLE WARNING SURFACE
- DS-5 DRAINAGE STRUCTURE NUMBER
- CO-B ROOF DRAIN CLEANOUT LETTER
- (SP-9) SOIL EROSION CONTROL KEY (SEE SHT. C-6)

**CITY OF ROCHESTER HILL SEC STANDARD NOTES:**

1. ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM TO STANDARDS AND SPECIFICATIONS OF THE OAKLAND COUNTY DRAIN COMMISSIONER, INCLUDING THE OAKLAND COUNTY SOIL EROSION CONTROL MANUAL.
2. ALL TEMPORARY AND PERMANENT (POST CONSTRUCTION) SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL CONFORM TO THE CITY OF ROCHESTER HILLS CURRENT MS4 PERMIT. ANY CONFLICT BETWEEN THESE STANDARDS AND THE MS4 PERMIT, THE PERMIT'S CONDITIONS SHALL TAKE PRECEDENCE.
3. DAILY INSPECTIONS SHALL BE MADE BY THE CONTRACTOR FOR EFFECTIVENESS OF EROSION AND SEDIMENTATION CONTROL MEASURES, AND ANY NECESSARY REPAIRS SHALL BE PERFORMED WITHOUT DELAY.
4. ANY SEDIMENTATION FROM WORK ON THIS SITE SHALL BE CONTAINED ON THE SITE AND NOT ALLOWED TO COLLECT ON ANY OFF-SITE AREAS OR IN WATERWAYS.
5. CONTRACTOR SHALL APPLY TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES WHEN REQUIRED AND AS DIRECTED ON THESE PLANS. TEMPORARY MEASURES SHALL BE REMOVED AS SOON AS PERMANENT STABILIZATION OF SLOPES, DITCHES, AND OTHER EARTH CHANGES HAVE BEEN ACCOMPLISHED PER OAKLAND COUNTY DRAIN COMMISSIONER'S STANDARDS. THIS WOULD INCLUDE TEMPORARY SEDIMENTATION PONDS AND TEMPORARY SO2 FILTERS.
6. STAGING THE WORK WILL BE DONE BY THE CONTRACTOR AS DIRECTED IN THESE PLANS AND AS REQUIRED TO ENSURE PROGRESSIVE STABILIZATION OF DISTURBED EARTH.
7. SOIL EROSION CONTROL PRACTICES SHALL BE ESTABLISHED IN THE EARLY STAGES OF CONSTRUCTION BY THE CONTRACTOR. SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTING OF SILT OFF THE SITE.
8. FAILURE TO COMPLY WITH APPROVED SOIL EROSION AND SEDIMENTATION MEASURES MAY RESULT IN WORK STOPPAGE BY APPROPRIATE AUTHORITY.
9. EXCEPTIONS TO TIMING OF CONTROL MEASURES' INSTALLATION WILL ONLY BE PERMITTED WHERE TREES AND STUMPS NEED TO BE REMOVED TO INSTALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES.
10. CONTRACTOR IS TO PROVIDE THE CITY WITH PERMIT RENEWALS, VIOLATION CORRECTIONS, AND/OR RELEASES.
11. THE SOIL EROSION CONTROLS MUST BE PROPERLY MAINTAINED WEEKLY AND AFTER EVERY STORM EVENT BY THE CONTRACTOR AS REQUIRED BY THE OAKLAND COUNTY WATER RESOURCES COMMISSIONER AND/OR THE CITY OF ROCHESTER HILLS.
12. CONTRACTOR MUST IMPLEMENT APPROPRIATE MEASURES AS REQUIRED TO CONTROL DUST AT ALL TIMES.
13. CONTRACTOR MUST IMMEDIATELY HAUL OFF EXCAVATED DIRT TO AN APPROVED OFF SITE LOCATION, OR TEMPORARILY STORE THE MATERIAL ON THE SITE. ALL STORED MATERIAL MUST BE PROTECTED TO PREVENT EROSION.
14. THE CONTRACTOR MUST PROVIDE A WRITTEN SCHEDULE INDICATING THE TIMING AND SEQUENCING IF ALL SOIL EROSION CONTROL MEASURES AND CONSTRUCTION ITEMS, INCLUDING THE INSTALLATION OF ALL PERMANENT SOIL EROSION CONTROL MEASURES.
15. THE CONTRACTOR MUST OBTAIN A SOIL EROSION CONTROL PERMIT FROM THE OAKLAND COUNTY WATER RESOURCES COMMISSIONER PRIOR TO CONSTRUCTION.

NOTE: SEE SHEET C-6 FOR SOIL EROSION AND SEDIMENTATION CONTROL DETAILS

**PERMANENT SOIL EROSION CONTROL MEASURES:**

- A. CONCRETE AND ASPHALT PAVING
- B. CONCRETE SIDEWALK
- C. CONCRETE CURB & GUTTER
- D. STORM SEWER AND CATCHBASINS WITH SUMPS
- E. BUILDING ROOF
- F. MULCH LANDSCAPE BEDDING
- G. TURF AREAS (ALL AREAS ON THE SITE OUTSIDE THE PAVEMENT, BUILDING, AND MULCH LANDSCAPE BEDDING AREAS.)

**UTILITY STATEMENT**

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR/ENGINEER MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR/ENGINEER FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR/ENGINEER HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

**NOT TO BE USED AS CONSTRUCTION DRAWINGS**

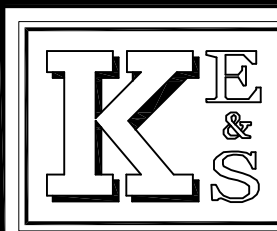
ISSUED FOR PLANNING REVIEW - 03.15.2012  
CITY FILE NUMBER 11-009

KES JOB NO. 2011-03



ZONED INDUSTRIAL 326-010

SCALE: 1"=20'  
PREPARED FOR: JONES LANG LASALLE/BANK OF AMERICA  
C/O STEPHANIE LIEB  
135 S. LASALLE, SUITE 1225  
CHICAGO, IL 60601  
PHONE: 815.717.8131 / FAX: 302.601.1283  
EMAIL: STEPHANIE.LIEB@AM.JLL.COM

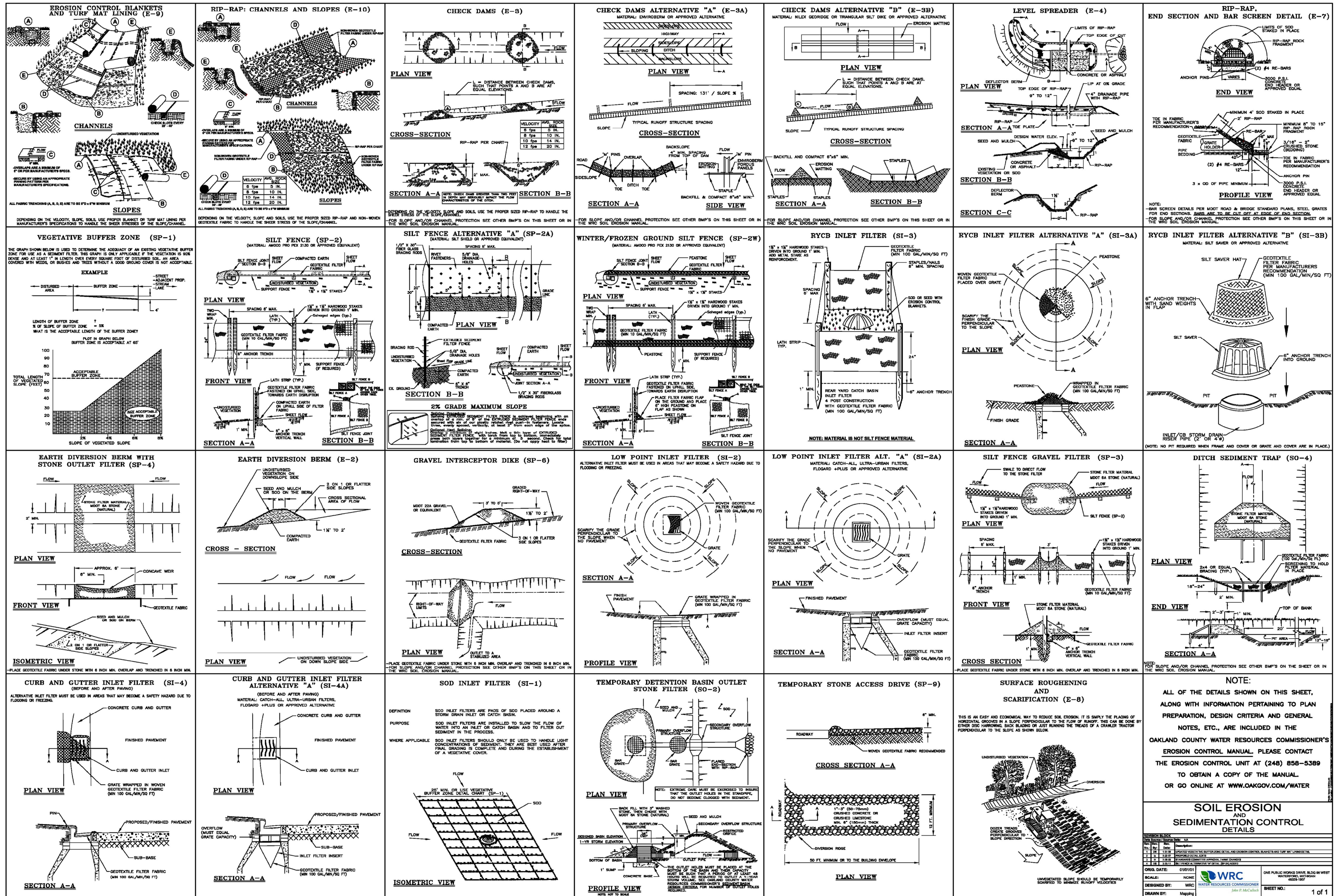


PREPARED BY: KRAFT ENGINEERING & SURVEYING, INC.  
engineers - surveyors - planners  
409 WEST SEVENTH STREET FLINT, MICHIGAN 48503  
PHONE: 810.234.2694 or 810.234.2695 FAX: 810.234.2696  
E-MAIL: MIKE@KRAFTENGINEERING.COM

BANK OF AMERICA BRANCH AT ADAMS MARKETPLACE  
NW CORNER OF ADAMS ROAD & MARKETPLACE CIRCLE  
PART OF THE SOUTHWEST 1/4 OF SECTION 30, T3N-R11E  
CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MI

**SOIL EROSION & SEDIMENTATION CONTROL PLAN**

REVISIONS	DRN. BY:	RADO	03.09.2012	SHEET NO:
09.28.2012	DSGN. BY:	M.R.P.	"	C-5
11.12.2012	CHKD BY:	M.R.P.	"	
	APPR. BY:	M.R.P.	"	



**NOTE:**  
 ALL OF THE DETAILS SHOWN ON THIS SHEET, ALONG WITH INFORMATION PERTAINING TO PLAN PREPARATION, DESIGN CRITERIA AND GENERAL NOTES, ETC., ARE INCLUDED IN THE OAKLAND COUNTY WATER RESOURCES COMMISSIONER'S EROSION CONTROL MANUAL. PLEASE CONTACT THE EROSION CONTROL UNIT AT (248) 858-5389 TO OBTAIN A COPY OF THE MANUAL. OR GO ONLINE AT WWW.OAKGOV.COM/WATER

**SOIL EROSION AND SEDIMENTATION CONTROL DETAILS**

DESIGNED BY:	WRC	DATE:	01/01/11
DRAWN BY:	Mephr	SCALE:	NONE
CHECKED BY:	WRC	PROJECT NO.:	11-03
APPROVED BY:	WRC	PROJECT NAME:	CHICAGO, ILL. 60601
DATE:	01/01/11	PROJECT LOCATION:	CHICAGO, ILL. 60601
SCALE:	NONE	PROJECT NUMBER:	11-03
DESIGNED BY:	WRC	PROJECT NAME:	CHICAGO, ILL. 60601
DRAWN BY:	Mephr	PROJECT LOCATION:	CHICAGO, ILL. 60601

ONE PUBLIC WORKS DRIVE, BLDG. 88 WEST WATKINS AVENUE, WARREN, MI 48090-1907

**NOT TO BE USED AS CONSTRUCTION DRAWINGS**

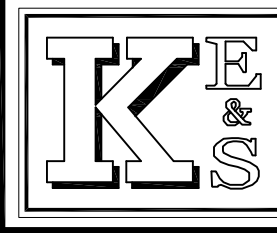
ISSUED FOR PLANNING REVIEW - 03.15.2012  
 CITY FILE NUMBER 11-009

KES JOB NO. 2011-03

**Bank of America**

APPLICANT:  
 JONES LANG LASALLE/BANK OF AMERICA  
 C/O STEPHANIE LIEB  
 135 S. LASALLE, SUITE 1225  
 CHICAGO, ILL. 60601  
 PHONE: 815.717.8131 / FAX: 302.601.1283  
 EMAIL: STEPHANIE.LIEB@AM.JLL.COM

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PREPARED BY:  
**KRAFT ENGINEERING & SURVEYING, INC.**  
 engineers - surveyors - planners  
 409 WEST SEVENTH STREET FLINT, MICHIGAN 48503  
 PHONE: 810.234.2694 or 810.234.2695 FAX: 810.234.2696  
 E-MAIL: MIKE@KRAFTENGINEERING.COM

**BANK OF AMERICA BRANCH AT ROCHESTER HILLS**  
 NW CORNER OF ADAMS ROAD & MARKETPLACE CIRCLE  
 PART OF THE SOUTHWEST 1/4 OF SECTION 30, T3N-R11E  
 CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MI

**SOIL EROSION & SEDIMENTATION CONTROL DETAILS**

REVISIONS	DRN. BY:	RADO	03.09.2012	SHEET NO.:
09.28.2012	DSN. BY:	M.R.P.	"	C-6
	DSGN. BY:	M.R.P.	"	
	APPR. BY:	M.R.P.	"	

- LEGEND**
- 875.00 PROP. SPOT ELEVATION
  - T-876.00 PROP. TOP OF WALK OR CURB ELEVATION
  - E-876.00 PROP. EDGE OF PAVEMENT ELEVATION
  - 875.00 EX. SPOT ELEVATION

