

# SITE PLAN DRAWING PACKAGE FOR "ZEENAT PLAZA" AT: LOTS 1545-1548 OF "SUPERVISOR'S PLAT OF BROOKLANDS PARK NO.4" (COMMONLY KNOWN AS VACANT E. AUBURN ROAD)

**OWNER / APPLICANT:**

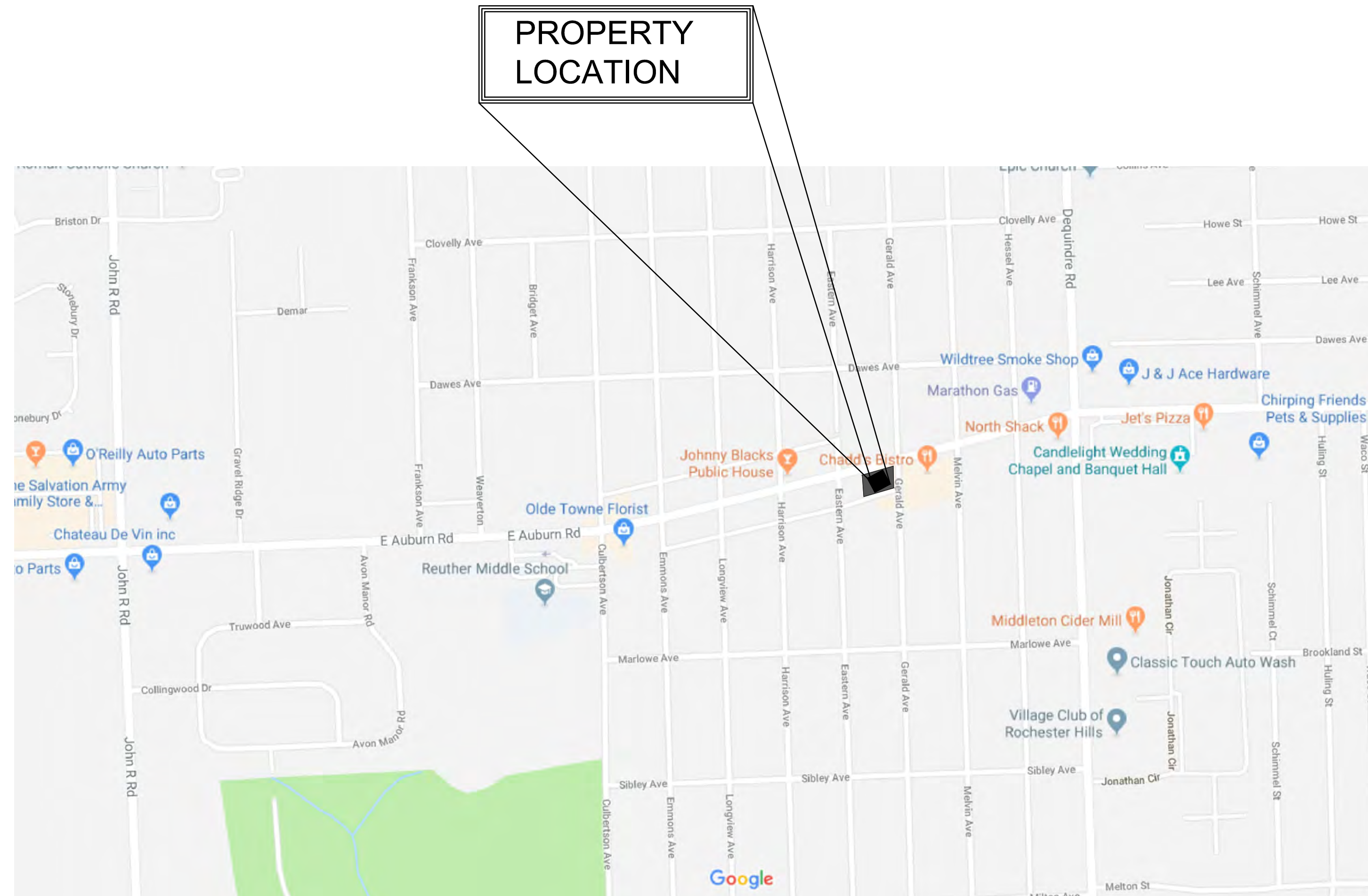
CONTACT : IFTEQUAR FAZAL  
 ADDRESS : 650 ROBINSON DRIVE  
 ROCHESTER HILLS, MI 48307  
 PHONE : CELL = 248-390-5807  
 E-MAIL : iftequarfazal@hotmail.com

**ARCHITECT:**

COMPANY : TURK ARCHITECTS  
 CONTACT : HISHAM TURK, AIA, LEED AP  
 ADDRESS : 6340 PEACOCK DRIVE  
 TROY, MI 48085  
 PHONE : O = 248-291-5168  
 C = 248-521-0961  
 E-MAIL : turkarchitects@gmail.com

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<b>COVER SHEET</b>	
	<b>CS-00</b>
<b>ZEENAT PLAZA</b>	
<b>CITY FILE #20-022, SECTION 36</b>	
LOT # 1545 - 1548 AUBURN ROAD ROCHESTER HILLS, MI 48307	
<b>18007</b>	

**Turk Architects**  
 Architects Planners Engineers

6340 PEACOCK DRIVE  
 TROY, MI 48085  
 T: 248-291-5168 (O)  
 248-521-0961 (C)  
 E: turkarchitects@gmail.com

STATE OF MICHIGAN  
 HISHAM AL TURK  
 ARCHITECT  
 No. 1301052206  
 (Professional Seal)

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# TOPOGRAPHICAL SURVEY

LEGAL DESCRIPTION:  
 LOTS 1545 - 1548 OF "SUPERVISOR'S PLAT OF BROOKLANDS PARK NO.4" A SUBDIVISION OF PART OF THE EAST 1/2 OF NORTHEAST 1/4 OF SECTION 36, T.3N., R.11E., CITY OF ROCHESTER HILLS, OAKLAND COUNTY MICHIGAN AS RECORDED IN LIBER 28 OF PLATS, PAGE 49, OAKLAND COUNTY RECORDS.

ADDRESS:(COMMONLY KNOWN AS VACANT E. AUBURN ROAD)

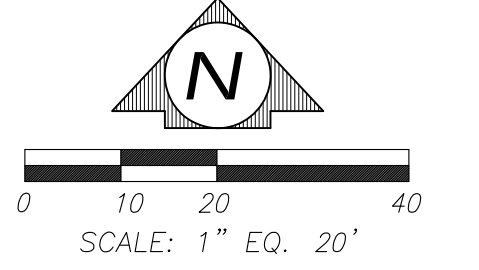
SIDWELL: 15-36-226-003, 15-36-226-004 & 15-36-226-005

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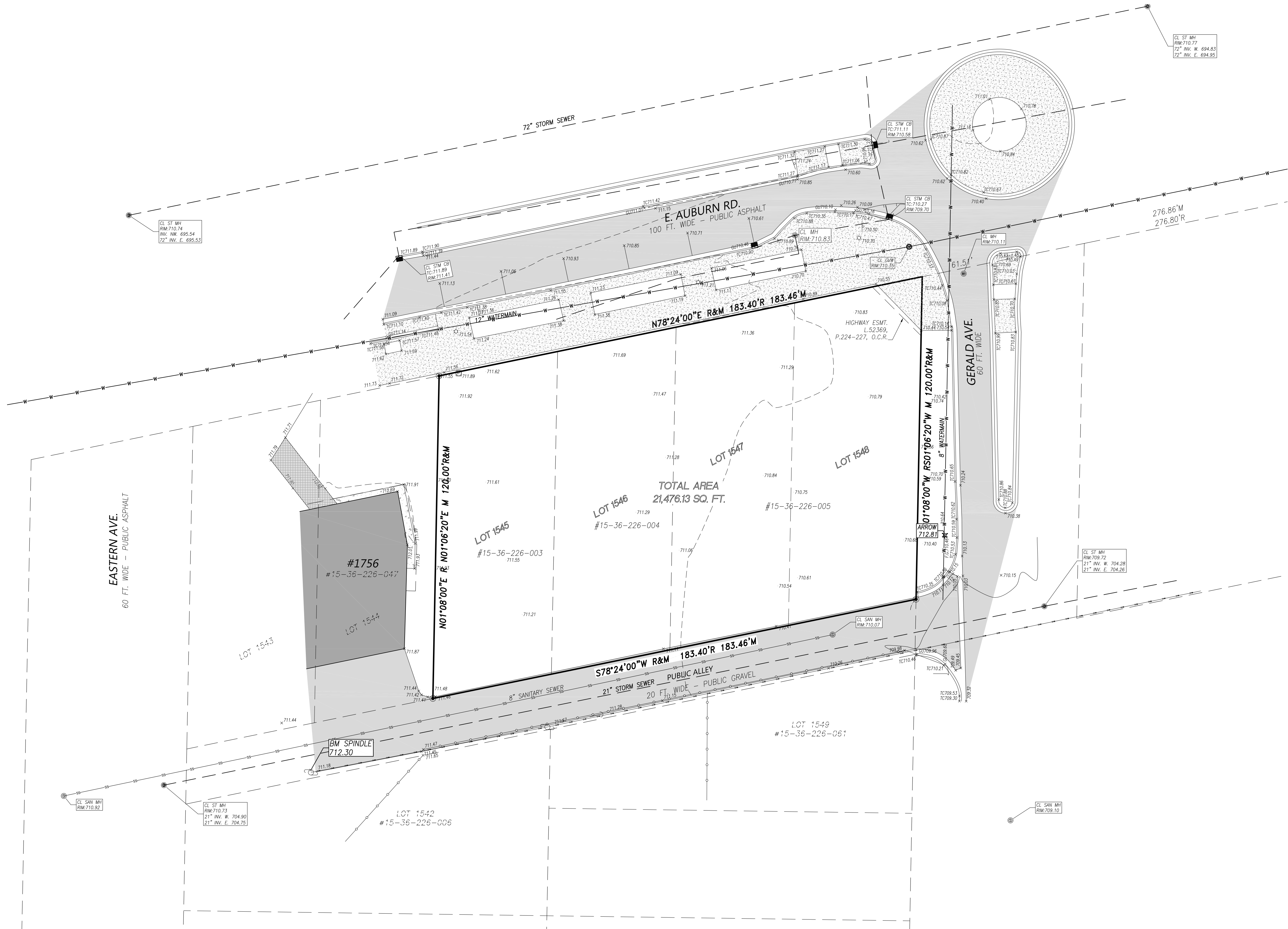
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### LEGEND:

- FOUND IRON
- SET IRON
- R RECORD DISTANCE
- M MEASURED DISTANCE
- ▨ EXISTING GRAVEL
- ▩ EXISTING BUILDING
- ▧ EXISTING CONCRETE
- ▦ EXISTING ASPHALT
- ▤ EXISTING LANDSCAPED AREA
- - - EXISTING STORM SEWER
- - - EXISTING SANITARY SEWER
- - - EXISTING WATERMAIN
- - - EXISTING OVERHEAD WIRES
- - - EXISTING FENCE
- ⊕ EXISTING UTILITY POLE
- ⊖ EXISTING WATER SHUT OFF
- ⊗ EXISTING GATE VALVE
- ⊙ EXISTING HYDRANT
- ⊚ EXISTING WELL
- ⊛ EXISTING GAS SHUT OFF
- ⊜ EXISTING SANITARY STRUCTURE
- ⊝ EXISTING STORM STRUCTURE
- ⊞ EXISTING DOWN SPOUT
- ⊟ EXISTING UTILITY PEDESTAL
- x 655.00 EXISTING GRADE