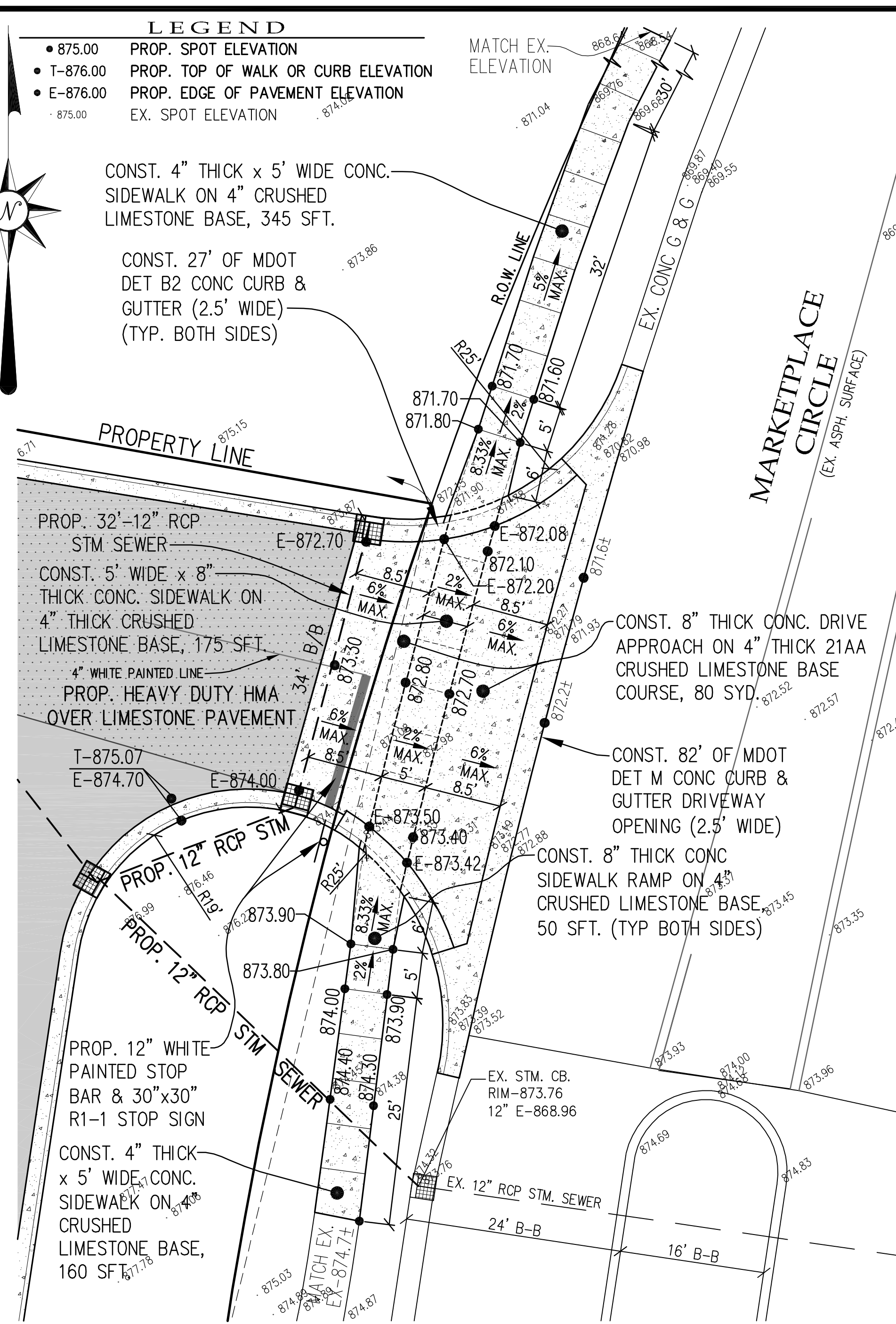
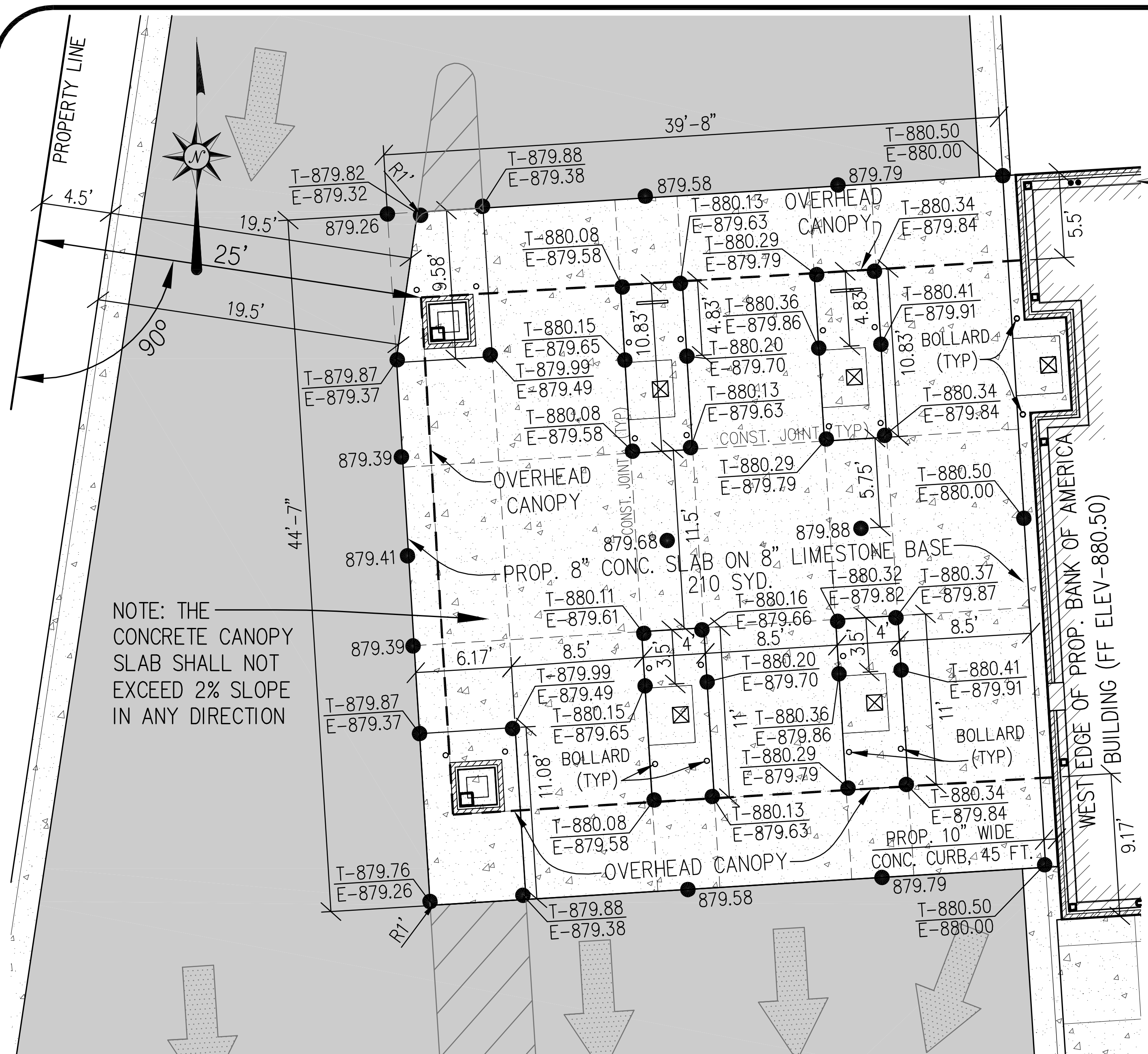
**GENERAL CONSTRUCTION NOTES:**

- ALL WORK SHALL BE IN ACCORDANCE WITH THE 2012 MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION, THE LATEST MDOT STANDARD ROAD PLANS, THE LATEST APPLICABLE MDOT SPECIAL PROVISIONS AND SUPPLEMENTAL SPECIFICATIONS, THE LATEST CITY OF ROCHESTER HILLS ZONING ORDINANCE AND ENGINEERING DESIGN STANDARDS, AND ALL BANK OF AMERICA STANDARDS. ALL MDOT STANDARDS ARE AVAILABLE AT THEIR WEBSITE (WWW.MICHIGAN.GOV/MDOT)
- THE CONTRACTOR SHALL PERFORM ALL WORK NECESSARY TO GRADE THE SITE TO THE GRADES SHOWN ON THE PLANS OR SPECIFIED BY THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXCAVATION, EMBANKMENT, AND THE FURNISHING AND PLACING OF ALL BORROW MATERIAL REQUIRED TO OBTAIN THE SPECIFIED GRADES.
- SUBGRADE PREPARATION: REMOVE ALL ROCKS, DEBRIS, VEGETATION AND TOPSOIL FROM THE AREA TO BE PAVED. SHAPE THE SUBGRADE TO PROPER ELEVATIONS FOR PLACEMENT OF THE PAVEMENT. COMPACT SUBGRADE TO NOT LESS THAN 95% OF MAXIMUM UNIT WEIGHT IN 9 INCH LIFTS IN ACCORDANCE WITH THE MODIFIED PROCTOR METHOD. THE CONTRACTOR MUST UNDERCUT ANY UNSUITABLE SUBGRADE MATERIAL AND REPLACE IT WITH SUITABLE MATERIAL COMPACTED TO MIN 95% DENSITY.
- ALL WORK NECESSARY TO COMPLETE THIS PROJECT SHALL CONFORM TO ALL RELATED CITY OF ROCHESTER HILLS CODES AND ORDINANCES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, INSURANCE AND BONDS PRIOR TO CONSTRUCTION, INCLUDING THE PAYMENT OF ANY FEES, REQUIRED BY ANY FEDERAL, STATE, LOCAL, OR PRIVATE ORGANIZATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISPOSAL OF SURPLUS OR WASTE MATERIAL.
- SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE EMPLOYED IN ACCORDANCE WITH THE SOIL EROSION CONTROL PLAN, AND SHALL MEET THE APPROVAL OF THE OAKLAND COUNTY DRAIN COMMISSION, WATER RESOURCES COMMISSION (WRC). CONTRACTOR SHALL OBTAIN SOIL EROSION CONTROL PERMIT FROM OAKLAND COUNTY DRAIN COMMISSION, WATER RESOURCES COMMISSION (WRC).
- ALL LAWN OR TURF AREAS SHALL BE ESTABLISHED WITH TOPSOIL AND APPLICATION OF FERTILIZER, SEED AND MULCH IN ACCORDANCE WITH THE FOLLOWING RATES:
 

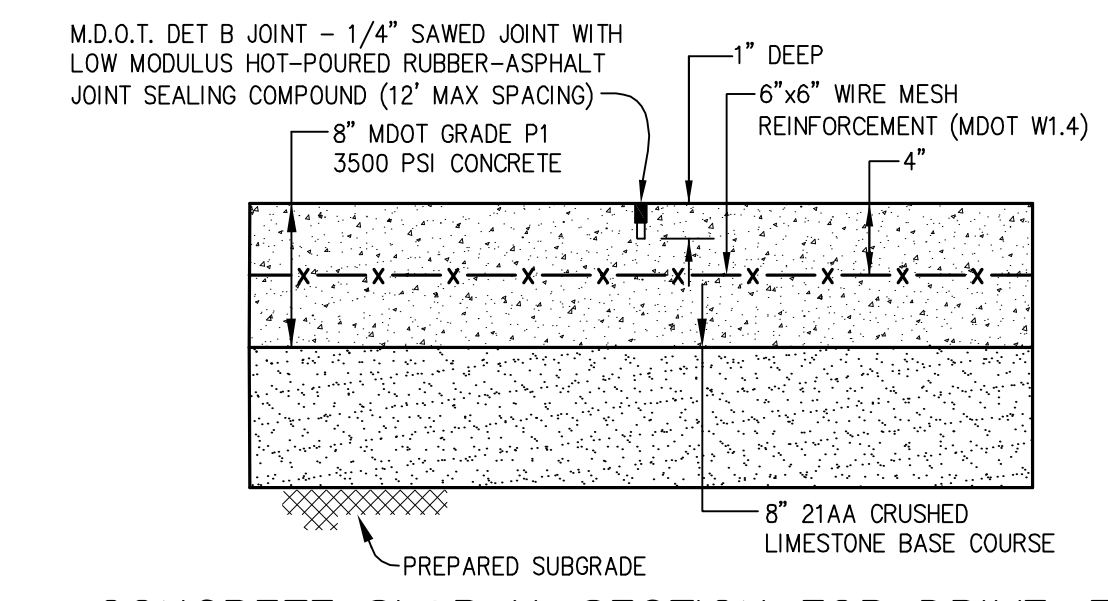
TOPSOIL SURFACE	8 INCHES
CHEMICAL FERTILIZER NUTRIENT	240 LBS/ACRE
CLASS A SEEDING	120 LBS/ACRE
MULCH	2 TONS/ACRE

 ALL LANDSCAPE BEDS SHALL HAVE 18" OF TOPSOIL. ALL MATERIAL SHALL COMPLY WITH MDOT STANDARD SPECIFICATIONS.
- CONTRACTOR SHALL NOTIFY ALL APPROPRIATE UTILITY COMPANIES PRIOR TO PERFORMING WORK, AND SHALL OBTAIN ANY REQUIRED PERMITS OR APPROVALS PRIOR TO PERFORMING WORK.
- THREE (3) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT MISS DIG UTILITY PROTECTION SERVICE (1-800-482-7171) TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. ALL UTILITIES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED IN ACCORDANCE WITH THE UTILITY OWNERS REQUIREMENTS.
- PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL BE REQUIRED TO EXPOSE ALL EXISTING UTILITIES THAT CROSS THE PROPOSED CONSTRUCTION IN ORDER TO DETERMINE IF A VERTICAL CONFLICT EXISTS BETWEEN THE EXISTING UTILITY AND THE PROPOSED CONSTRUCTION. ALL LABOR REQUIRED TO UNCOVER THE EXISTING UTILITY SHALL BE CONSIDERED AS BEING INCLUDED IN THE COST OF CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THE DEPTH AND HORIZONTAL LOCATIONS OF ALL UTILITIES IN SUFFICIENT TIME SUCH THAT ANY CONFLICTS CAN BE RESOLVED BEFORE WORK IS STARTED IN THAT PORTION OF THE PROJECT. THE CONTRACTOR SHALL ARRANGE FOR THE VARIOUS UTILITY OWNERS TO LOCATE, REMOVE AND REPLACE, OR RELOCATE THEIR FACILITIES. ALL COST FOR THIS WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- PRIOR TO BIDDING THE CONTRACTOR AND SUBCONTRACTORS SHALL MAKE A PERSONAL INVESTIGATION OF THE SITE AND EXISTING SURFACE AND SUBSURFACE CONDITIONS. THE CONTRACTOR IS RESPONSIBLE TO ACQUAINT THEMSELVES WITH CONDITIONS OF THE WORK AREA. THE CONTRACTOR IS ADVISED TO DETERMINE THE SUBSURFACE SOIL AND GROUND WATER CONDITIONS. DEWATERING, IF DETERMINED NECESSARY BY THE CONTRACTOR, WILL BE INCIDENTAL TO THE COST OF CONSTRUCTION.
- ALL FILL ON THE PROPERTY SHALL BE ADEQUATELY COMPACTED BY ROLLING TO PRODUCE A SURFACE SATISFACTORY FOR THE PROPER INSTALLATION OF THE PROPOSED WORK. BEFORE COMMENCING PAVING WORK, THE PAVING CONTRACTOR MUST MAKE CERTAIN THAT THE SURFACES TO BE COVERED ARE IN PROPER CONDITION. SURFACES NOT ACCEPTABLE SHALL BE REPORTED TO THE OWNER IMMEDIATELY. THE APPLICATION OF PAVING MATERIALS SHALL BE HELD TO BE AN ACCEPTANCE OF THE SURFACES AND WORKING CONDITIONS BY THE PAVING CONTRACTOR WHO WILL BE HELD RESPONSIBLE FOR THE RESULTS.
- CONTRACTOR SHALL REMOVE ALL EXISTING STRUCTURES, TREES, BRUSH, FENCES, SLABS, DRIVEWAYS AND/OR SIDEWALKS THAT ARE AFFECTED BY THE PROPOSED WORK. THE CONTRACTOR MUST VISIT THE SITE TO DETERMINE EXTENT OF REMOVAL WORK WHICH MAY OR MAY NOT BE SHOWN ON PLANS.
- THE FOLLOWING LATEST MDOT STANDARD ROAD PLANS SHALL APPLY TO THIS PROJECT:
 

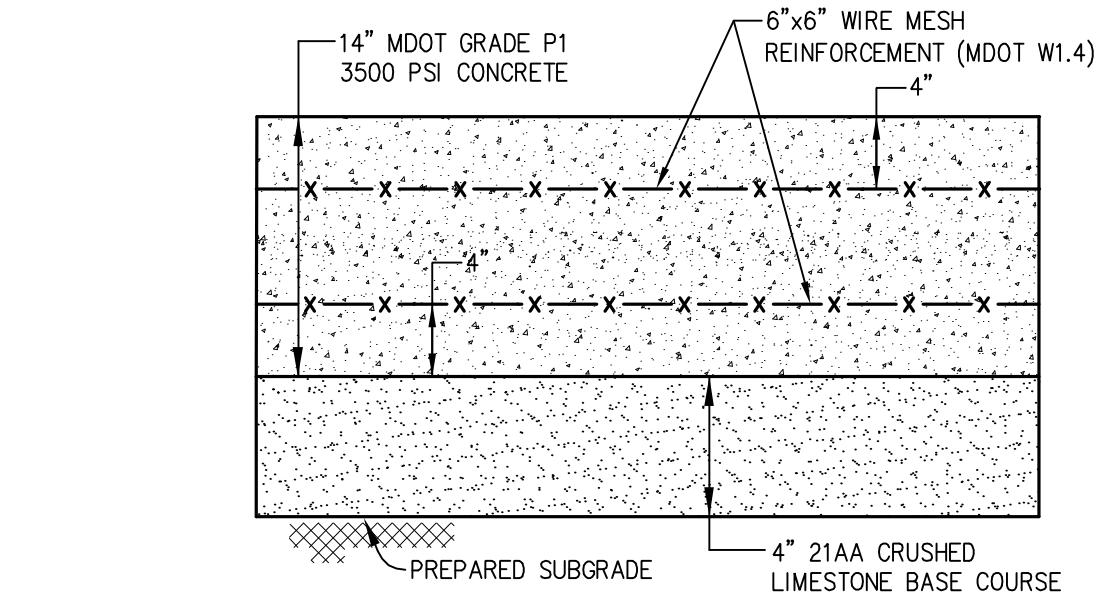
PLAN NO.	TITLE
R-1-E	DRAINAGE STRUCTURES
R-7-E	COVER B
R-15-E	COVER K
R-28-G	SIDEWALK RAMP AND DETECTABLE WARNING DETAILS
R-29-G	DRIVEWAY OPENINGS & APPROACHES & CONCRETE SIDEWALKS
R-30-E	CONCRETE CURB AND CONCRETE CURB & GUTTER
R-41-F	LONGITUDINAL PAVEMENT JOINTS
R-80-D	GRANULAR BLANKET, UNDERDRAINS, OUTLET ENDINGS FOR UNDERDRAINS, AND SEWER BULKHEADS
R-83-B	UTILITY TRENCHES
- THE CONTRACTOR MUST OBTAIN COPIES OF THESE MDOT STANDARD PLANS AT THE MDOT WEBSITE (WWW.MICHIGAN.GOV/MDOT) AND MUST COMPLY WITH ALL REQUIREMENTS OF ALL APPLICABLE STANDARD PLANS WHETHER SPECIFIED ABOVE OR NOT.
- THE CONTRACTOR MUST PROVIDE ALL MEASURES REQUIRED FOR TRAFFIC CONTROL DURING CONSTRUCTION AS REQUIRED BY THE CITY OF ROCHESTER HILLS AND IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE 2011 EDITION OF THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AS AMENDED AND SECTION 812 OF THE 2012 M.D.O.T. STANDARD SPECIFICATIONS FOR CONSTRUCTION. THE CONTRACTOR MUST PLACE PLASTIC DRUMS, TEMPORARY SIGNING, LIGHTED ARROWS, YELLOW CONSTRUCTION WARNING TAPE, AND ANY OTHER MEASURES REQUIRED TO PROTECT THE PUBLIC DURING CONSTRUCTION.
- ALL PARKING SPACE LINES, CROSSWALKS, STOP BARS, & PAINTED ISLANDS SHALL BE MARKED WITH 4" WHITE REFLECTIVE PAINT. ALL HANDICAP PARKING SPACE LINES SHALL BE MARKED WITH 4" BLUE REFLECTIVE PAINT. HANDICAP SYMBOLS SHALL BE BLUE REFLECTIVE PAINT.
- ALL TRAFFIC SIGNS SHALL CONFORM WITH THE REQUIREMENTS OF THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, AND THE BANK OF AMERICA STANDARDS.
- THE CONTRACTOR SHALL CONTROL NOISE, CARRY OUT A PROGRAM OF DUST CONTROL AND SHALL ALLOW NO ON-SITE BURNING, WITHOUT APPROVAL FROM LOCAL FIRE DEPARTMENT.



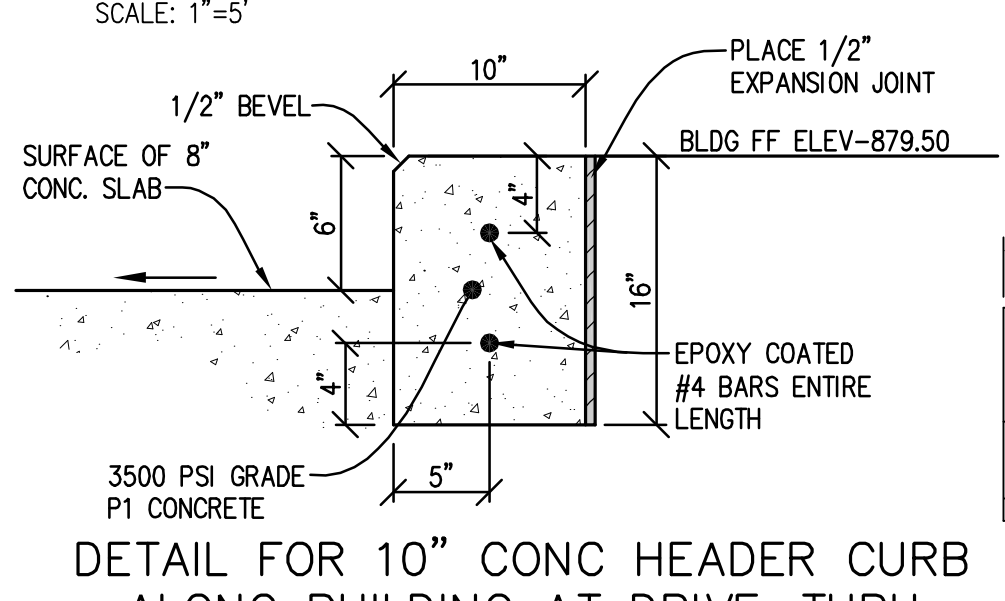
**DETAIL FOR CONCRETE PAD FOR DRIVE THRU**



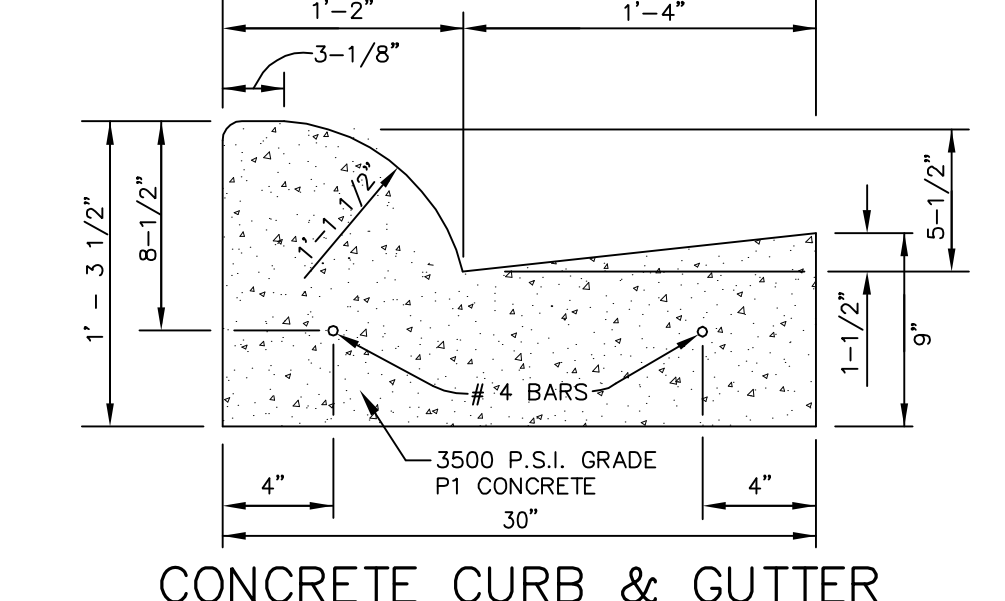
**CONCRETE SLAB X-SECTION FOR DRIVE-THRU CANOPY, TRASH ENCLOSURE & TRANSFORMER PADS**



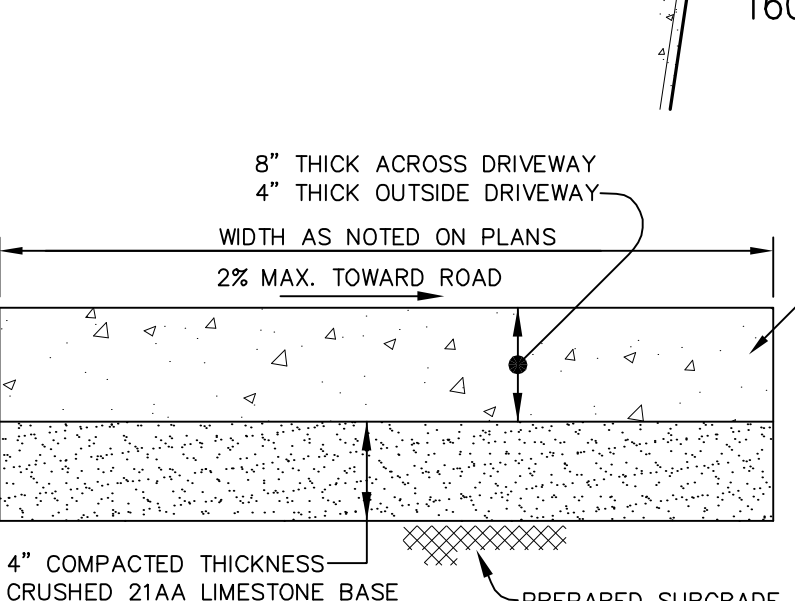
**CONCRETE RAISED ISLAND X-SECTION FOR DRIVE-THRU CANOPY**



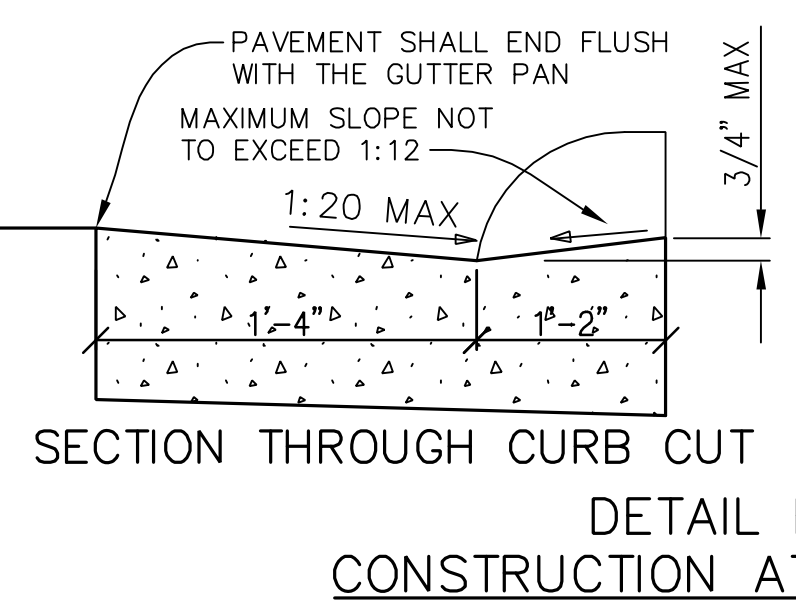
**DETAIL FOR 10" CONC HEADER CURB ALONG BUILDING AT DRIVE-THRU**



**CONCRETE CURB & GUTTER DETAIL B2 (NORMAL GUTTER GRADE)**



**CONCRETE SIDEWALK DETAIL (WITHIN MARKETPLACE CIRCLE R.O.W.)**



**SECTION THROUGH CURB CUT**

**ENTRANCE DETAIL AT MARKETPLACE CIRCLE**

**SCALE: 1"=10'**

**DETAIL FOR SIDEWALK RAMP CONSTRUCTION AT CURB AND GUTTER OPENING (WITHIN MARKETPLACE CIRCLE R.O.W.)**

NOTE: ALL SIDEWALK RAMP CONSTRUCTION MUST CONFORM TO MDOT STANDARD PLAN R-28-G.