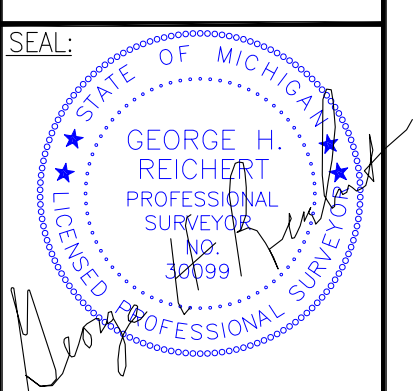


**BENCHMARK:**  
 SITE BM: ARROW ON HYDRANT LOCATED AT THE SOUTHEAST CORNER OF SITE.  
 ELEVATION: 712.81 NAVD 88 DATUM  
 SITE BM: SPINDLE IN NORTH FACE OF UTILITY POLE; LOCATED AT THE SOUTHWEST CORNER OF SITE, SOUTH OF THE ALLEY.  
 ELEVATION: 712.30 NAVD 88 DATUM  
 JOB BM:  
 NGS BRASS DISC SET IN CONCRETE MONUMENT (90648), 104' SOUTH OF C. OF JONATHON CIRCLE AND 27.4 FEET SOUTHWEST OF A FIRE HYDRANT.  
 ELEV. 696.40 NAVD 88

**REICHERT SURVEYING INC.**  
 P 248.651.0592  
 F 248.656.7099  
 Mail@ReichertSurveying.com  
 140 Flumerfelt Lane  
 Rochester, MI 48306

**TOPOGRAPHICAL SURVEY**  
 LOTS 1545 - 1548 OF "SUPERVISOR'S PLAT OF BROOKLANDS PARK NO.4" A SUBDIVISION OF PART OF THE EAST 1/2 OF NORTHEAST 1/4 OF SECTION 36, T.3N., R.11E., CITY OF ROCHESTER HILLS, OAKLAND COUNTY MICHIGAN AS RECORDED IN LIBER 28 OF PLATS, PAGE 49, OAKLAND COUNTY RECORDS.  
 ADDRESS:(COMMONLY KNOWN AS VACANT E. AUBURN ROAD)  
 SIDWELL: 15-36-226-003, 15-36-226-004 & 15-36-226-005

PREPARED FOR:  
**IFTEQUAR FAZAL**  
 2780 STONEBURY DR.  
 ROCHESTER HILLS, MI 48307  
 (248) 875-3134



NO.	DATE	DESCRIPTION	BY
1	12/10/20	REV. ROW	BGR
SCALE: 1"=20'		DRAWN: B.G.R.	
DATE: 11/10/18		CHECK: G.H.R.	
JOB # 14-090		SHEET: 1 OF 1	

SITE DATA		
ZONING & PROPERTY AREA:		
ZONING	C-1 (COMMERCIAL IMPROVEMENT) DISTRICT AS AMENDED WITH THE NEW BD (BROOKLANDS) DISTRICT.	
TOTAL SITE AREA	= 21476 S.F. (0.493 ACRES)	
BUILDING DATA		
USE GROUP	MIXED USE, NON-SEPARATED	
	ALLOWED (MBC-2015)	PROPOSED
FIRST FLOOR AREA B (BUSINESS USE GROUP)	27,000 S.F. (MAXIMUM)	GROSS FLOOR AREA = 8387 G.S.F. NET BUSINESS SPACE AREA = 7050 S.F.
SECOND FLOOR AREA R-2 (RESIDENTIAL) 6 UNITS: 5 (2 BEDROOM) 1 (3 BEDROOM)	21,000 S.F. (MAXIMUM)	GROSS FLOOR AREA = 12646 G.S.F.
THIRD FLOOR AREA R-2 (RESIDENTIAL) 4 UNITS: 4 (3 BEDROOM)	21,000 S.F. (MAXIMUM)	GROSS FLOOR AREA = 8775 G.S.F.
BUILDING HEIGHT	3 STORIES (MAXIMUM) 60 FEET (MAXIMUM)	3 STORIES 45 FEET
TOTAL GROSS FLOOR AREA = 29,808 G.S.F.		
TYPE OF CONSTRUCTION : V-B (ALL FLOORS SHALL BE EQUIPPED THROUGHOUT WITH AN NFPA 13 AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.1.1, MBC 2015)		
BUILDING AREA, PLACEMENT, HEIGHT AND TYPOLOGY (REQUIREMENTS BY CITY OF ROCHESTER HILLS ZONING ORDINANCE)		
STANDARD	REQUIREMENT (ZONING)	PROPOSED
BUILDING HEIGHT	3 STORIES (MAXIMUM)/ 45 FEET (MAXIMUM)	3 STORIES / 45 FEET THIRD STORY STEPPED BACK 10 FEET ON THE FRONT AND REAR FACADE
LOT COVERAGE	80% OF THE LOT (MAXIMUM)	60% OF THE LOT
FRONT SETBACK	0 FEET (MIN.) / 10 FEET (MAX.)	0 FEET
MIN. SIDE SETBACK	0 FEET	0 FEET
REAR SETBACK (ABUTTING AN ALLEY)	10 FEET (MINIMUM)	49 FEET
PRIMARY STREET FACADE ABUTTING BUILD-TO-LINE	SHALL OCCUPY MIN. 80% OF PARCEL WIDTH	OCCUPY 100% OF PARCEL WIDTH
SIDE STREET FACADE ABUTTING BUILD-TO-LINE	SHALL OCCUPY MIN. 50% OF PARCEL DEPTH	OCCUPY 57% OF PARCEL DEPTH
BUILDING DEPTH ALONG REQUIRED BUILD-TO-LINE	20 FEET (MINIMUM)	45.75 FEET
BALCONIES AND BAY WINDOWS:		
ENCROACHMENT OVER BUILD-TO-LINE	4 FEET (MAXIMUM)	4 FEET
VERTICAL CLEARANCE ABOVE THE SIDE WALK	15 FEET (MINIMUM)	15 FEET
MIN. FACADE TRANSPARENCY:		
FIRST FLOOR, NON-RESIDENTIAL USE	70%	85.7% (SEE SHEET A-05 FOR DETAILS)
UPPER FLOOR, RESIDENTIAL USE	20%	SECOND FLOOR = 34% THIRD FLOOR = 27% (SEE SHEET A-05 FOR DETAILS)
BUILDING MATERIALS:		
PRIMARY MATERIALS	60% MIN.	65% (SEE SHEET A-05 FOR DETAILS)
ACCENT MATERIALS	40% MAX.	35% (SEE SHEET A-05 FOR DETAILS)
FIRST FLOOR CEILING HEIGHTS	14 FEET MINIMUM	14 FEET

**PARKING CALCULATIONS**

REQUIRED PARKING FOR RETAIL:  
TOTAL RETAIL SPACE AREA / 400 = 7103 / 400 = 17.76 = 18 (PS)  
REQUIRED PARKING AFTER 20% REDUCTION FOR NEARBY  
PUBLIC PARKING = 18 x  $\frac{80}{100}$  = 14.4 = 15 (PS)

REQUIRED PARKING FOR 10 RES. UNITS (2 OR MORE BEDROOMS):  
(NUMBER OF UNITS x 1.5) + (NUMBER OF UNITS / 3) = (10 x 1.5) + ( $\frac{10}{3}$ ) = 19 (PS)

**RESIDENTS ONLY**

REQUIRED TOTAL PARKING SPACES = 34 (PS)

NUMBER OF PARALLEL PARKING PROVIDED ON AUBURN ROAD = 5 (PS)  
REQUIRED TOTAL OFF STREET PARKING SPACES = 34 - 5 = 29 (PS)

PROVIDED TOTAL OFF STREET PARKING SPACES = 29 (PS)  
INCLUDING 2 ADA ACCESSIBLE PARKING SPACES

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**PROPOSED SITE PLAN**

**SP-01**

**ZEENAT PLAZA**  
CITY FILE #20-022, SECTION 36

LOT # 1545 - 1548 AUBURN ROAD  
ROCHESTER HILLS, MI 48307

**18007**

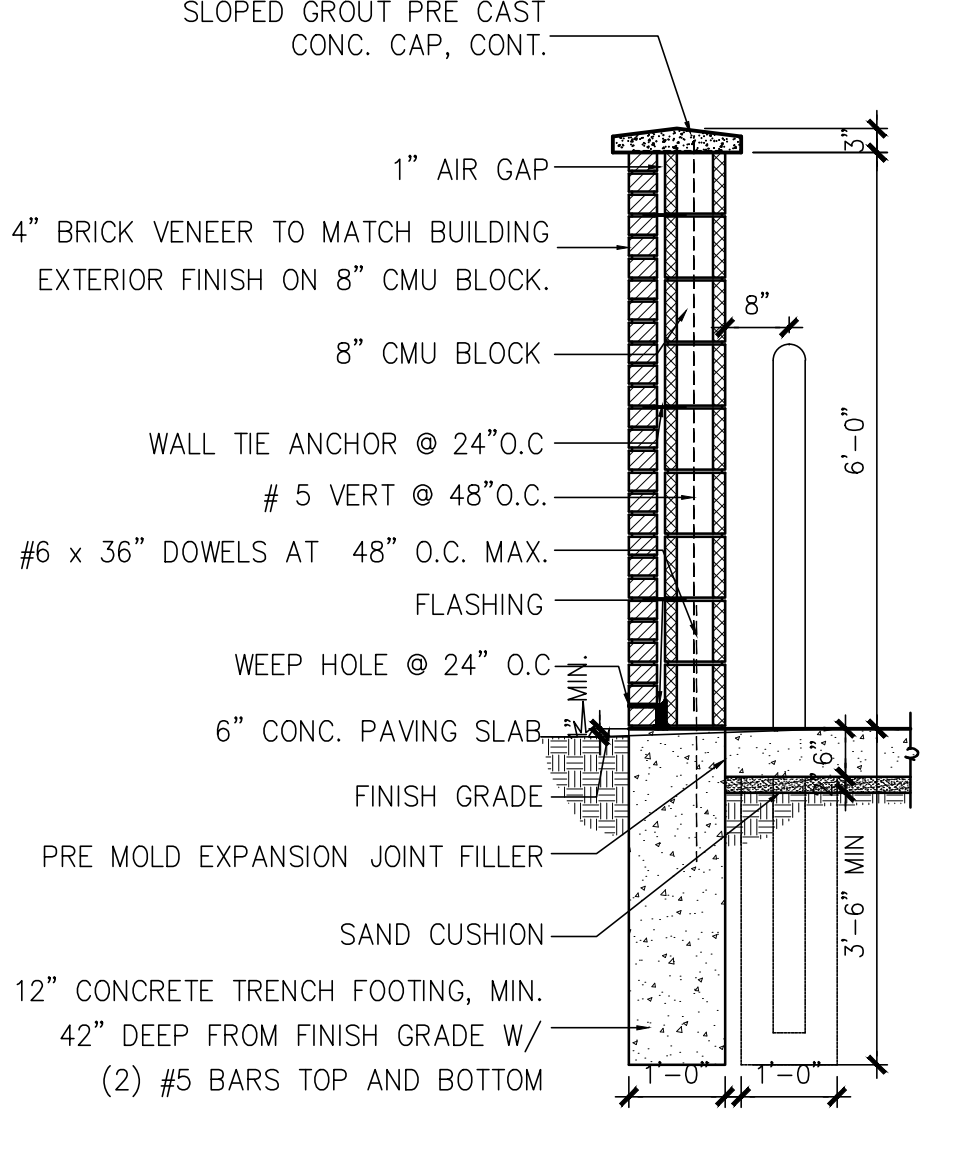
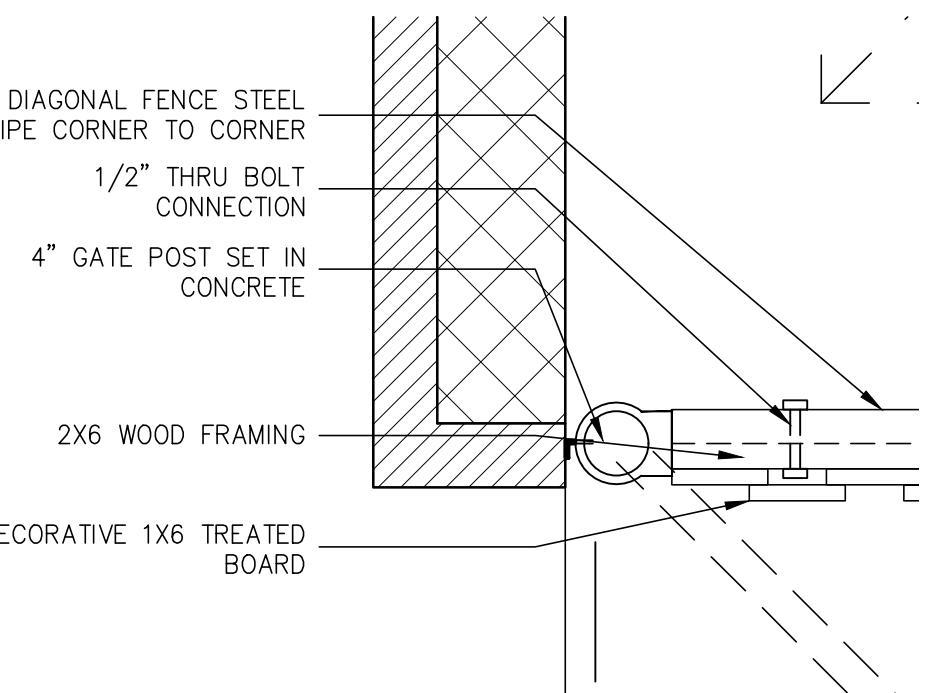
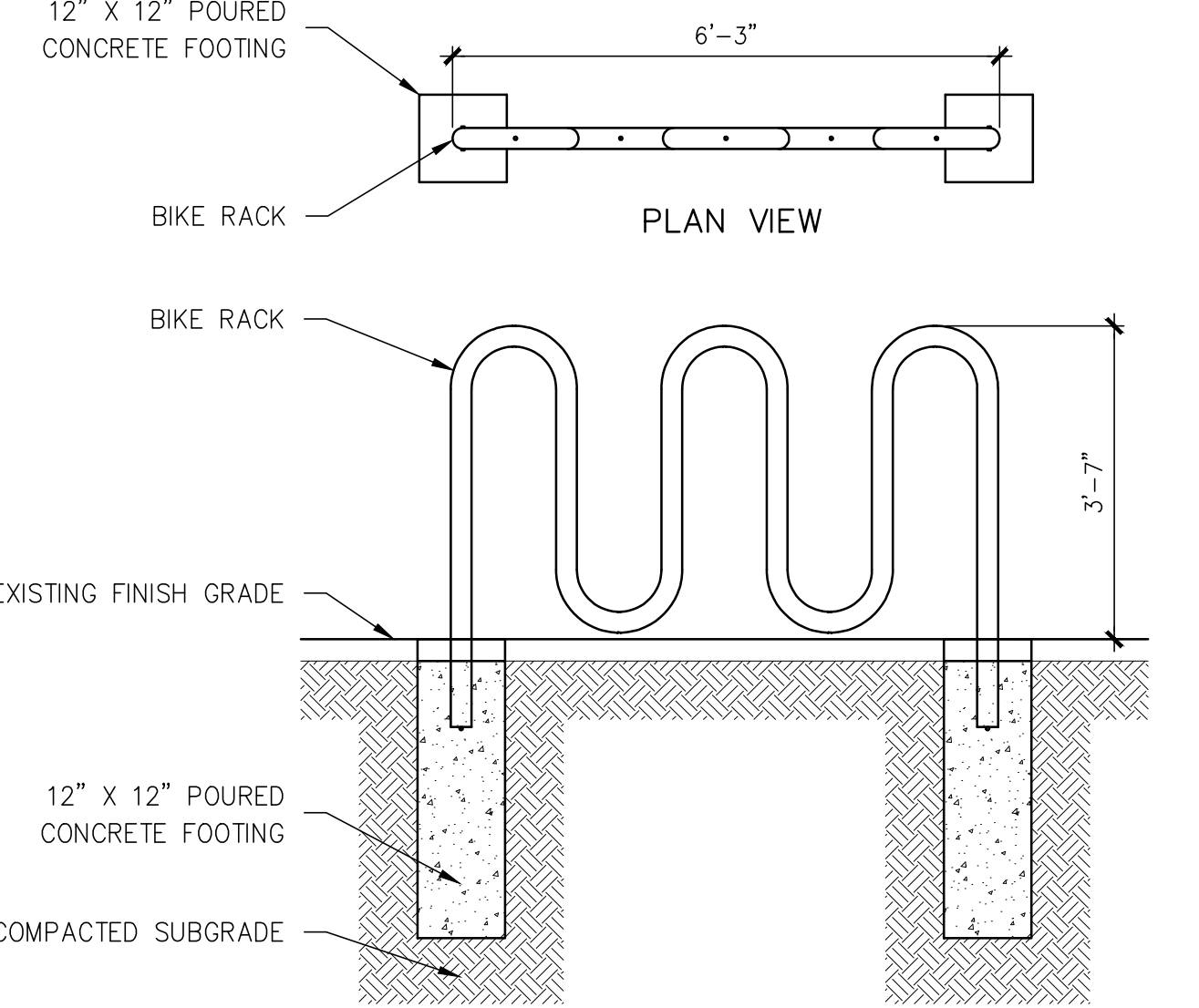