**NOT TO BE USED AS CONSTRUCTION DRAWINGS**

ISSUED FOR PLANNING REVIEW - 03.15.2012  
CITY FILE NUMBER 11-009

SCALE: AS SHOWN  
APPLICANT: JONES LANG LASALLE/BANK OF AMERICA  
C/O STEPHANIE LIEB  
135 S. LASALLE, SUITE 1225  
CHICAGO, IL 60601  
PHONE: 815.717.8131 / FAX: 302.601.1283  
EMAIL: STEPHANIE.LIEB@AM.JLL.COM

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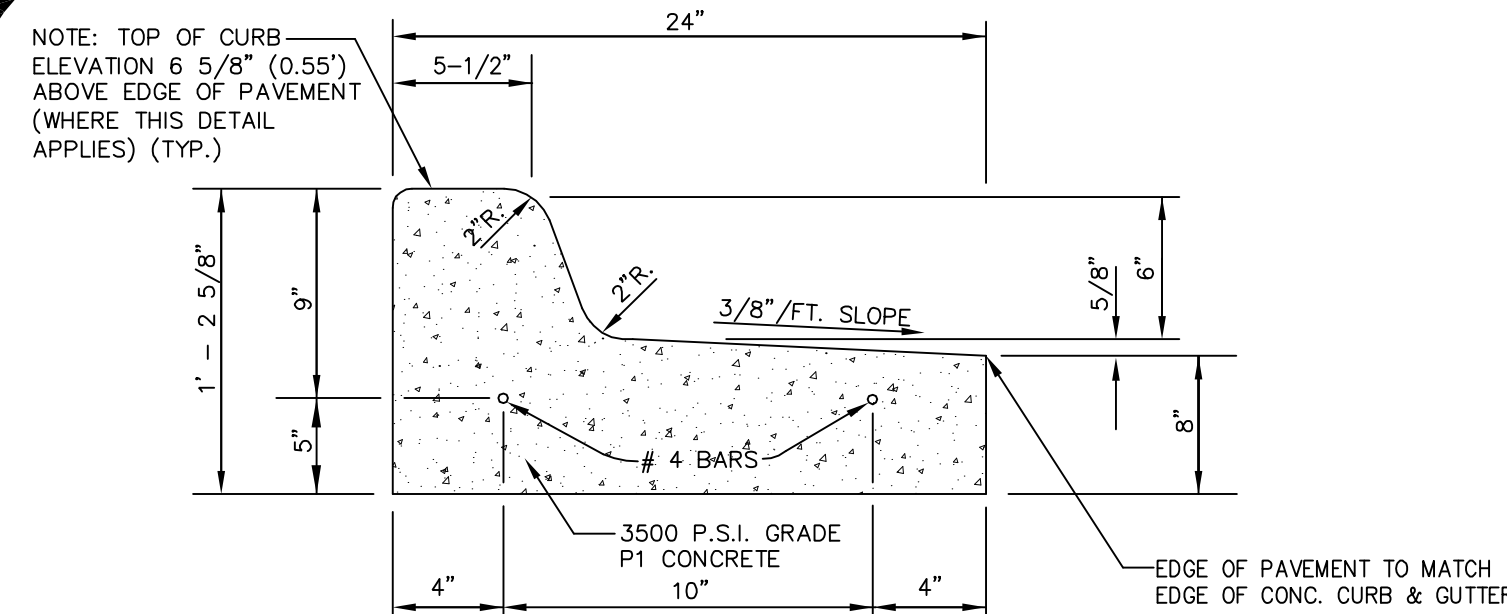
PREPARED BY: **KRAFT ENGINEERING & SURVEYING, INC.**  
engineers - surveyors - planners  
409 WEST SEVENTH STREET FLINT, MICHIGAN 48503  
PHONE: 810.234.2694 or 810.234.2695 FAX: 810.234.2696  
E-MAIL: MAIL@KRAFTENGINEERING.COM

**BANK OF AMERICA BRANCH AT ADAMS MARKETPLACE**  
NW CORNER OF ADAMS ROAD & MARKETPLACE CIRCLE  
PART OF THE SOUTHWEST 1/4 OF SECTION 30, T3N-R11E  
CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MI

**MISCELLANEOUS DETAILS AND NOTES**

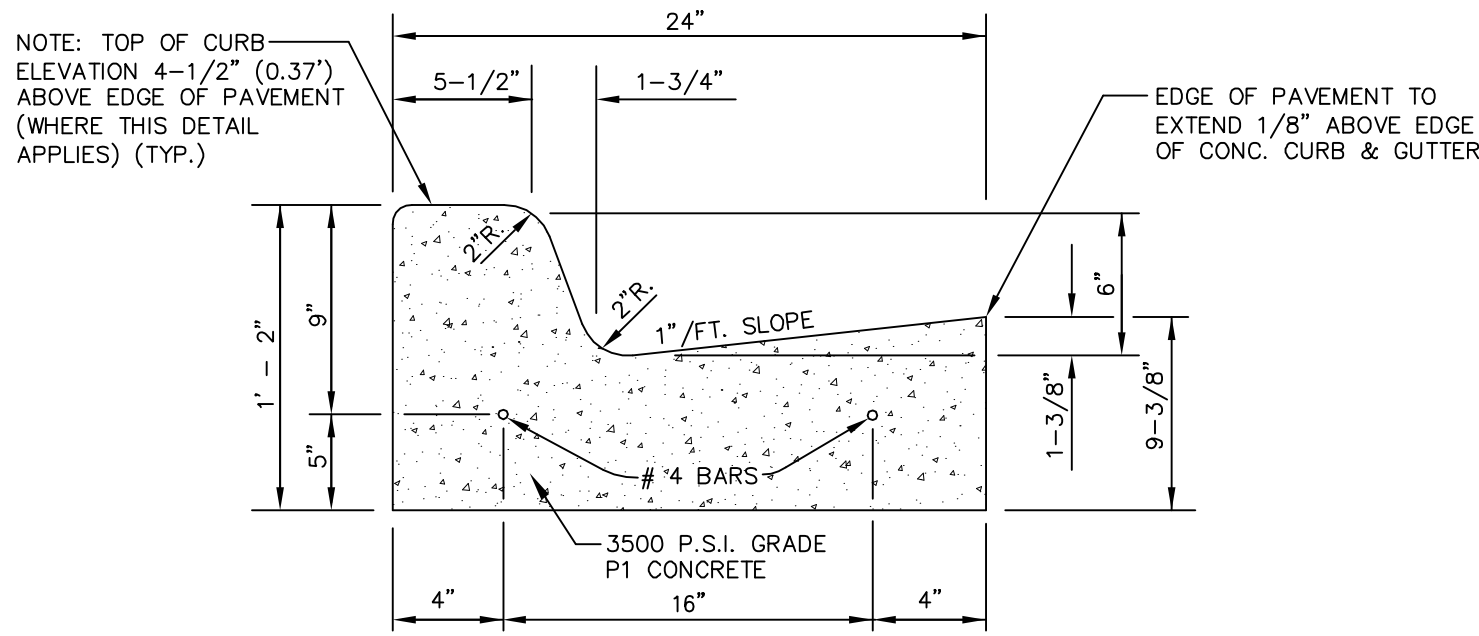
REVISIONS	DRN. BY:	RADO	03.09.2012	SHEET NO.:
09.28.2012	D5N. BY:	M.R.P.	"	C-7
11.12.2012	D5GN. BY:	M.R.P.	"	
	APPR. BY:	M.R.P.	"	





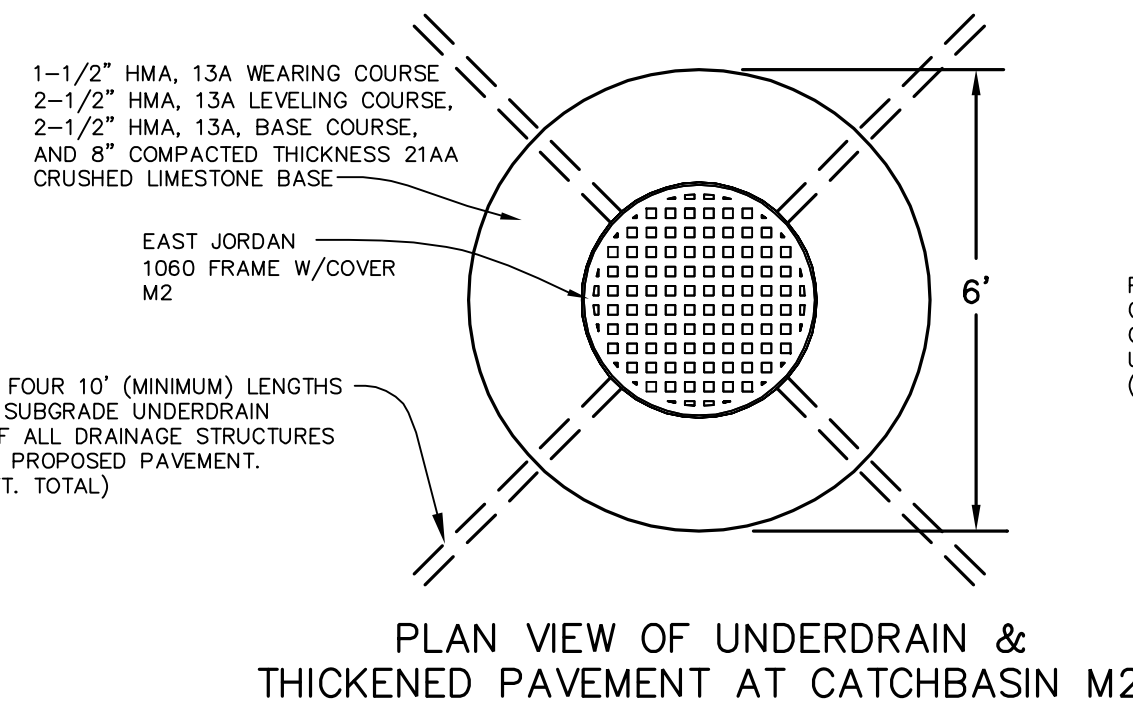
**CONCRETE CURB & GUTTER  
DETAIL F4 MODIFIED (REVERSE GUTTER GRADE)**

APPLIES TO: PARKING LOT WHEN GRADE SLOPES AWAY FROM CURB & GUTTER



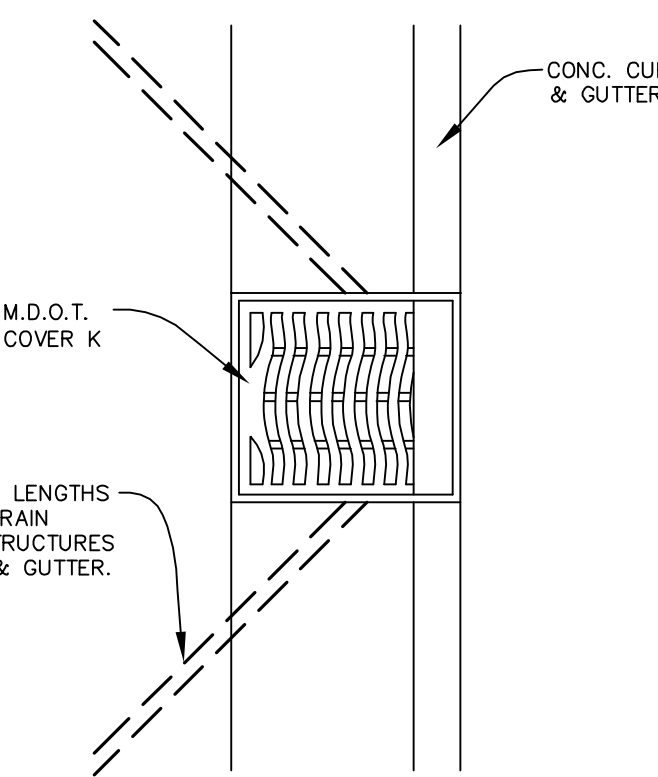
**CONCRETE CURB & GUTTER  
DETAIL F4 (NORMAL GUTTER GRADE)**

APPLIES TO: PARKING LOT WHEN GRADE SLOPES TO CURB & GUTTER



**PLAN VIEW OF UNDERDRAIN &  
THICKENED PAVEMENT AT CATCHBASIN M2**

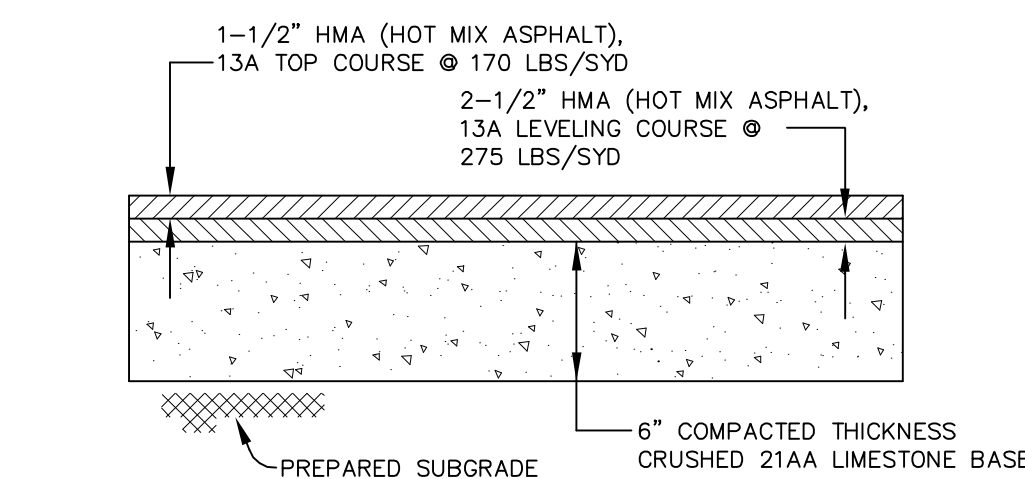
PLACE FOUR 10' (MINIMUM) LENGTHS OF 4\"/>