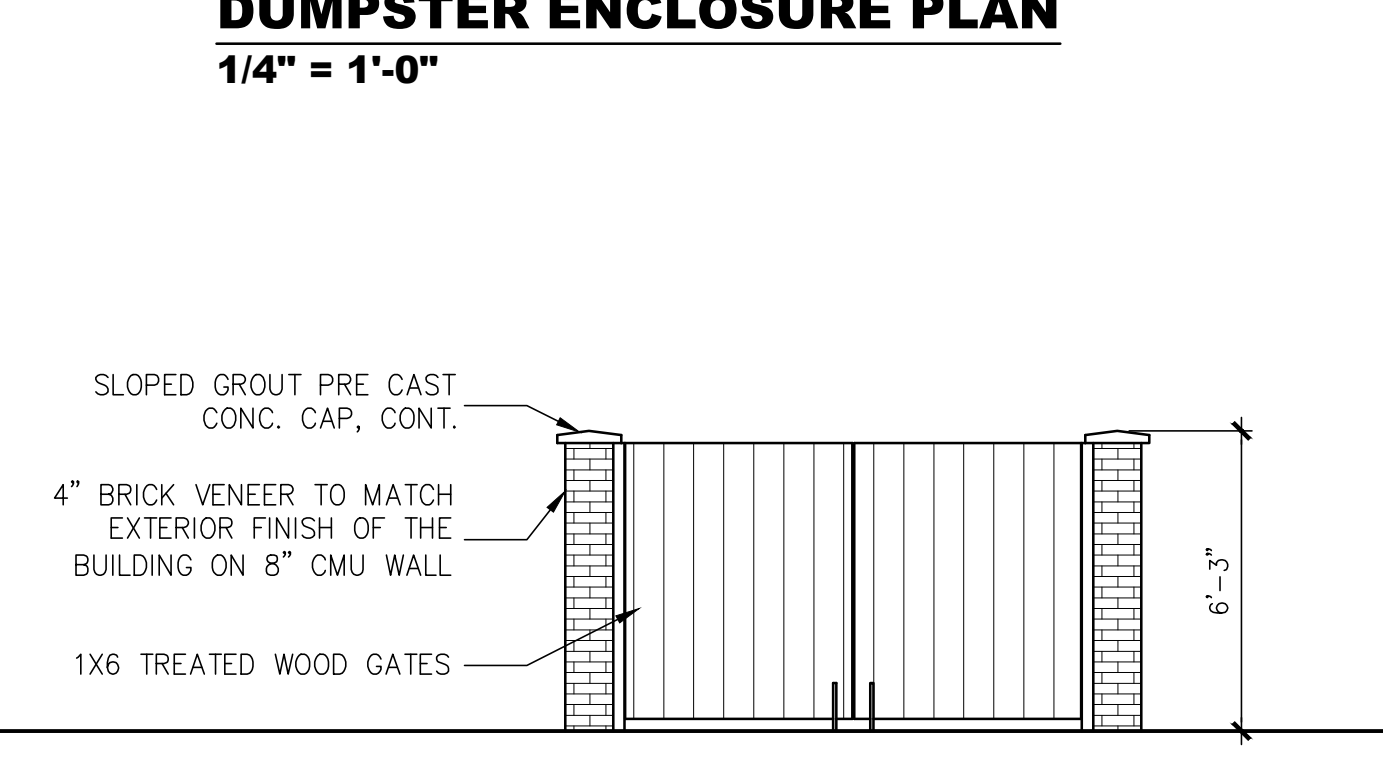
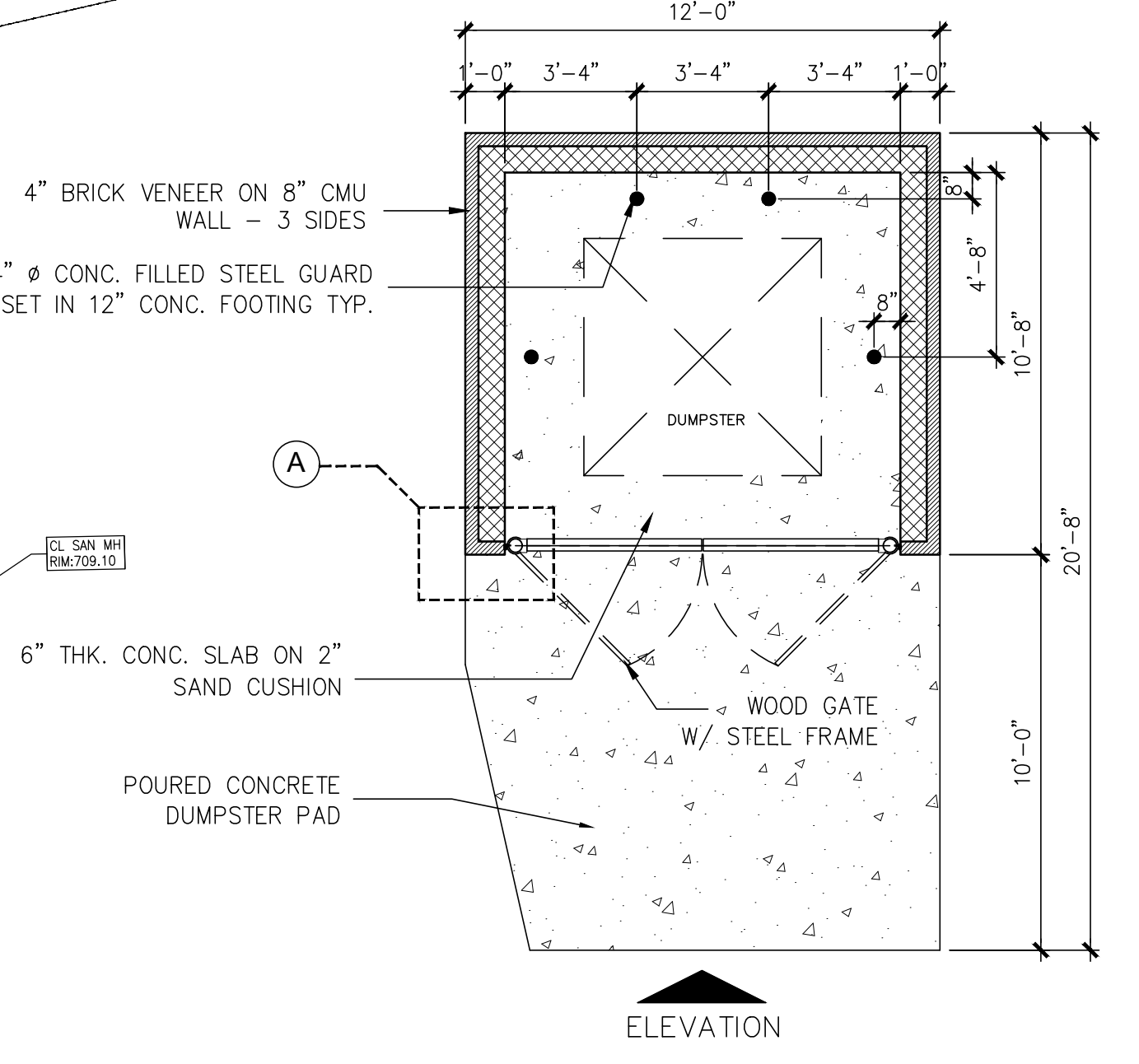
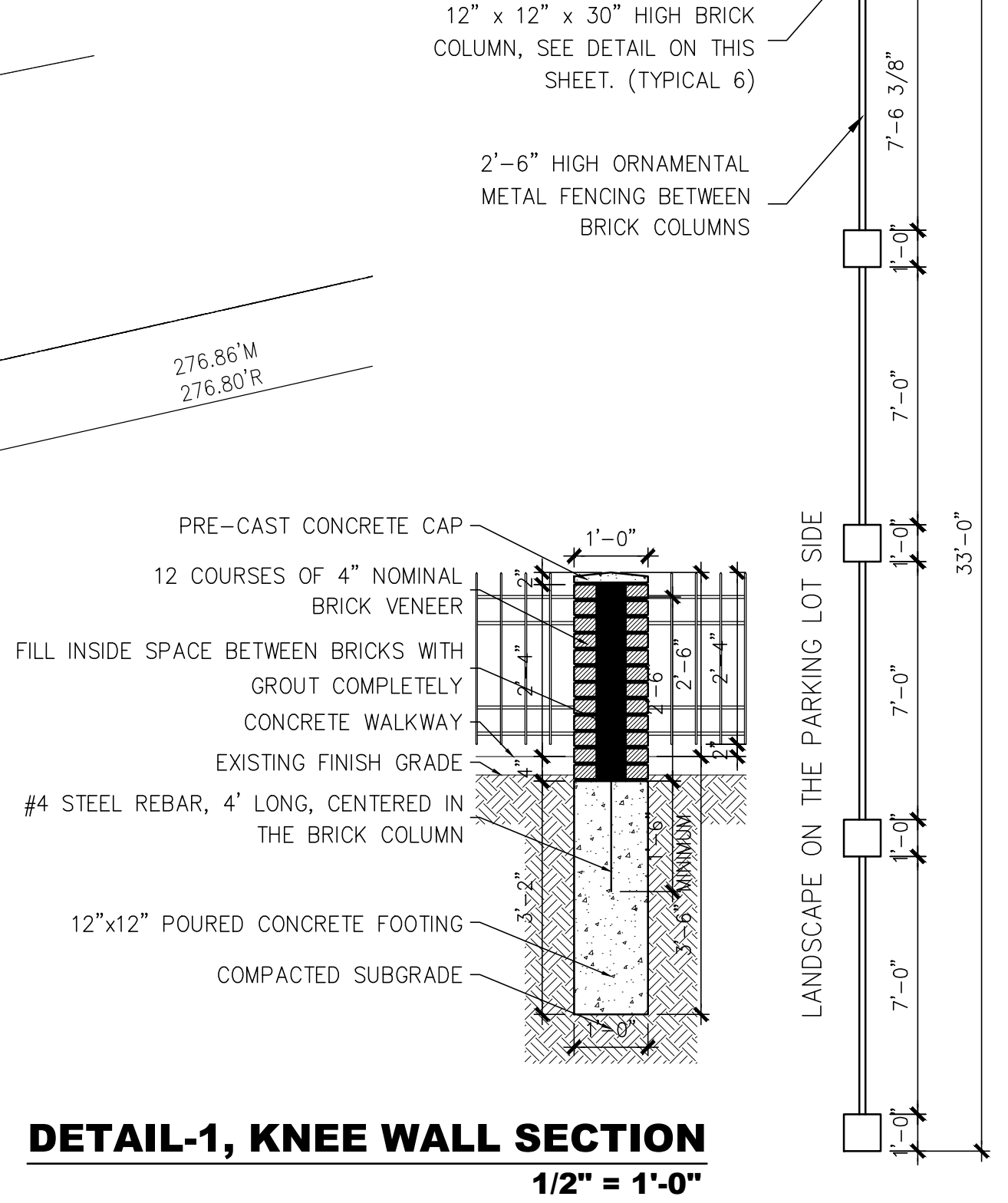
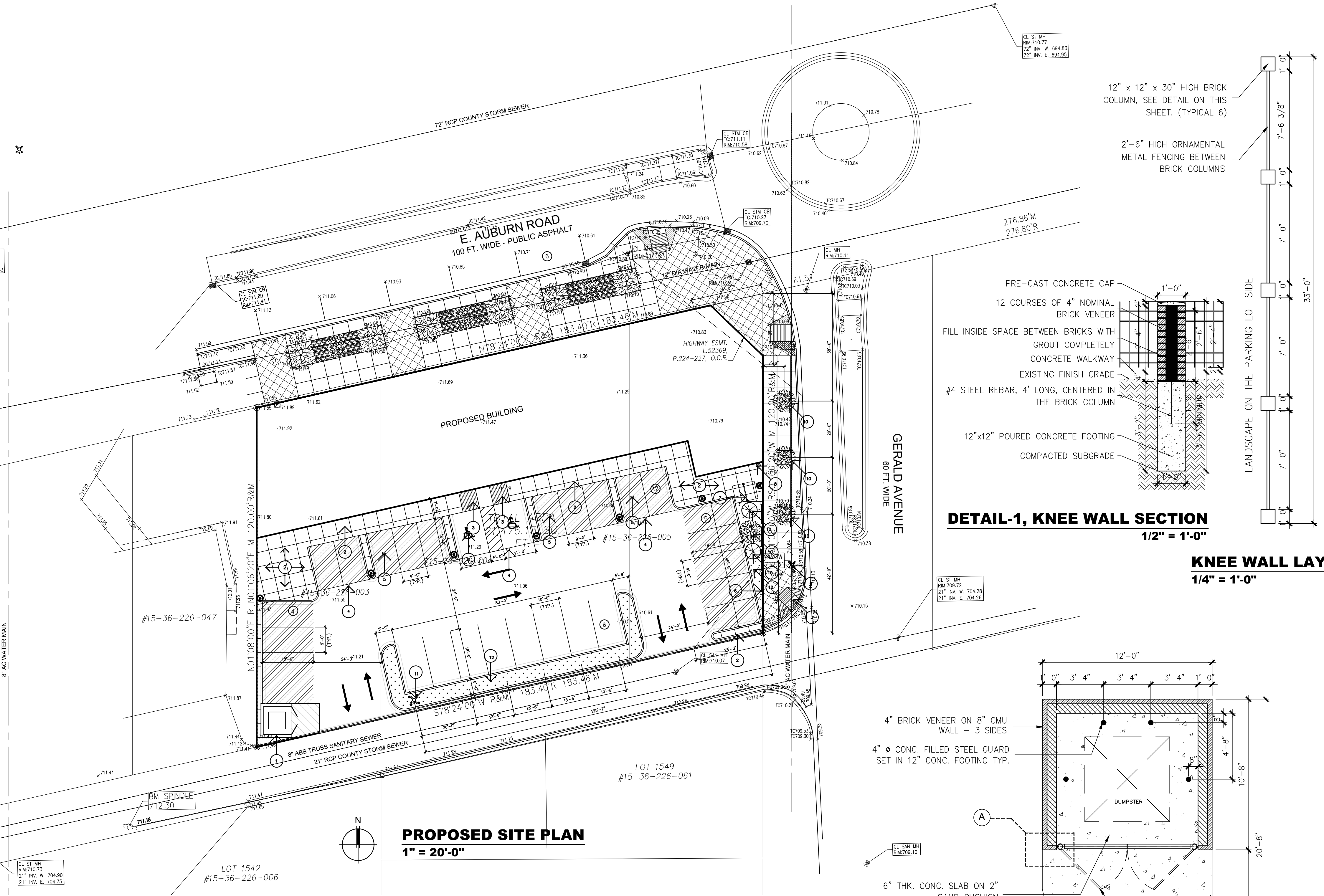
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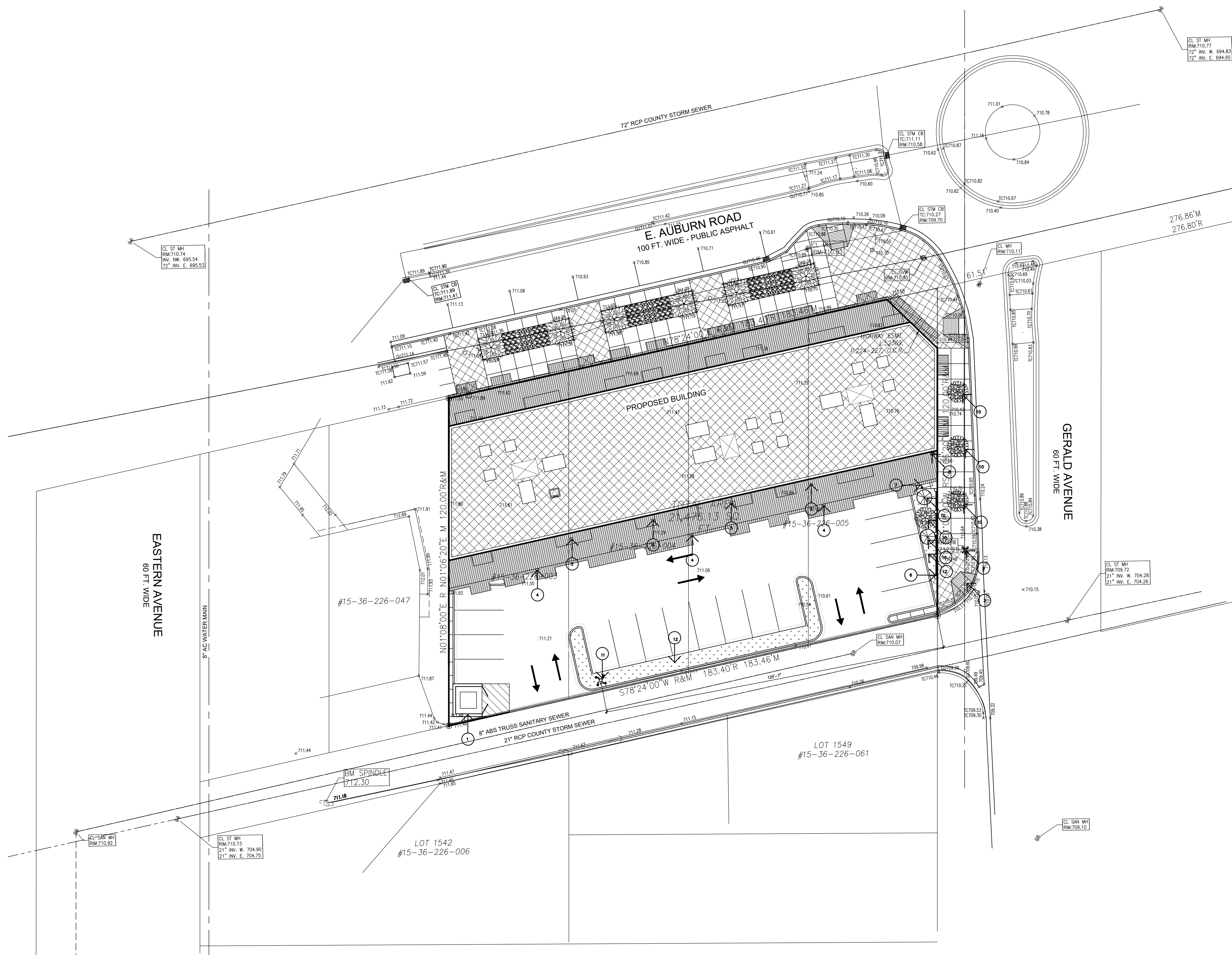
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STATE OF MICHIGAN  
HISHAM AL TURK  
ARCHITECT  
No. 1301052206  
1/05/2021

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**PROPOSED SITE PLAN + ROOF PLAN**  
 1" = 20'-0"

BUILDING DATA		REFERENCE MICHIGAN BUILDING CODE - 2015 (MBC-2015)	
USE GROUP	MIXED USE, NON-SEPARATED		
	ALLOWED (MBC-2015)	PROPOSED	
FIRST FLOOR AREA B (BUSINESS USE GROUP)	27,000 S.F. (MAXIMUM)	GROSS FLOOR AREA =	8387 G.S.F.
		NET BUSINESS SPACE AREA =	7050 S.F.
SECOND FLOOR AREA R-2 (RESIDENTIAL) 6 UNITS: 5 (2 BEDROOM) 1 (3 BEDROOM)	21,000 S.F. (MAXIMUM)	GROSS FLOOR AREA =	12646 G.S.F.
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BUILDING HEIGHT	3 STORIES (MAXIMUM) 60 FEET (MAXIMUM)	3 STORIES 45 FEET	
		TOTAL GROSS FLOOR AREA =	29,808 G.S.F.
TYPE OF CONSTRUCTION : V-B (ALL FLOORS SHALL BE EQUIPPED THROUGHOUT WITH AN NFPA 13 AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.1.1, MBC 2015)			

**ADDITIONAL CODE ANALYSIS:**

1. ACCESSIBLE RESIDENTIAL UNITS SHALL BE PROVIDED PER SECTION 1107, MBC-2015, AND SHALL COMPLY WITH A117.1 2009, SECTION 1004 FOR TYPE B UNITS.
2. BALCONY PROJECTIONS SHALL COMPLY WITH SECTION 705.2, 3202.3.3, MBC-2015.

**DRAWING NOTES:**

1. NEW TRASH ENCLOSURE SHALL BE AT LEAST 6' HIGH OR EQUAL TO THE HEIGHT OF THE RECEPTACLE ENCLOSED, WHICHEVER IS GREATER, AND SHALL BE CONSTRUCTED OF 8" CMU COVERED WITH 4" BRICK VENEER (BRICK TO MATCH THE BRICK OF THE PROPOSED BUILDING, HAVE SCREENED GATES AND BE PLACED UPON A MINIMUM 10' x 16' CONCRETE PAD THAT PROVIDES AN 8' WIDE APRON.
2. CONCRETE WALK WAY.
3. ACCESSIBLE CURB RAMP.
4. WALL MOUNTED LIGHT FIXTURE LOCATIONS MOUNTED AT HEIGHT OF 15 FEET.
5. CEILING MOUNTED LIGHT FIXTURE LOCATIONS MOUNTED AT HEIGHT OF 14 FEET.
6. 2.5 FEET HIGH KNEE WALL BRICK COLUMNS WITH ORNAMENTAL METAL FENCING ADJACENT TO GERALD AVE. SEE DETAIL-1 DRAWING THIS SHEET.
7. BIKE RACK, SEE DETAIL-2 DRAWING THIS SHEET.
8. FIRE DEPARTMENT CONNECTION.
9. EXISTING FIRE HYDRANT.
10. NEW TREE, REFER TO LP-1: LANDSCAPE PLANTING PLAN.
11. PROPOSED NEW FIRE HYDRANT WITH GUARD POSTS PER CITY DETAILS.
12. LANDSCAPE AREA, REFER TO SHEET LP-1: LANDSCAPE PLANTING PLAN

**FIRE DEPARTMENT NOTES:**

1. AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3, MICHIGAN BUILDING CODE - 2015, SHALL BE PROVIDED THROUGHOUT THE BUILDING.
2. A KNOX KEY SYSTEM SHALL BE INSTALLED IN A LOCATION APPROVED BY THE FIRE CODE OFFICIAL. ORDERING INFORMATION IS AVAILABLE FROM THE KNOX COMPANY AT knoxbox.com.
3. FIRE LANES SHALL BE DESIGNED BY THE FIRE CODE OFFICIAL, AND SHALL BE CONSPICUOUSLY POSTED ON BOTH SIDES OF THE FIRE LANE, WITH FIRE LANE SIGNS, SPACED NOT MORE THAN 100 FEET APART. FIRE LANE SIGNS SHALL READ "NO STOPPING, STANDING, PARKING, FIRE LANE", AND SHALL CONFORM TO THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. FIRE PREVENTION ORDINANCE CHAPTER 58, SEC. 503.
4. CONSTRUCTION SITES SHALL BE SAFEGUARDED IN ACCORDANCE WITH IFC 2006 CHAPTER 14
5. OPEN BURNING IS NOT PERMITTED, INCLUDING THE BURNING OF TRASH, DEBRIS OR LAND CLEARING MATERIALS. OPEN BURNING FOR WARMING OF SAND AND/OR WATER FOR PREPARATION OF MORTAR SHALL BE WITHIN CITY OF ROCHESTER HILLS BURN PERMIT GUIDELINES. CONTACT ROCHESTER HILLS FIRE DEPARTMENT FOR PERMIT INFORMATION. FIRE PREVENTION ORDINANCE CHAPTER 58, SECTION 307.6.2 & 307.6.2.3
6. FIRE DEPARTMENT CONNECTIONS SHALL NOT BE OBSCURED OR OBSTRUCTED BY LANDSCAPING, PARKING OR BY ANY OTHER PERMANENT OR TEMPORARY MATERIALS OR DEVICE.
7. IF FIRE DEPARTMENT CONNECTION IS NOT LOCATED ON THE STREET FRONT OF THE BUILDING, A WHITE/CLEAR STROBE LIGHT SHALL BE TIED INTO THE FIRE ALARM SYSTEM AND INSTALLED OVER THE FIRE DEPARTMENT CONNECTION.
8. PROVIDE A "NO PARKING FIRE DEPARTMENT CONNECTION" SIGN OVER THE FIRE DEPARTMENT CONNECTION.
9. CLASS I STANDPIPE SYSTEM SHALL BE INSTALLED IN THE STAIRWELLS OF THE PROPOSED BUILDING IN LIEU OF FIRE APPARATUS ACCESS.
10. A NEW FIRE HYDRANT SHALL BE INSTALLED AT THE SOUTH WEST SIDE OF THE PROPERTY. (REFER TO DRAWING NOTE 11 FOR LOCATION OF THE NEW FIRE HYDRANT)

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<b>PROPOSED SITE PLAN</b>	
	<b>SP-02</b>
<b>ZEENAT PLAZA</b>	
<b>CITY FILE #20-022, SECTION 36</b>	
LOT # 1545 - 1548 AUBURN ROAD ROCHESTER HILLS, MI 48307	
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STATE OF MICHIGAN  
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GENERAL NOTES

- 1. THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY ALL SITE CONDITIONS ILLUSTRATED TO BE DEMOLISHED AND IF THERE ARE QUESTIONS OR PERCEIVED REAL CONFLICTS REGARDING CONSTRUCTION DOCUMENTS COMPARED TO ACTUAL FIELD CONDITIONS, SAID CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD OR OWNER PRIOR TO BIDDING.
2. THE CONTRACTOR SHALL NOT INTERRUPT EXISTING UTILITIES DURING THE DEMOLITION. IF A UTILITY INTERRUPTION IS REQUIRED, THE CONTRACTOR SHALL COORDINATE THE INTERRUPTION WITH THE OWNER AND PROPER NOTIFICATIONS WILL BE ISSUED TO THE JURISDICTIONAL AGENCY. NOTIFICATIONS ARE THE RESPONSIBILITY OF THE CONTRACTOR.
3. THE CONTRACTOR SHALL RESTORE ANY STRUCTURES, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS, ETC. WITHIN ADJOINING PROPERTIES DISTURBED OR DAMAGED DURING CONSTRUCTION ACTIVITIES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE TO INSTALL AND MAINTAIN TRAFFIC CONTROL DEVICES FOR PROTECTION OF PEDESTRIANS AND VEHICULAR TRAFFIC. CONTROLS MAY CONSIST OF, BUT NOT BE LIMITED TO: FLAGGERS, DRUMS, BARRIERS, SIGNS, LIGHTS, AND FENCING. COST OF TRAFFIC CONTROL SHALL BE BORNE BY THE CONTRACTOR.
5. SITE UTILITIES ILLUSTRATED ON THE CONTRACT DRAWINGS ARE APPROXIMATE AND SHALL NOT BE CONSIDERED AS 100% ACCURATE. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION SHOWN THEREON. THE CONTRACTOR SHALL FIELD LOCATE DEPTH AND LOCATION OF ALL UTILITIES LOCATED WITHIN THE LIMITS OF SITE EXCAVATION. CONTRACTOR SHALL CALL MISS-DIG PRIOR TO EXCAVATING AND LOCAL UTILITIES SHALL BE MARKED OR CLEARED BY UTILITY OWNER PRIOR TO EXCAVATING.
6. THE MUNICIPALITY AND/OR JURISDICTIONAL AGENCY STANDARD DETAIL SHEETS ARE INCORPORATED AND MADE A PART OF THESE PLANS. ALL UTILITY LINE, STRUCTURES, AND TRENCHES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THESE STANDARDS AND ALL OTHER RELATED REQUIREMENTS.
7. NO PHYSICAL CONNECTION TO THE EXISTING UTILITIES SHALL BE MADE UNTIL ALL NEW UTILITIES ARE TESTED AND ACCEPTED BY THE MUNICIPALITY AND/OR JURISDICTIONAL AGENCY.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL JURISDICTIONAL AGENCIES PERMIT COSTS.
9. MAINTAIN 10' MIN HORIZONTAL SEPARATION BETWEEN UTILITIES AND 18" CLEARANCE AT CROSSINGS.
10. MAINTAIN 5.5' MIN COVER OVER ALL EXISTING & PROPOSED WATER MAIN.
11. MAINTAIN 4' MIN COVER OVER ALL EXISTING & PROPOSED SANITARY SEWER.
12. MAINTAIN 3' MIN COVER OVER ALL EXISTING & PROPOSED STORM SEWER.
13. IF REQUIRED, A STORM WATER MAINTENANCE AGREEMENT SHALL BE PROVIDED TO THE MUNICIPALITY PRIOR TO FINAL ACCEPTANCE.