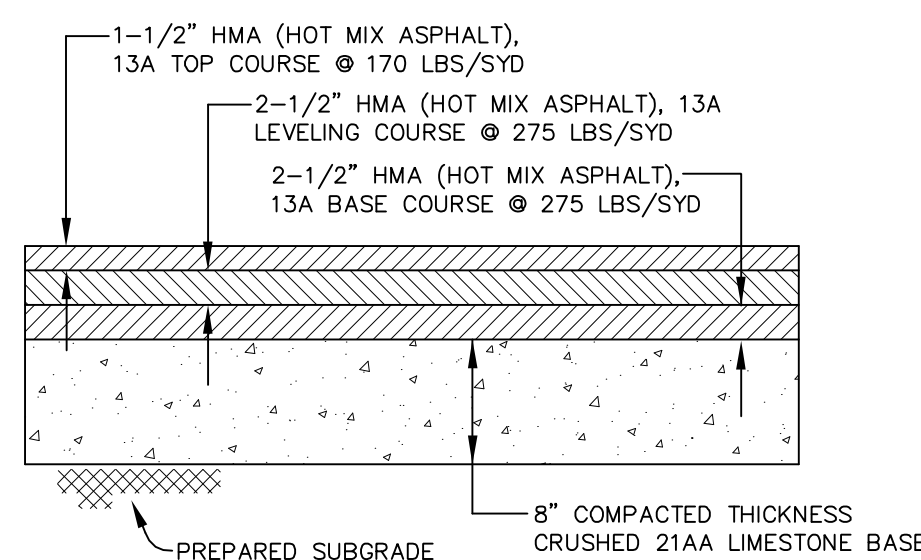
**PLAN VIEW OF UNDERDRAIN AT  
CATCHBASIN K**

PLACE TWO 10' (MINIMUM) LENGTHS OF 4\"/>

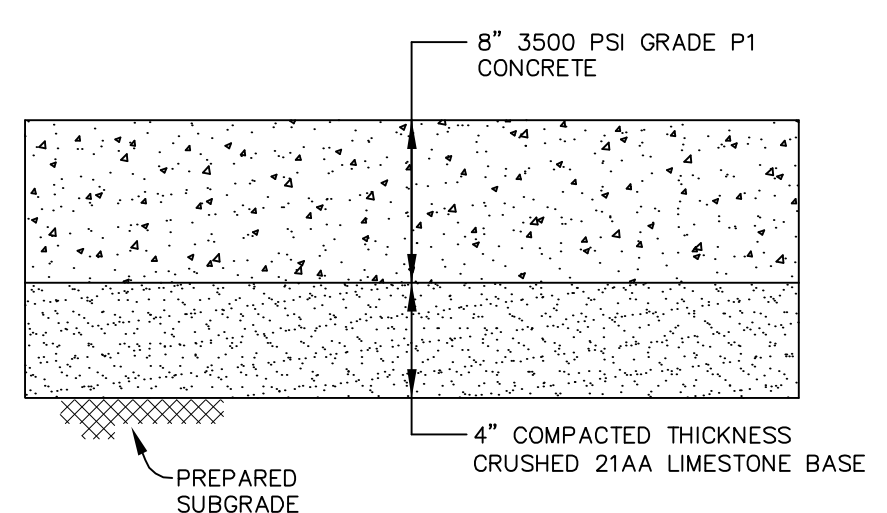
**PARKING LOT UNDERDRAIN DETAILS**



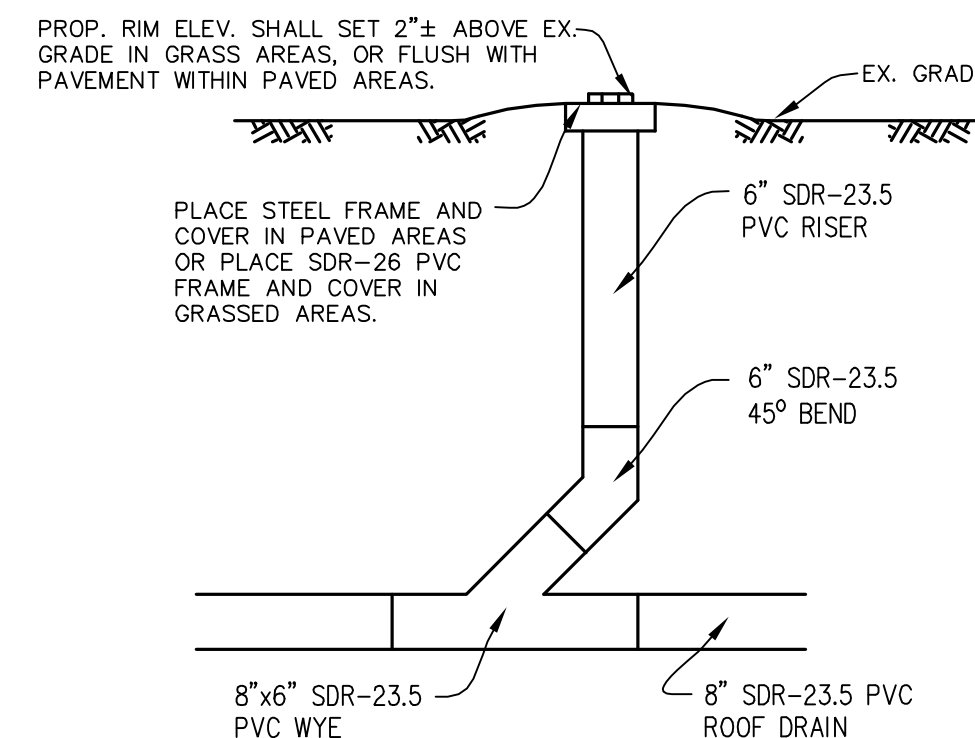
**ASPHALT OVER LIMESTONE  
PARKING LOT PAVEMENT X-SECTION**



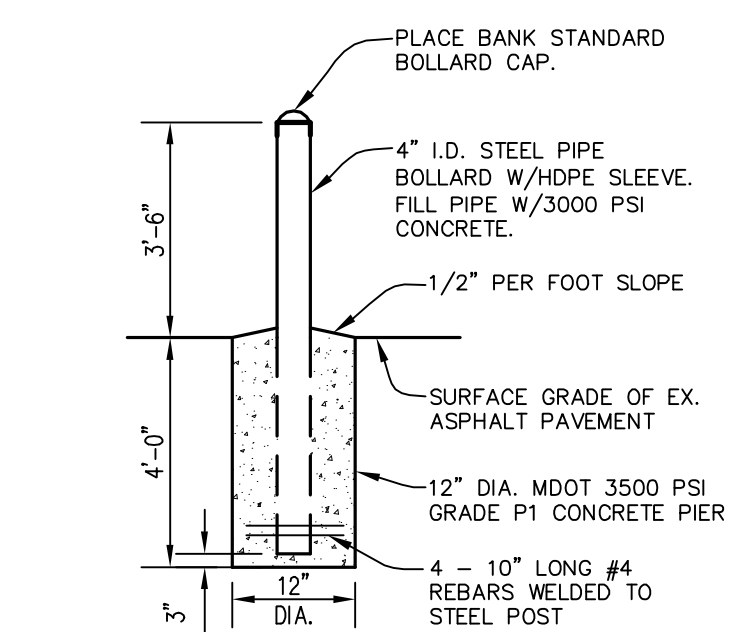
**ASPHALT OVER LIMESTONE  
HEAVY DUTY PAVEMENT X-SECTION**



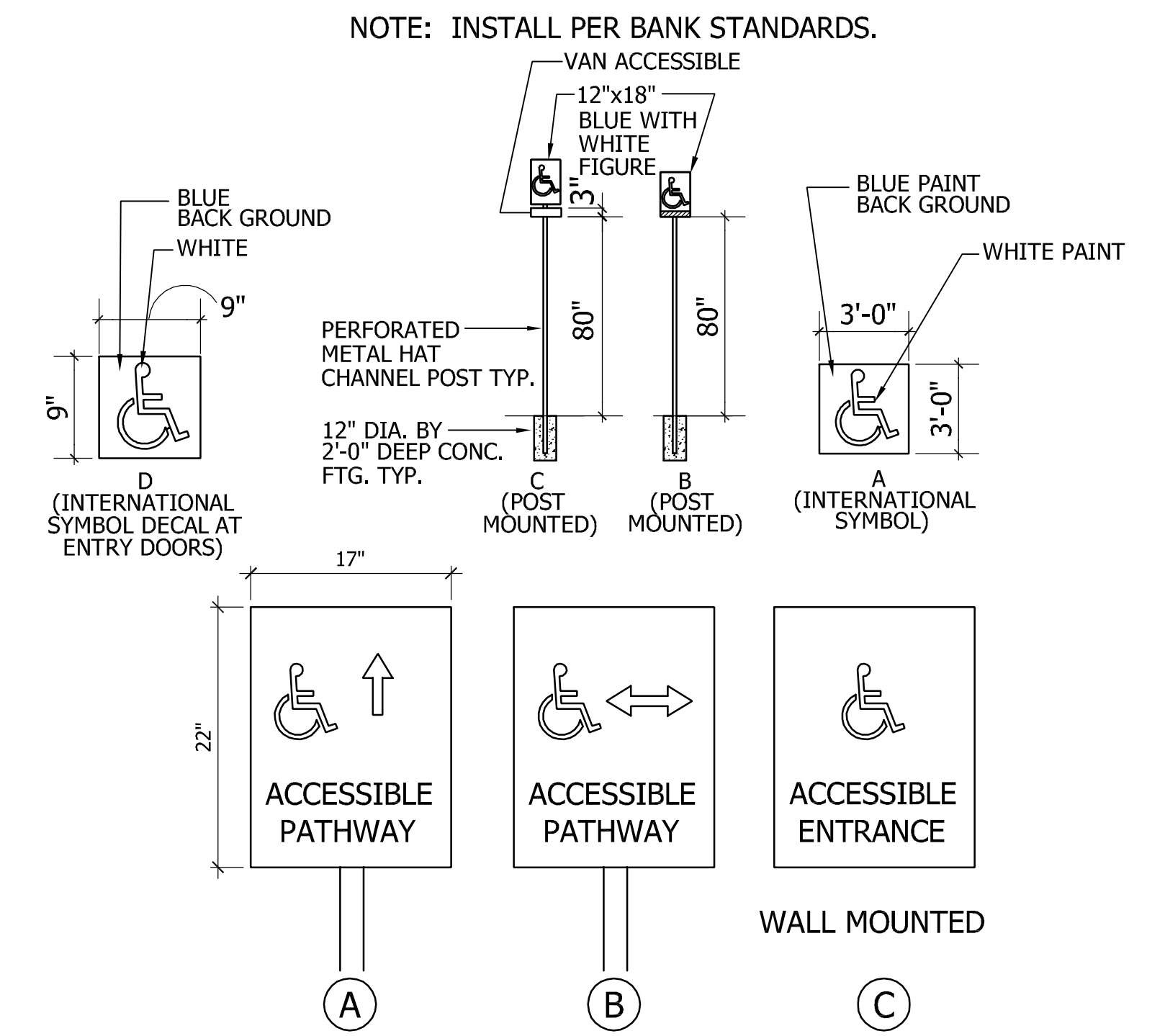
**CONCRETE COMMERCIAL DRIVEWAY  
APPROACH PAVEMENT X-SECTION**



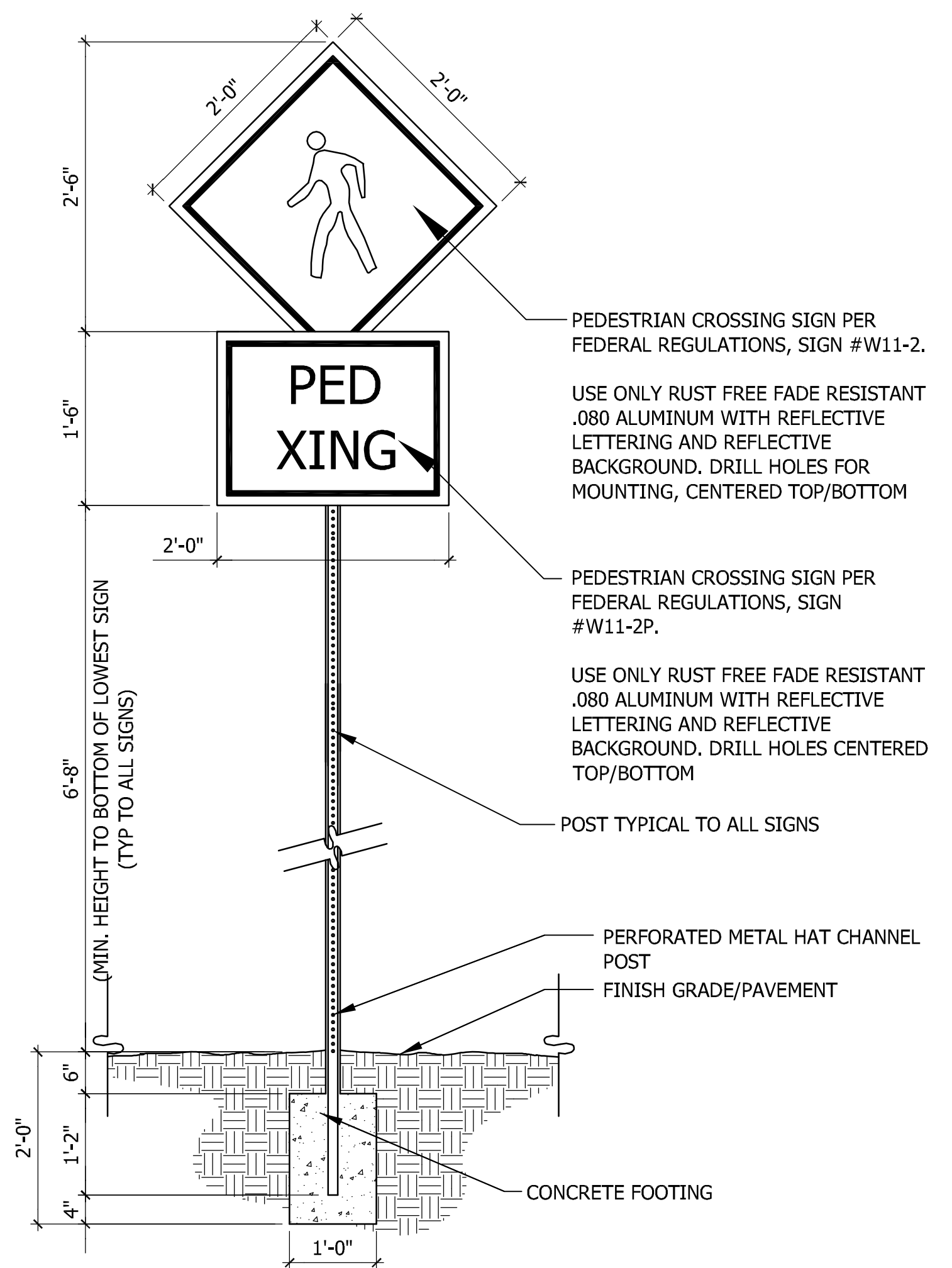
**ROOF DRAIN CLEANOUT  
(NO SCALE)**



**GUARDPOST BOLLARD DETAIL  
(NO SCALE)**



**ADA PARKING SIGNS**  
ALL ADA SIGNS MUST CONFORM WITH CURRENT STANDARDS



**TYPICAL SIGN POST  
& PEDESTRIAN CROSSING SIGN DETAIL**

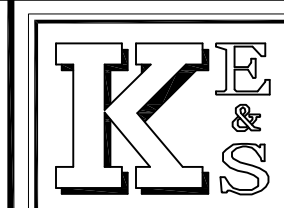
KES JOB NO. 2011-03



APPLICANT:  
**JONES LANG LASALLE/BANK OF AMERICA**  
C/O STEPHANIE LIEB  
135 S. LASALLE, SUITE 1225  
CHICAGO, IL 60601  
PHONE: 815.717.8131 / FAX: 302.601.1283  