CITY NOTES

- 1. PROVIDE 1 MASTER CITY METER FOR RETAIL 1ST FLOOR AND 1 MASTER METER FOR RESIDENTIAL 2ND & 3RD FLOORS.
2. PROVIDE PRIVATE SUB METERS FOR EACH INDIVIDUAL RESIDENTIAL & RETAIL UNIT.
3. THE EXISTING SANITARY LEAD SHALL BE VIDEOTAPE PRIOR TO CONNECTION TO VERIFY IT IS IN GOOD WORKING CONDITION.
4. A CITY RIGHT-OF-WAY (ROW) USE PERMIT IS REQUIRED & MUST BE APPROVED PRIOR TO CONSTRUCTION.
5. SIDEWALK ALONG GERALD AVE WILL BE THE LANDOWNERS RESPONSIBILITY TO MAINTAIN.
6. A STORM SYSTEM MAINTENANCE AGREEMENT IS REQUIRED.

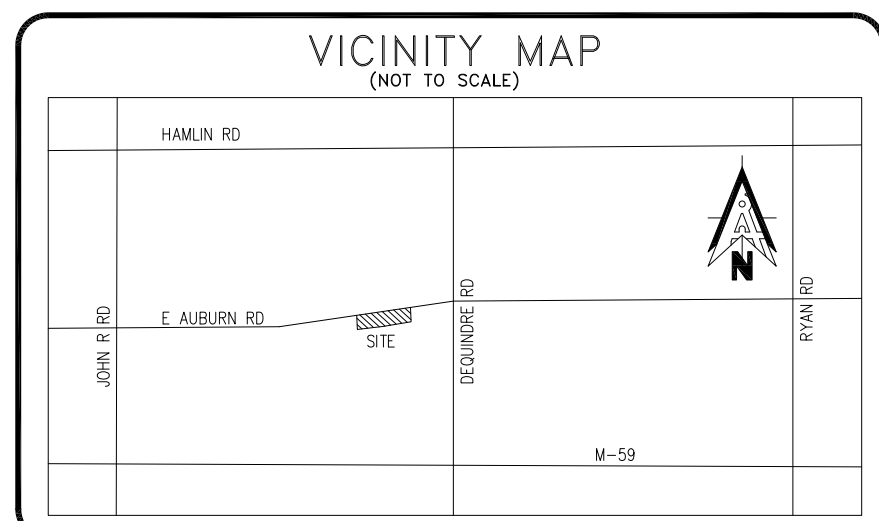
PROPOSED LEGEND

- TC 000.00 TOP OF CURB ELEVATION
G 000.00 GUTTER ELEVATION
TP 000.00 TOP OF PAVEMENT ELEVATION
TW 000.00 TOP OF WALK ELEVATION
FG 000.00 FINISH GRADE ELEVATION
FLOW DIRECTION
CONCRETE
GRAVEL
COMPACTED SAND BACKFILL
WATERMAIN
SANITARY SEWER
STORM SEWER
GAS MAIN
ELECTRIC LINE
HYDRANT
GATE VALVE & WELL
TAPPING SLEEVE VALVE & WELL
REAR YARD CATCH BASIN
STORM MANHOLE
CATCH BASIN
INLET
END SECTION
SANITARY MANHOLE
STRUCTURE TYPE
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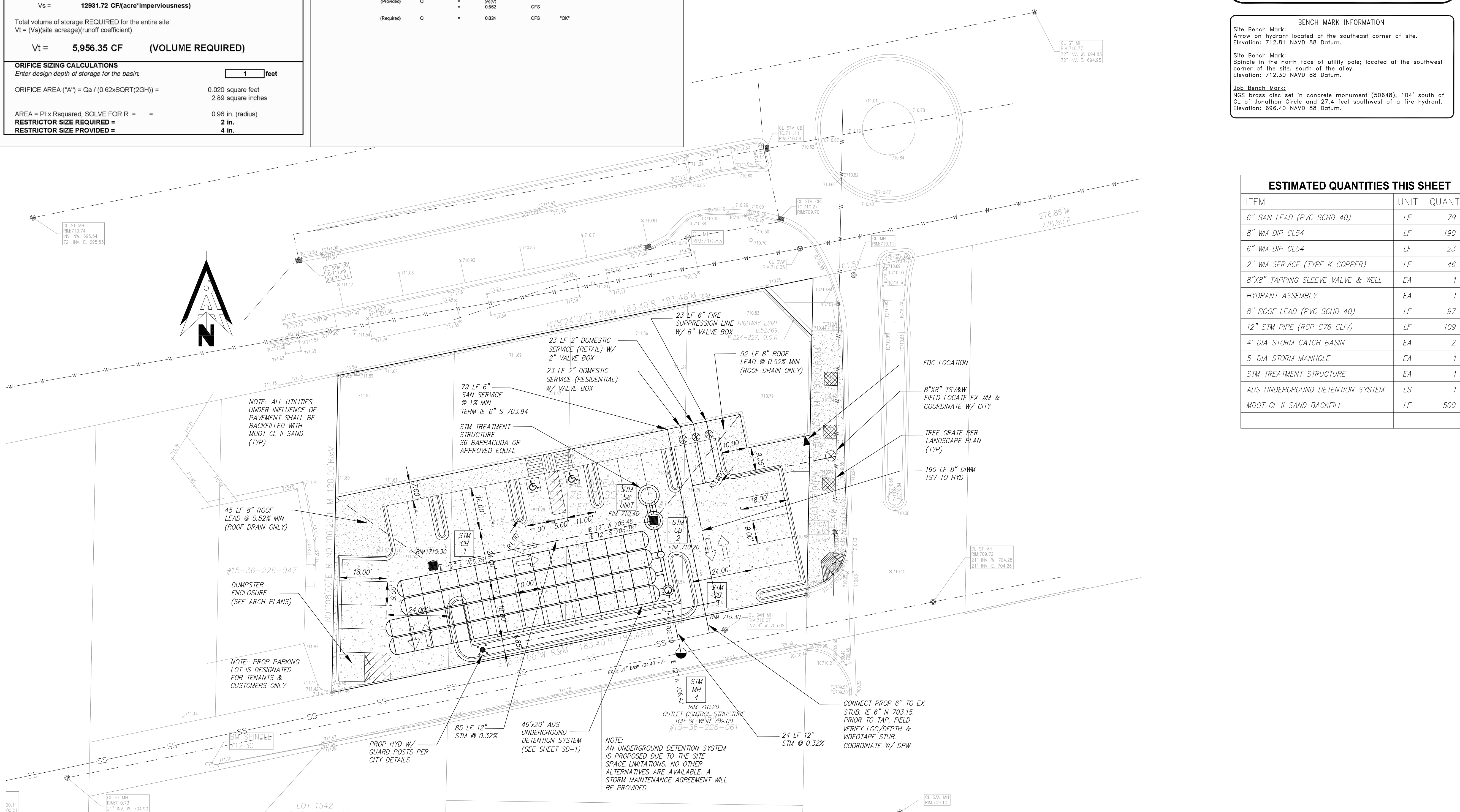
Detention Basin (OAKLAND COUNTY FORMULA - 100-YEAR STORM)
Job Name: Zeenat Plaza
Job No.: TA20001
Designed by: FH
Checked by: SS
Total Area Tributary (At) = 0.49
Area Label: Lawn Area, Hard Surface, Roof Area
VOLUME CALCULATIONS: Qo = (allowable outflow, Qa) / (runoff coefficient) = 0.217 CFS(acre\*imperviousness)
ORIFICE SIZING CALCULATIONS: ORIFICE AREA (A) = Qa / (0.62\*SQRT(2GH)) = 0.020 square feet

SANITARY BASIS OF DESIGN

Table with columns: District, Name, Usage, Approx. Area (SF), Area Per 1,000 FT², REU Unit Factor, REU's Units, Pop. REU, Pop. Ac., UL. Includes DESIGN ULTIMATE POPULATION and Peak Flow calculations.

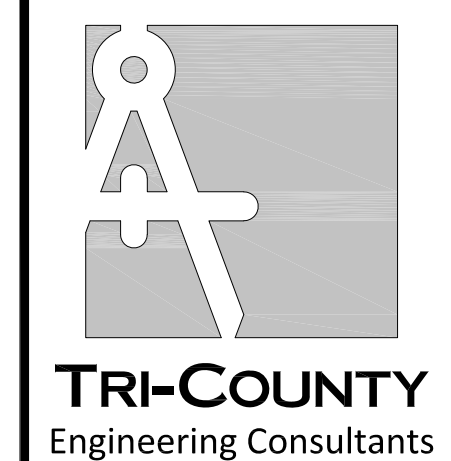


LEGAL DESCRIPTION
LOTS 1545 - 1548 OF "SUPERVISOR'S PLAT OF BROOKLAND PARK NO. 4" A SUBDIVISION OF PART OF THE EAST 1/2 OF THE NORTHEAST 1/4 OF SECTION 36, T.3N., R.11E., CITY OF ROCHESTER HILLS, OAKLAND COUNTY MICHIGAN AS RECORDED IN LIBER 28 OF PLATS, PAGE 49, OAKLAND COUNTY RECORDS.
ADDRESS: (COMMONLY KNOWN AS VACANT E. AUBURN ROAD)
SIDEWALK: 15-36-226-003, 15-36-226-004, 15-36-226-005



BENCH MARK INFORMATION
Site Bench Mark: Arrow on hydrant located at the southeast corner of site. Elevation: 712.81 NAVD 88 Datum.
Site Bench Mark: Spindle in the north face of utility pole; located at the southwest corner of the site, south of the alley. Elevation: 712.30 NAVD 88 Datum.

ESTIMATED QUANTITIES THIS SHEET
ITEM, UNIT, QUANTITY
6" SAN LEAD (PVC SCHED 40) LF 79
8" WM DIP CL54 LF 190
6" WM DIP CL54 LF 23
2" WM SERVICE (TYPE K COPPER) LF 46
8"X8" TAPPING SLEEVE VALVE & WELL EA 1
HYDRANT ASSEMBLY EA 1
8" ROOF LEAD (PVC SCHED 40) LF 97
12" STM PIPE (RCP C76 CLIV) LF 109
4" DIA STORM CATCH BASIN EA 2
5" DIA STORM MANHOLE EA 1
STM TREATMENT STRUCTURE EA 1
ADS UNDERGROUND DETENTION SYSTEM LS 1
MOOT CL II SAND BACKFILL LF 500



48701 Hayes Road
Shelby Twp, MI 48315
TEL: (810) 394-7887
FAX: (586) 566-4642
www.Tri-CountyEng.com

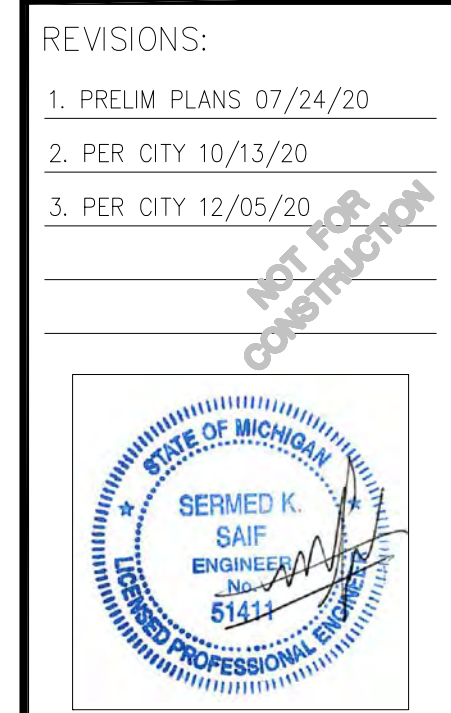
CLIENT NAME:
Iftqear Fazal
2780 Stonebury Dr
Rochester Hills, MI 48307
248-875-3134

3 WORKING DAYS
800-482-7171
Know what's below. Call before you dig.

PROJECT NAME:
ZEENAT PLAZA
Site Development
Vacant E Auburn Rd
(Lots 1545-1548)
Rochester Hills, MI 48307
UTILITY & GEOMETRY PLAN

PROJECT LOCATION:
SEC 36, T03N, R11E
CITY OF ROCHESTER HILLS
OAKLAND COUNTY
Drawn By: FH
Checked By: SS
Approved By: SS

REVISIONS:
1. PRELIM PLANS 07/24/20
2. PER CITY 10/13/20
3. PER CITY 12/05/20



SCALE VERIFICATION:
0.5" BAR IS ONE-INCH
ADJUST SCALES ACCORDINGLY IF NOT

SCALE:
1" = 20'

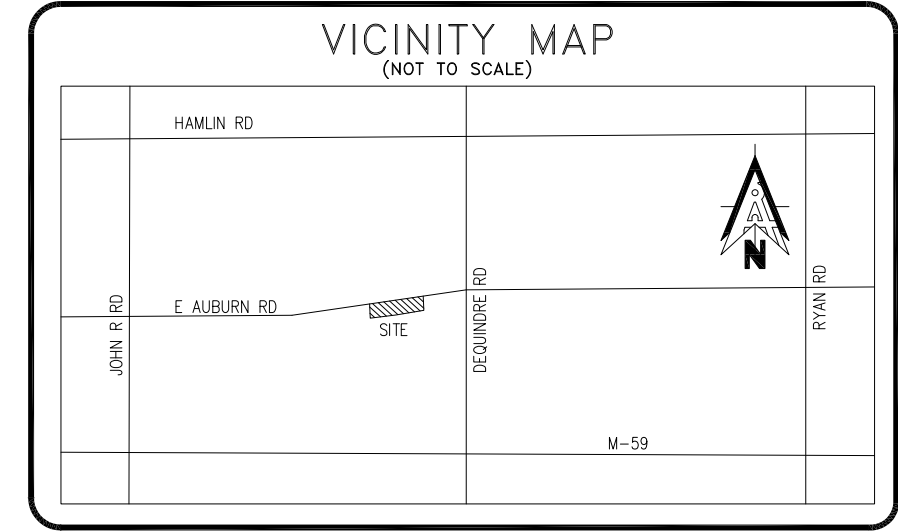
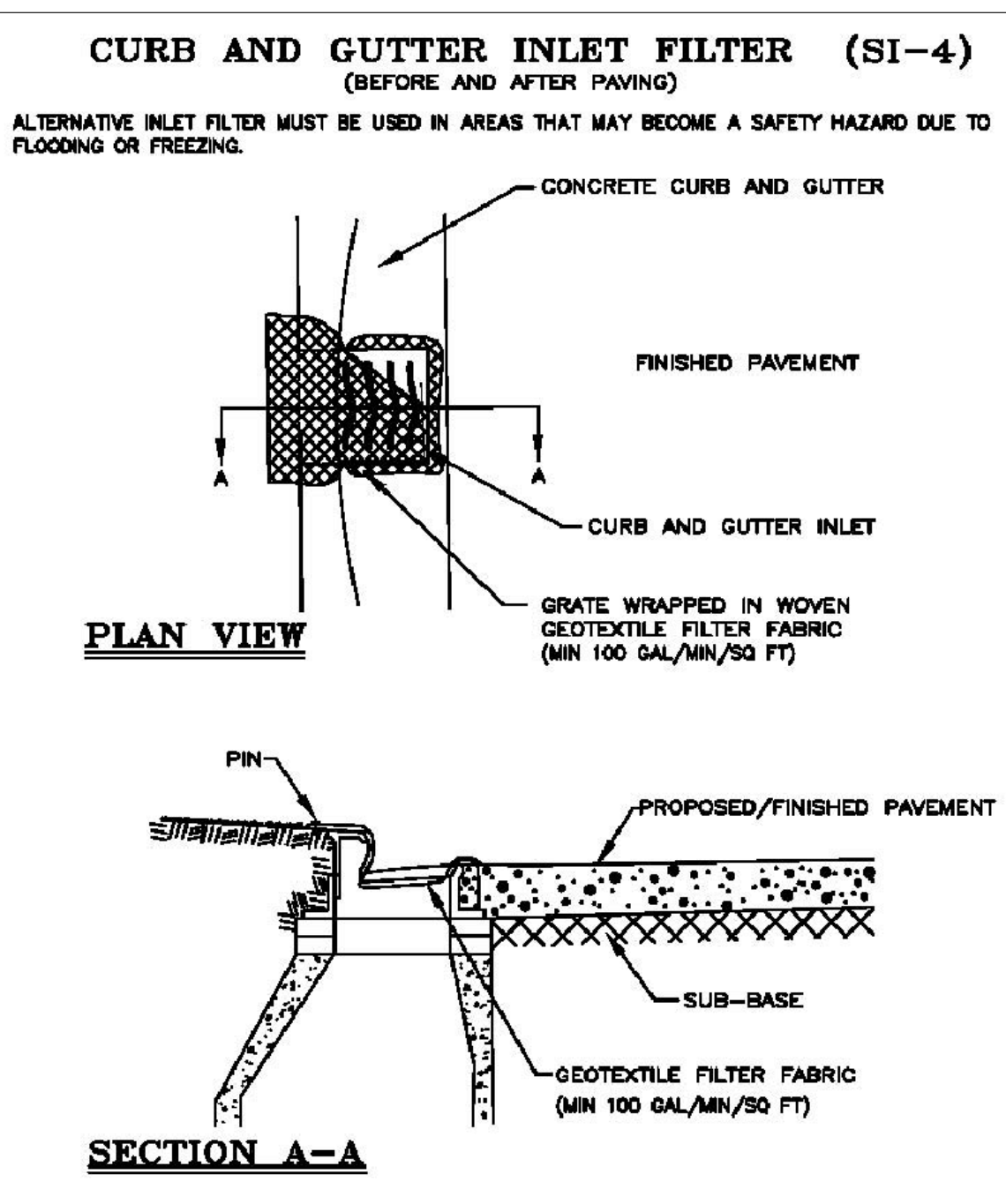
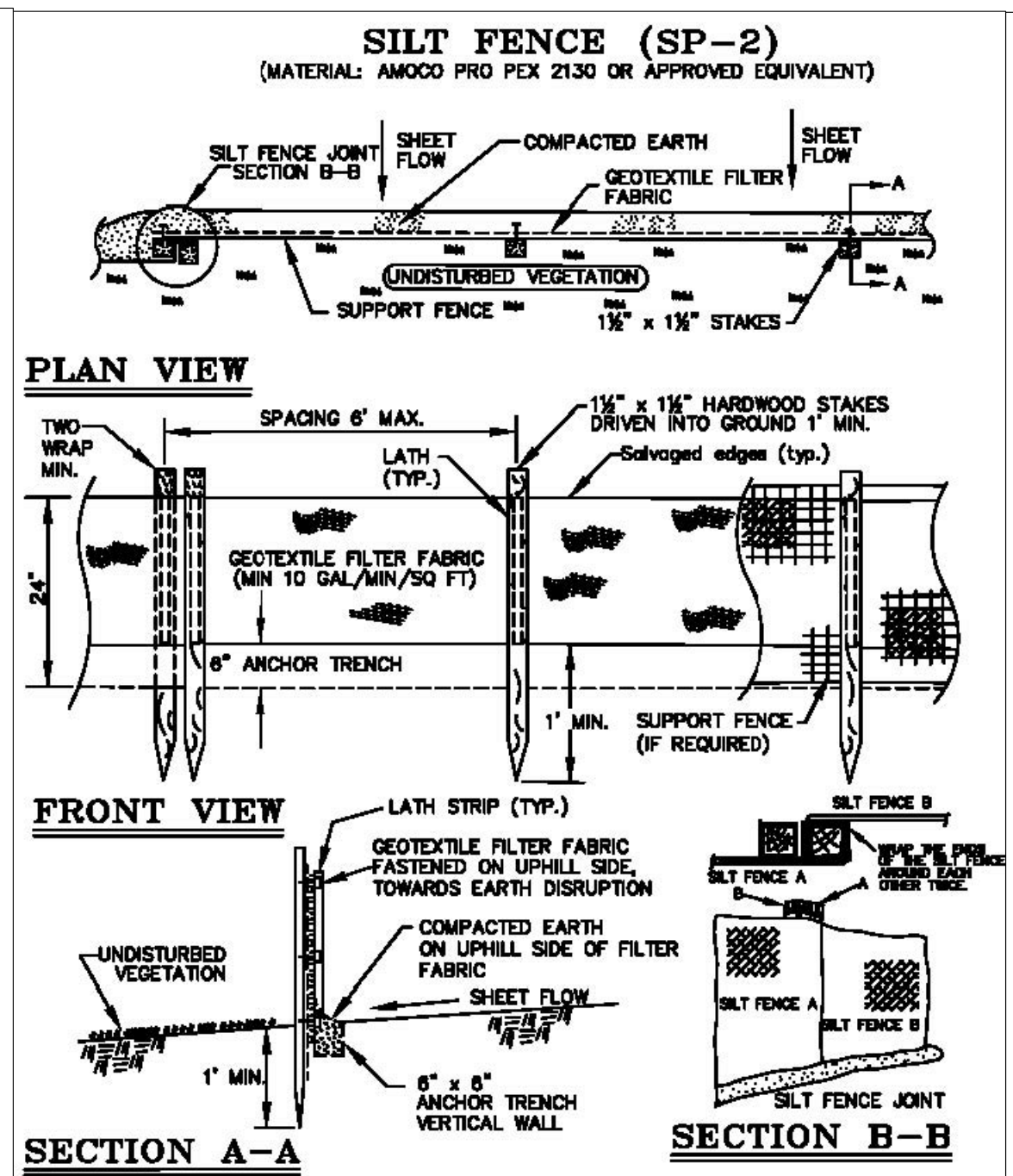
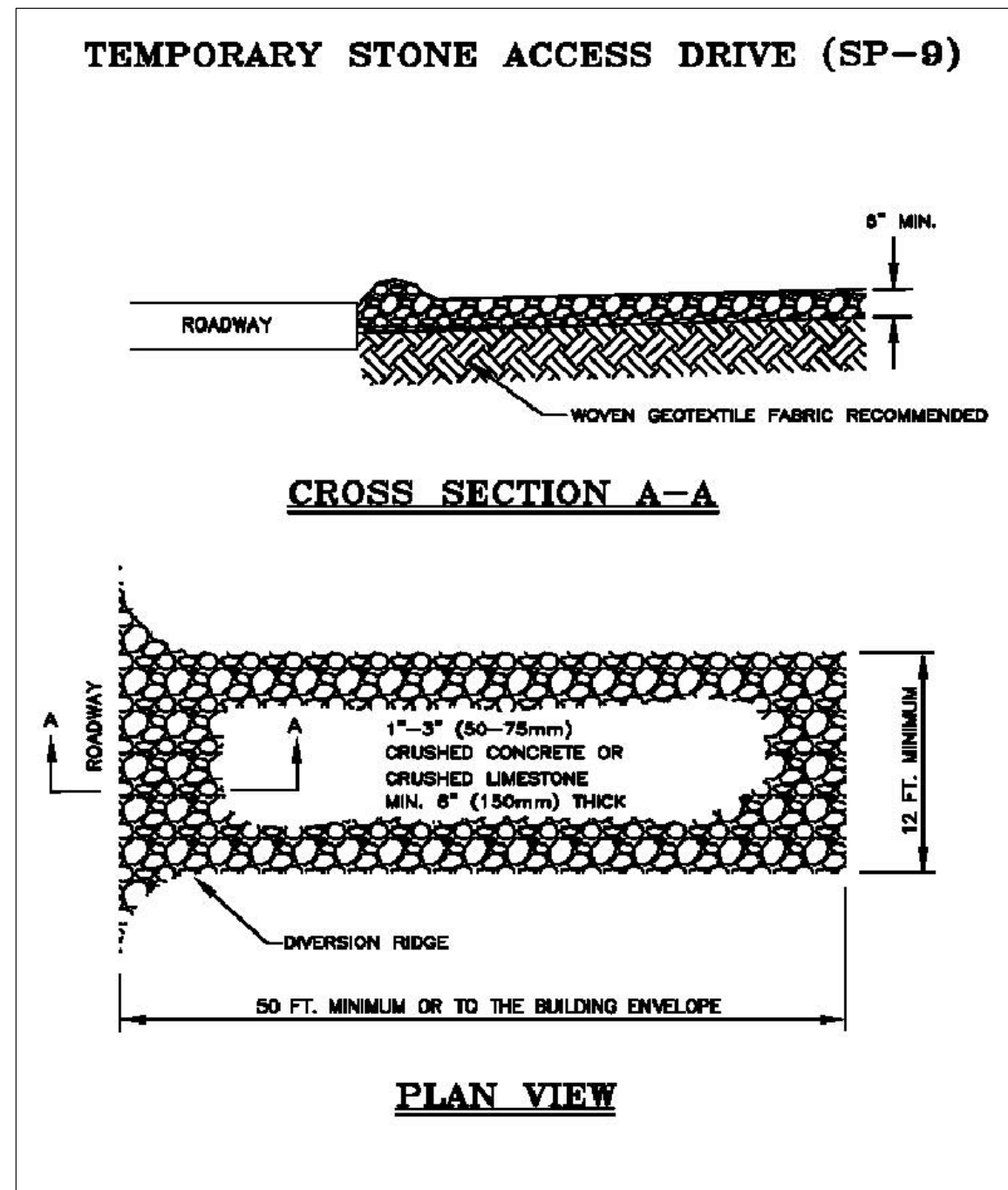
PROJECT NO:
TA20001