EMAIL: STEPHANIE.LIEB@AM.JLL.COM



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PREPARED BY:  
**KRAFT ENGINEERING & SURVEYING, INC.**  
engineers - surveyors - planners  
409 WEST SEVENTH STREET FLINT, MICHIGAN 48503  
PHONE: 810.234.2694 or 810.234.2695 FAX: 810.234.2696  
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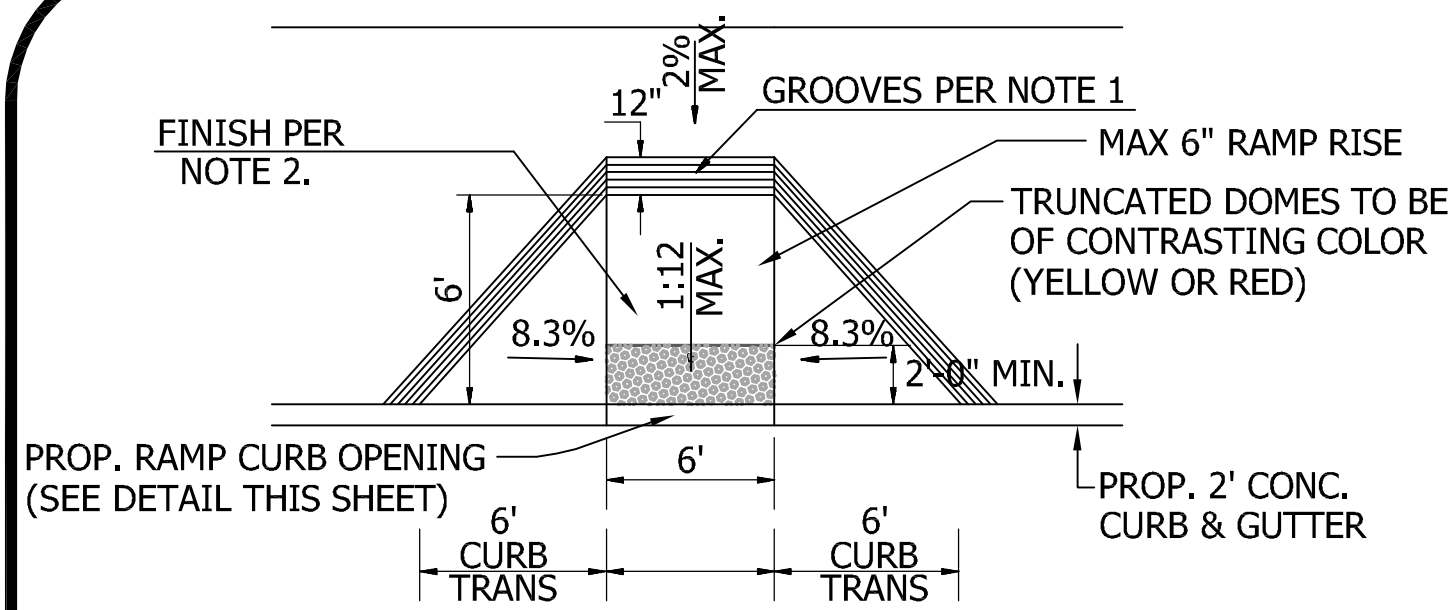
**BANK OF AMERICA BRANCH AT ADAMS MARKETPLACE**  
NW CORNER OF ADAMS ROAD & MARKETPLACE CIRCLE  
PART OF THE SOUTHWEST 1/4 OF SECTION 30, T3N-R11E  
CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MI

**NOT TO BE USED AS  
CONSTRUCTION DRAWINGS**

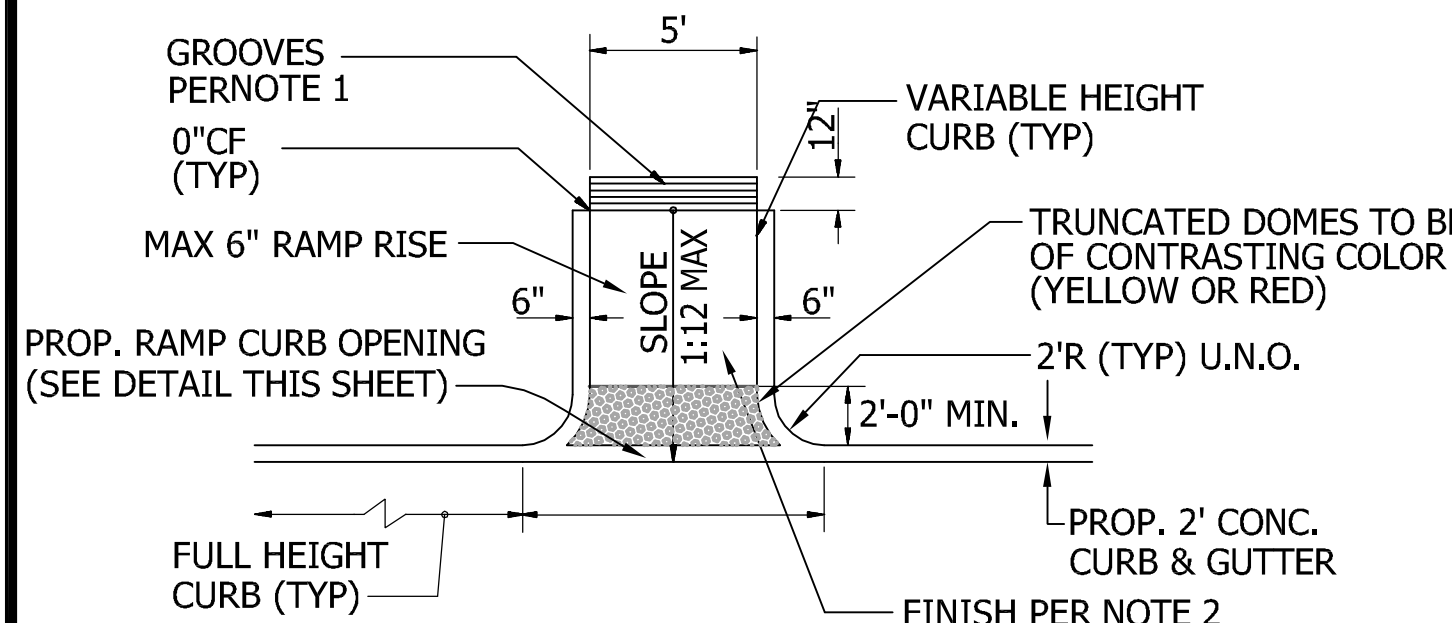
ISSUED FOR PLANNING REVIEW - 03.15.2012  
CITY FILE NUMBER 11-009

**MISCELLANEOUS  
DETAILS**

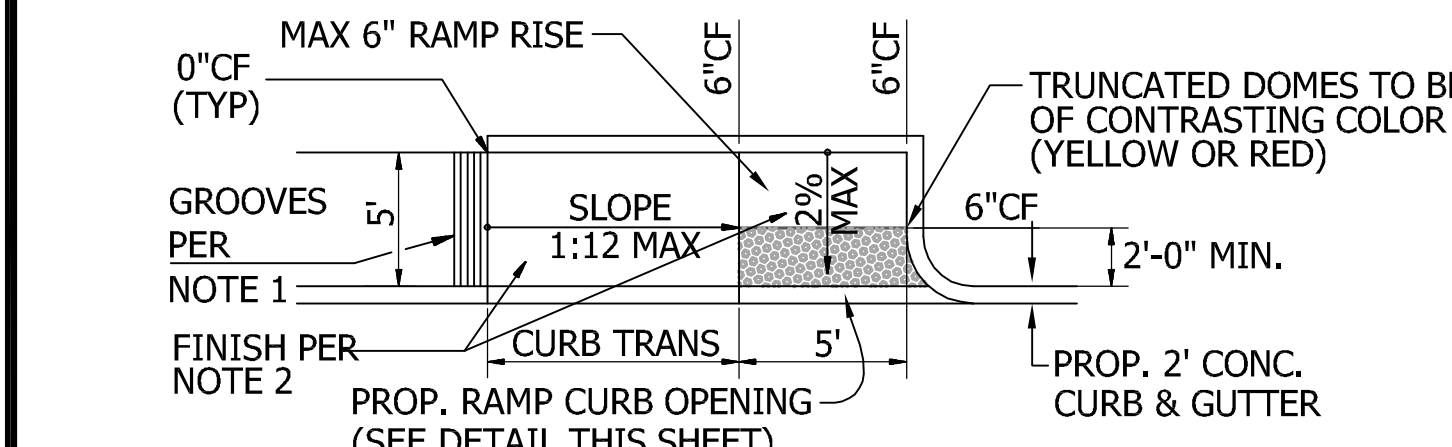
REVISIONS	DRN. BY:	RADO	03.09.2012	SHEET NO:
09.28.2012	D5N. BY:	M.R.P.	"	<b>C-8</b>
	CKD. BY:	M.R.P.	"	
	APPR. BY:	M.R.P.	"	



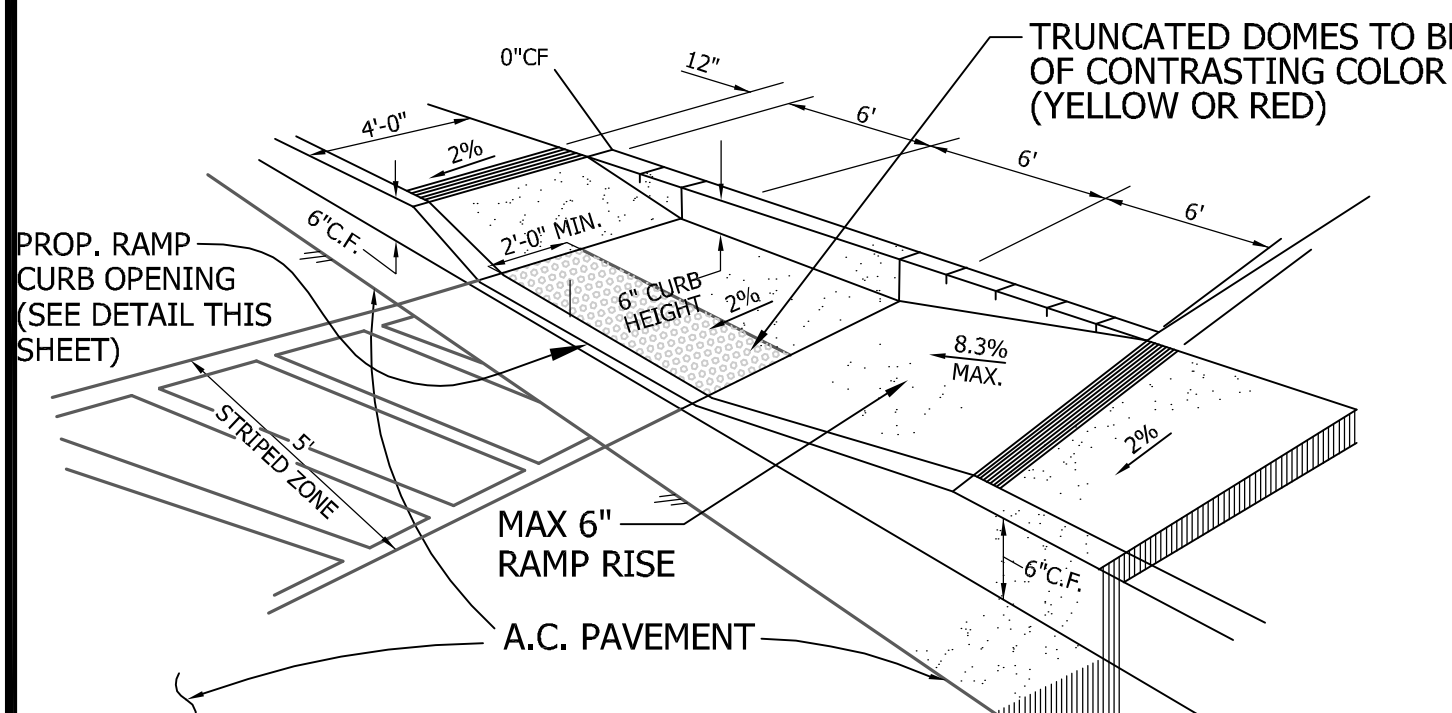
SIDEWALK RAMP "TYPE A"



SIDEWALK RAMP "TYPE B"



SIDEWALK RAMP "TYPE C"

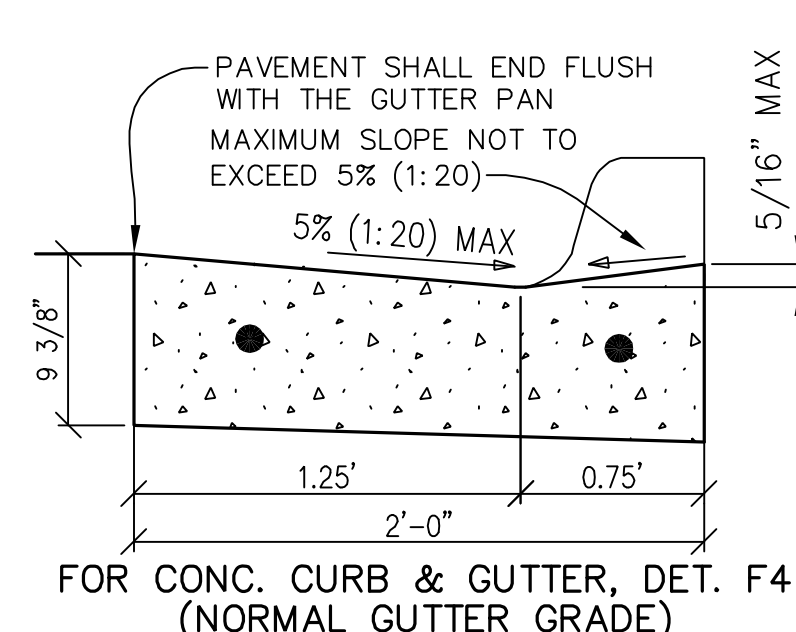


SIDEWALK RAMP "TYPE D"

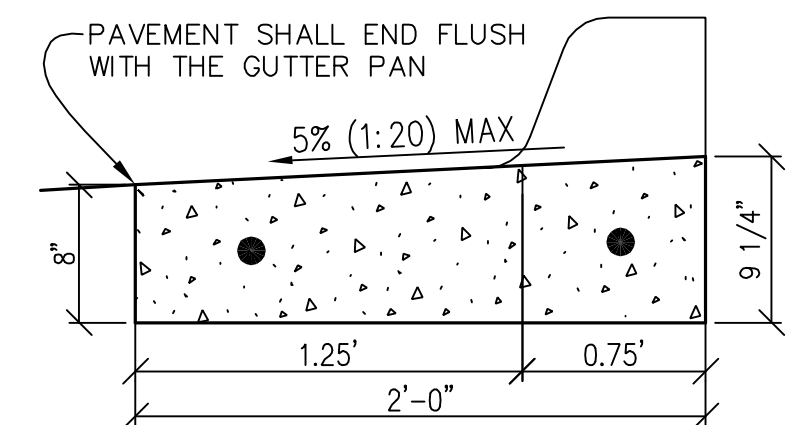
**ACCESS RAMP CONSTRUCTION NOTES**

- RAMP SHALL HAVE A 12" WIDE BORDER WITH 1/4" X 1/4" GROOVES @ 3/4" O.C.
- THE SURFACE OF THE RAMP SHALL HAVE A TRANSVERSE BROOMED SLIP-RESISTANT SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
- RAMP CONSTRUCTION SHALL COMPLY WITH ALL ADA AND ANY OTHER FEDERAL, STATE AND LOCAL CODES AND REGULATIONS.
- THE SIDEWALK RAMP CROSS SECTION SHALL BE A MINIMUM OF 4 INCHES OF 3500 PSI GRADE P1 CONCRETE ON A MINIMUM OF 4 INCHES OF CLASS II SAND SUBBASE, EXCEPT CONCRETE SHALL BE 8 INCHES THICK ADJACENT TO THE DRIVEWAY APPROACH OFF MARKETPLACE CIRCLE.
- THE TRUNCATED DOME PATTERN AND SPECIFICATION MUST CONFORM WITH THE ADA TEMPLATE & ALL ADA REQUIREMENTS. ARMORCAST WET SET CONCRETE POLYMER PANELS, BRICK RED COLOR OR APPROVED EQUAL. DOMES SHALL BE ALIGNED ON A SQUARE GRID IN THE PREDOMINANT DIRECTION OF TRAVEL TO PERMIT WHEELS TO ROLL BETWEEN DOMES. DOME PANELS SHALL EXTEND THE FULL WIDTH OF SIDEWALK OF RAMP SURFACE. ARMORCAST PRODUCTS COMPANY  
13230 SATICOY STREET  
NORTH HOLLYWOOD, CA. 91605  
INFO@ARMORCASTPROD.COM  
(818) 982-3600

**SIDEWALK RAMP DETAILS**



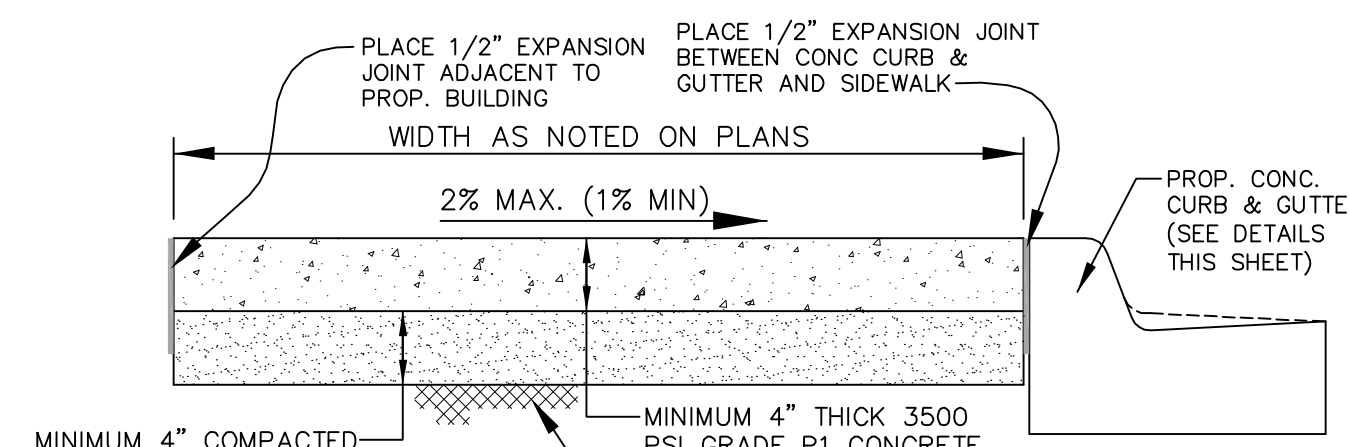
FOR CONC. CURB & GUTTER, DET. F4 (NORMAL GUTTER GRADE)



FOR CONC. CURB & GUTTER, DET. F4, MODIFIED (REVERSE GUTTER GRADE)

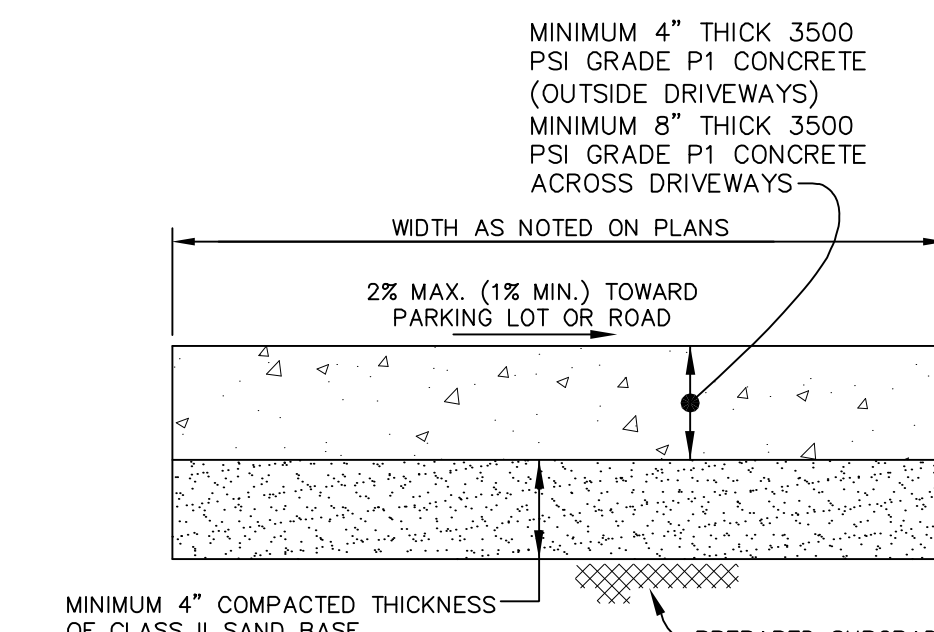
**DETAILS FOR SIDEWALK RAMP CONSTRUCTION AT CURB AND GUTTER OPENINGS**

NOTE: ALL SIDEWALK RAMP CONSTRUCTION MUST CONFORM TO MDOT STANDARD PLAN R-28-G.



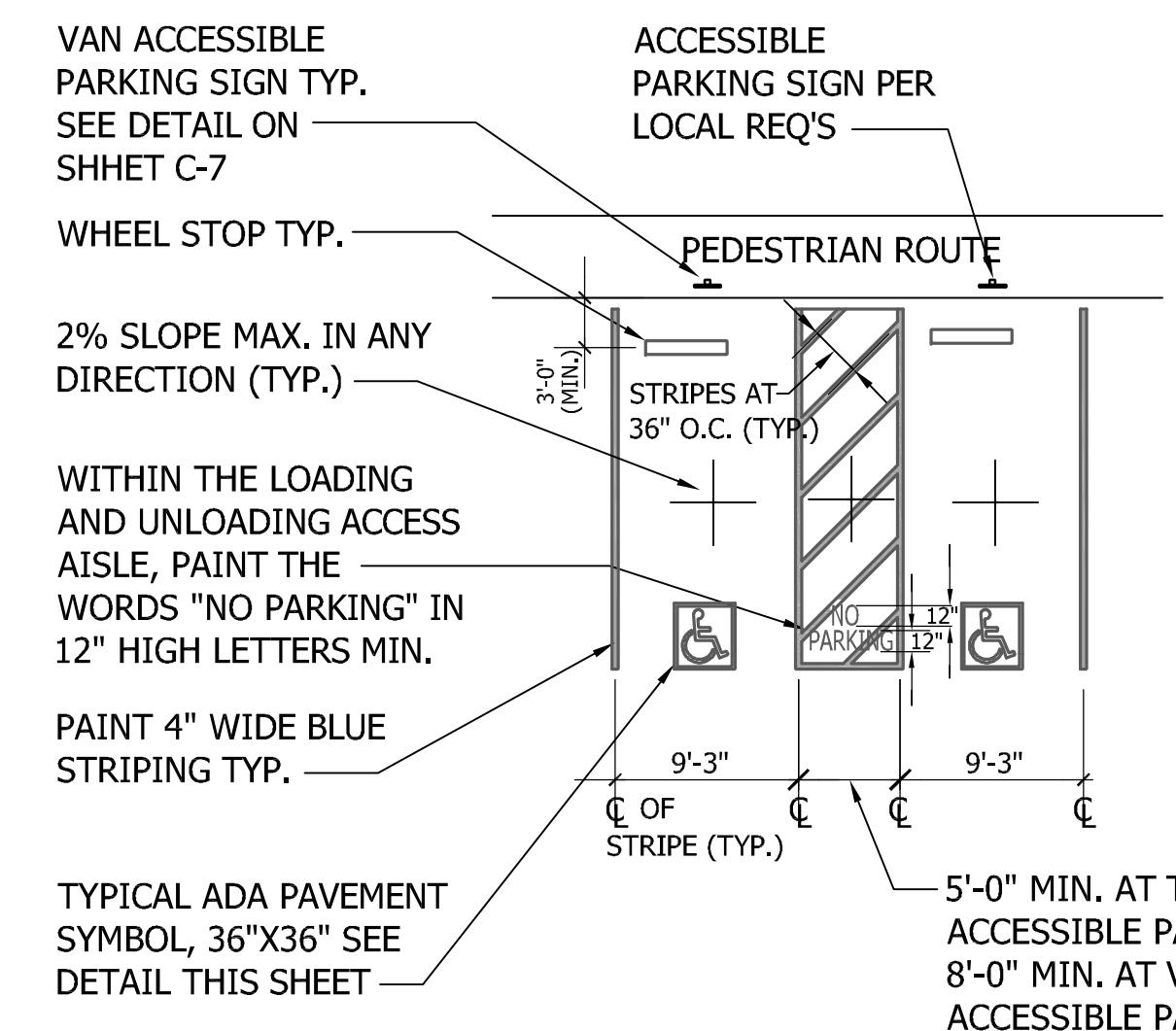
**SIDEWALK DETAIL ADJACENT TO CONC. CURB & GUTTER AND PARKING**

- NOTE:
- PLACE 1/2" EXPANSION JOINTS AT 50' MAXIMUM INTERVALS.
  - PLACE TRANSVERSE CUT CONSTRUCTION JOINTS AT 5' INTERVALS

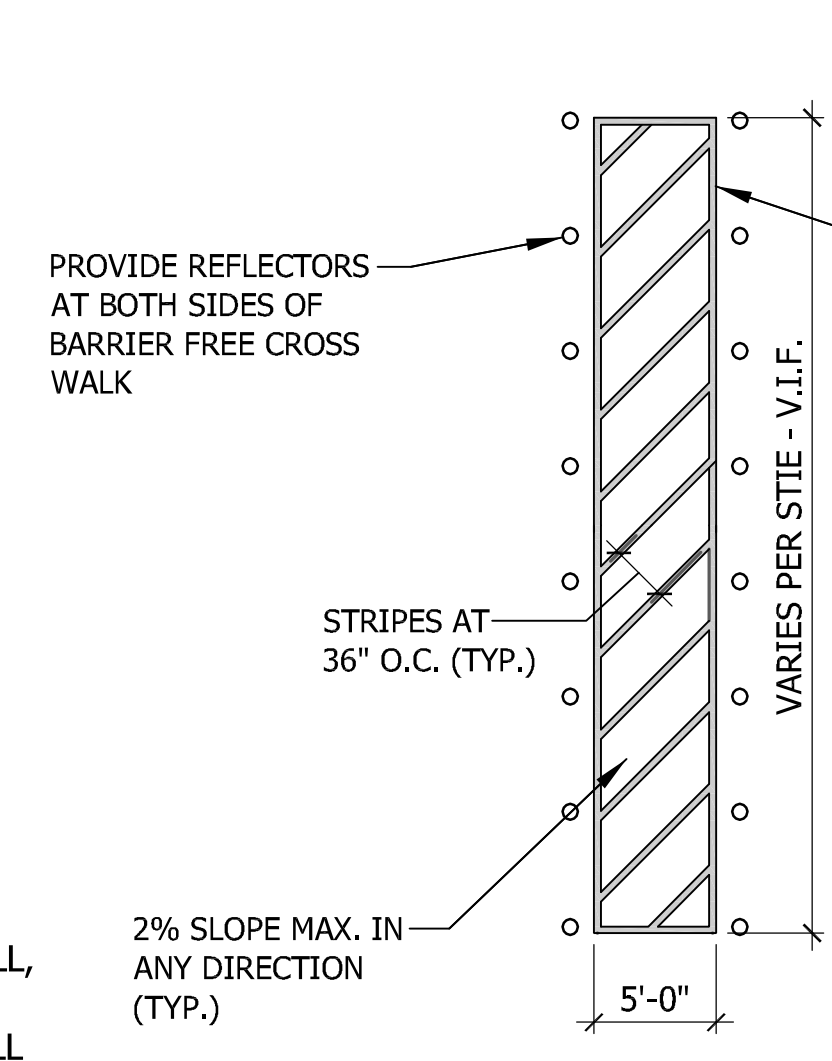


**CONCRETE SIDEWALK DETAIL**

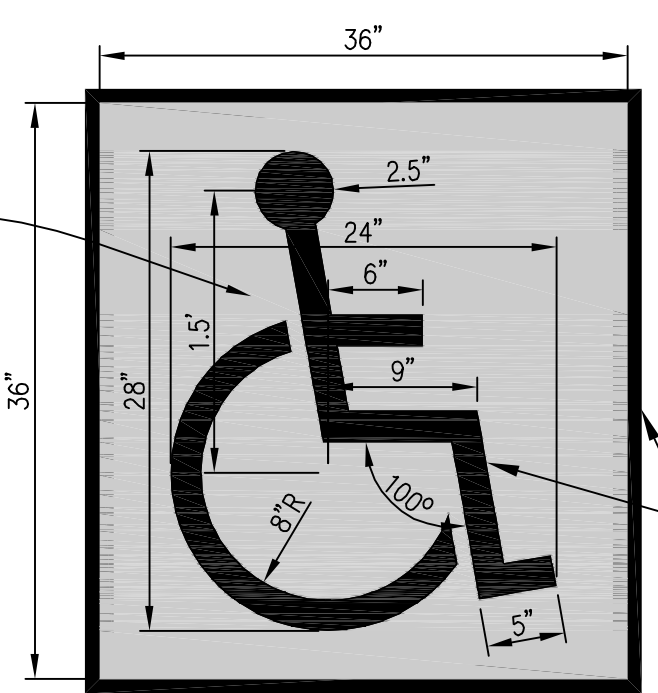
- NOTE:
- PLACE 1/2" EXPANSION JOINTS AT 50' MAXIMUM INTERVALS.
  - PLACE TRANSVERSE CUT CONSTRUCTION JOINTS AT 5' INTERVALS



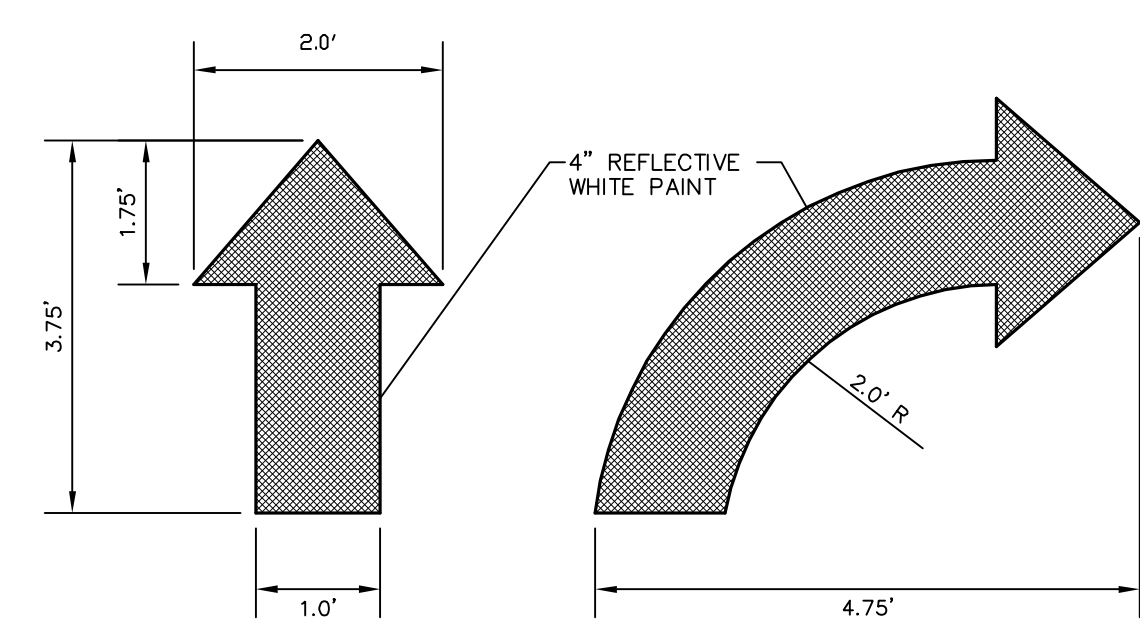
**ADA PARKING SPACE PAVEMENT MARKING LAYOUT DETAIL**



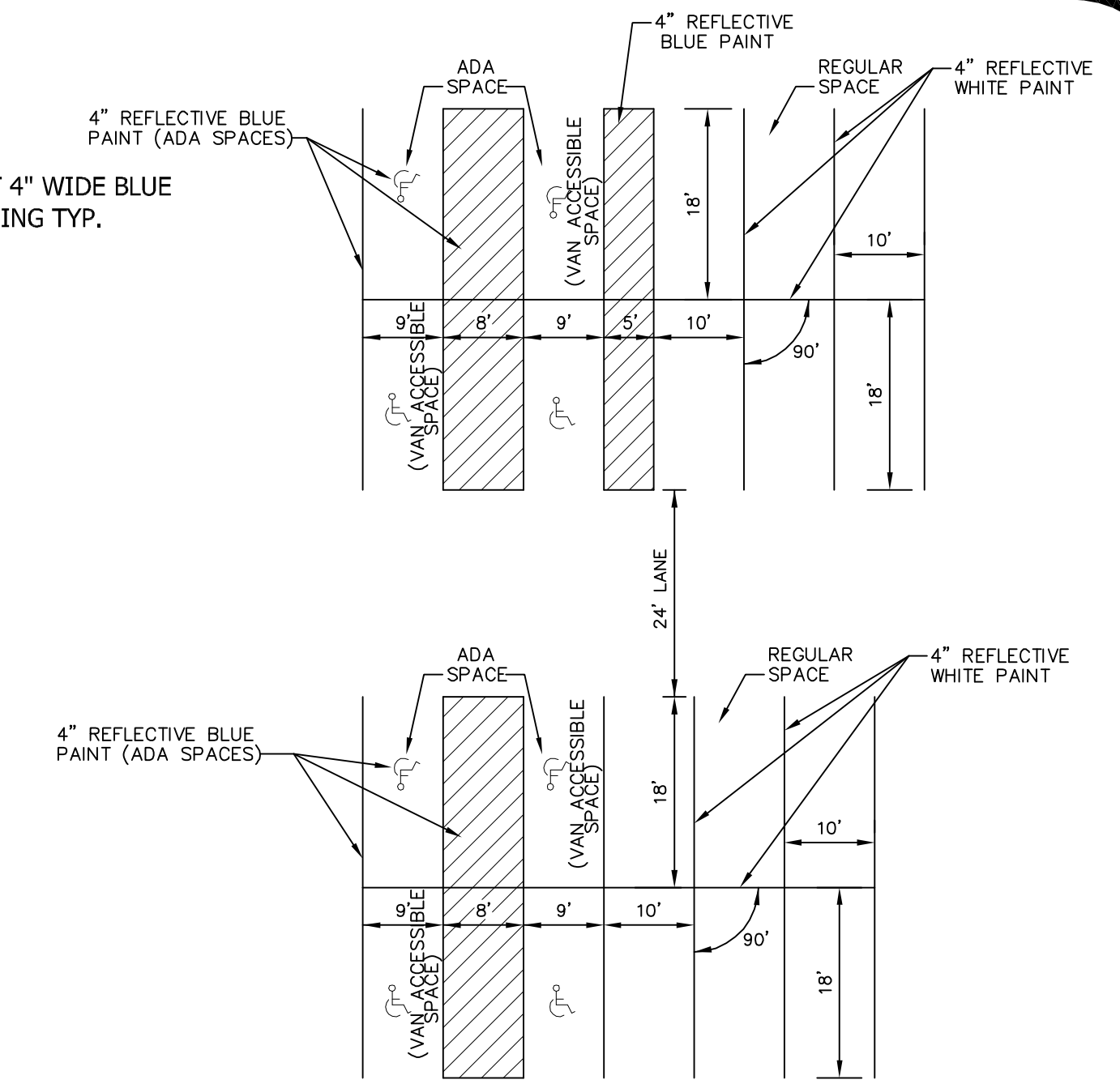
TYPICAL ADA PAVEMENT SYMBOL, 36"X36" SEE DETAIL THIS SHEET



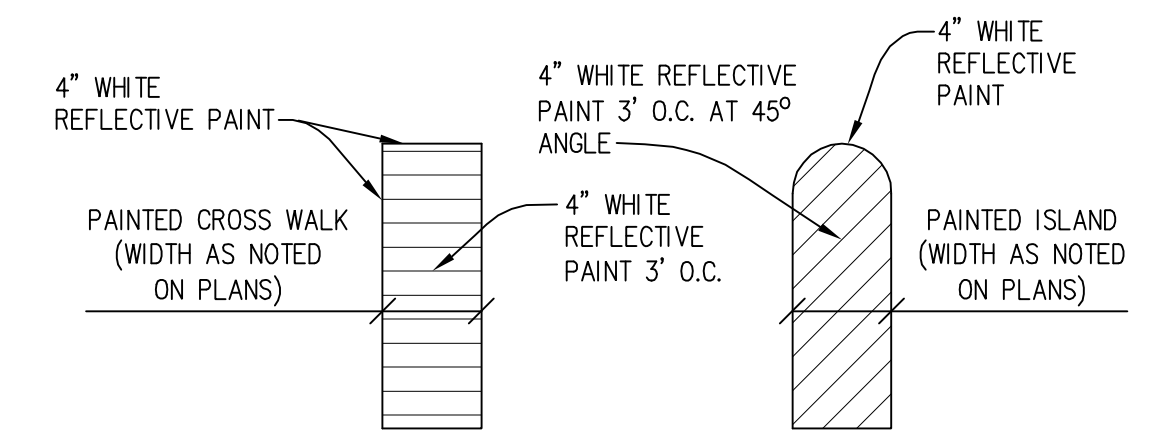
ADA PARKING SYMBOL  
TYPICAL @ ALL BARRIER FREE STALLS



TRAFFIC FLOW ARROW DETAIL  
(NO SCALE)



TYPICAL STRIPING DETAILS FOR PARKING  
(NO SCALE)



PAINTED ISLAND & CROSSWALK DETAIL  
(NO SCALE)

**WHEEL-STOP SPECIFICATIONS**

- Description: Parking Curb for parking lot stalls
- Manufacturer: Encore Commercial Products, Inc. <http://www.postguard.com/home.php>
- Product Name: Park It Parking Curbs
- Size: 6'0"
- Color Name: Black
- Reflect Guard: Yellow
- Material: 100% Recycled Rubber
- Location: Site Parking Area
- Components
  - 1/2" x 14" L Rebar Spikes for Asphalt
  - 1/2" x 5/8" lag bolts (6" long). Lag bolts with metal shields for concrete
  - Qty: 4 per 6'0" curb

**Contacts:**

- Customer Service:
  - 24370 Northwestern Highway, Suite 250 Southfield, MI 48075
  - 1-866-737-8900 or 248-354-4090

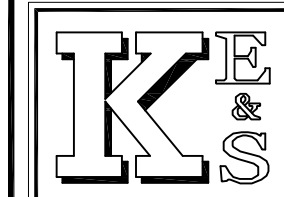
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**MISCELLANEOUS DETAILS**

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