DRAWING NO:
TA20001UT
UT-1

UTILITY & GEOMETRY PLAN

SCALE 1:20





### LEGAL DESCRIPTION

LOTS 1545 - 1548 OF "SUPERVISOR'S PLAT OF BROOKLAND PARK NO. 4" A SUBDIVISION OF PART OF THE EAST 1/2 OF THE NORTHEAST 1/4 OF SECTION 36, T.3N., R.11E., CITY OF ROCHESTER HILLS, OAKLAND COUNTY MICHIGAN AS RECORDED IN LIBER 28 OF PLATS, PAGE 49, OAKLAND COUNTY RECORDS.

ADDRESS: (COMMONLY KNOWN AS VACANT E. AUBURN ROAD)  
 SIDWELL: 15-36-226-003, 15-36-226-004, 15-36-226-005

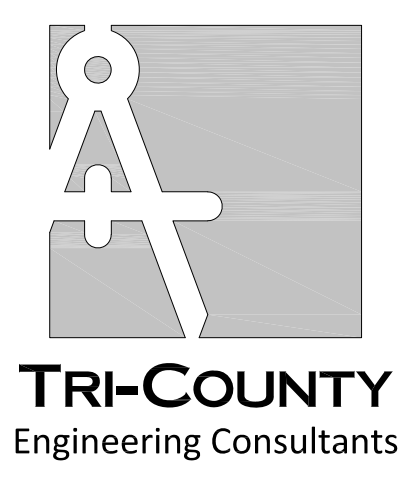
Note: All survey info shown herein was obtained from topographical survey by Reichert Surveying Inc. job number 14-090 dated 07/23/20 as supplied by the developer. TCEC has not performed a survey of this parcel.

### BENCHMARK INFORMATION

Site Bench Mark:  
 Arrow on hydrant located at the southeast corner of site.  
 Elevation: 712.81 NAVD 88 Datum.

Site Bench Mark:  
 Spindle in the north face of utility pole; located at the southwest corner of the site, south of the alley.  
 Elevation: 712.50 NAVD 88 Datum.

Job Bench Mark:  
 NCS brass disc set in concrete monument (50648), 104' south of CL of Jonathon Circle and 27.4 feet southwest of a fire hydrant.  
 Elevation: 696.40 NAVD 88 Datum.



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 Shelby Twp, MI 48315  
 TEL: (810) 394-7887  
 FAX: (586) 566-4642

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CLIENT NAME:  
**Ifteqar Fazal**  
 2780 Stonebury Dr  
 Rochester Hills, MI 48307  
 248-875-3134

3 WORKING DAYS  
 800-482-7171

Know what's below.  
 Call before you dig.

PRIOR TO CONSTRUCTION, ALL EXISTING UTILITIES LOCATION AND DEPTH WITHIN THE PROJECT AREA SHALL BE FIELD VERIFIED. CALL MISS DIG SYSTEM 3 WORKING DAYS PRIOR TO CONSTRUCTION.

UTILITY INFORMATION SHOWN ON THIS DRAWING ARE APPROXIMATE AND MAY BE ACCORDING TO AVAILABLE RECORD OR DISCLOSED INFORMATION BY VARIOUS UTILITY COMPANIES, PUBLIC AGENCIES, OR OTHER SOURCES AND THIS MAY NOT NECESSARILY REFLECT ACTUAL FIELD LOCATIONS AND NO GUARANTEE IS GIVEN TO COMPLETENESS OR ACCURACY.

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PROJECT NAME:  
**ZEENAT PLAZA**  
 Site Development  
 Vacant E. Auburn Rd  
 (Lots 1545-1548)  
 Rochester Hills, MI 48307

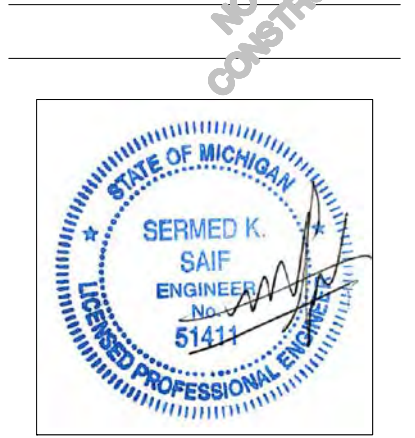
**SOIL EROSION & SEDIMENTATION CONTROL PLAN**

PROJECT LOCATION:  
 SEC 36, T03N, R11E  
 CITY OF ROCHESTER HILLS  
 OAKLAND COUNTY

Drawn By: FH  
 Checked By: SS  
 Approved By: SS

REVISIONS:

1. PRELIM PLANS 07/24/20
2. PER CITY 10/13/20
3. PER CITY 12/05/20



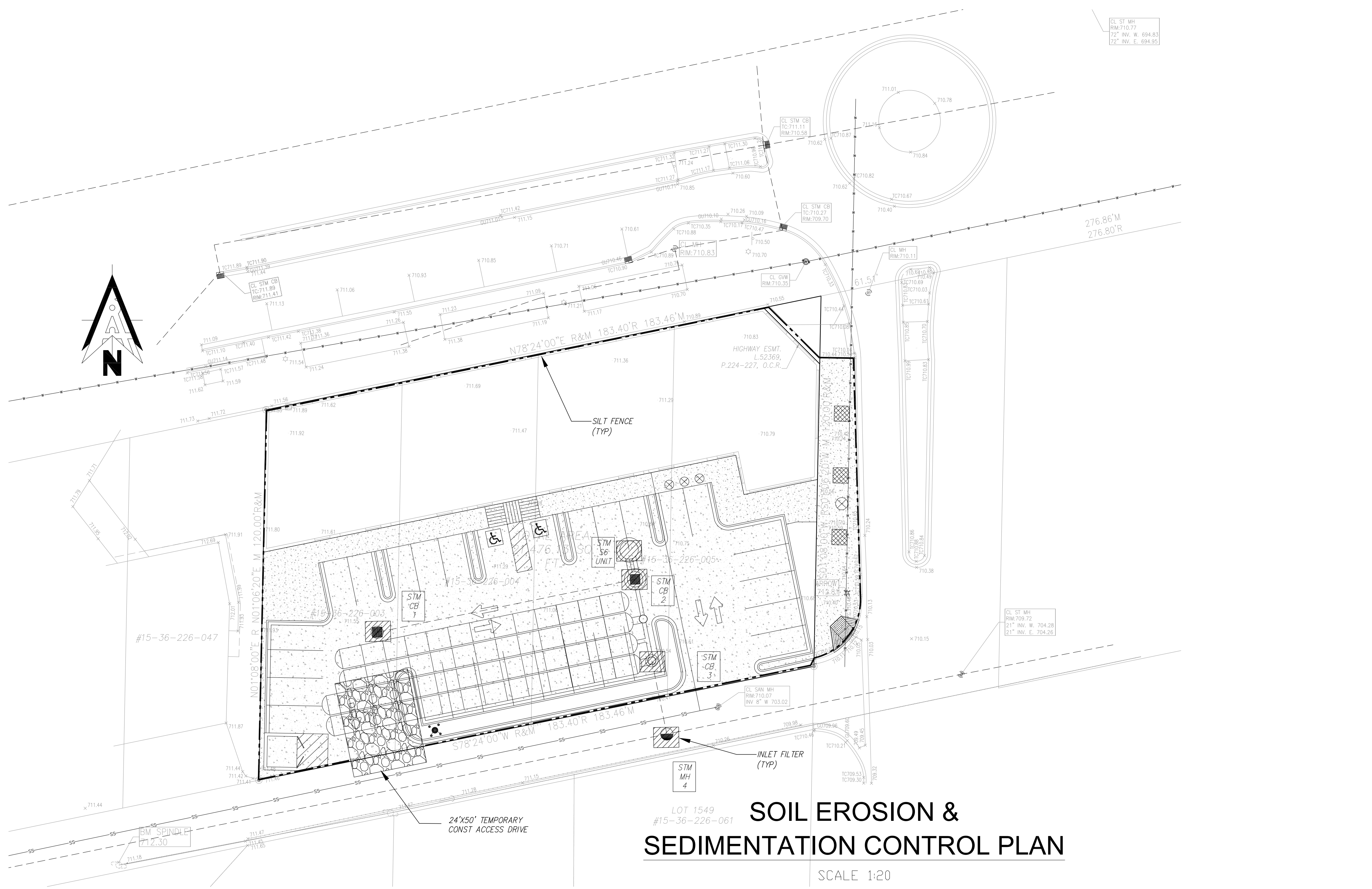
SCALE VERIFICATION:  
 0.5  
 BAR IS ONE-INCH  
 ADJUST SCALE ACCORDINGLY IF NOT

SCALE:  
 1" = 20'

PROJECT NO:  
 TA20001

DRAWING NO:  
 TA20001SE

SE-1

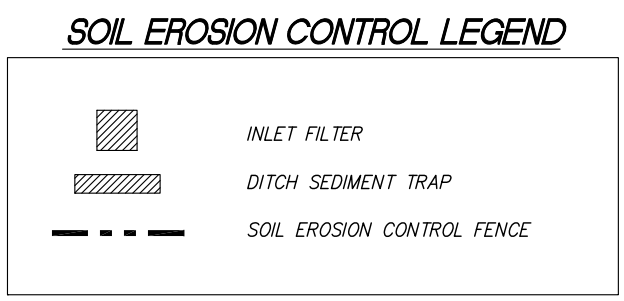


### SOIL EROSION CONTROL NOTES:

1. INSTALL SILT FENCE AROUND DEFINED PERIMETER AS SHOWN. INSTALL TREE PROTECTION & CONSTRUCT TEMPORARY CONSTRUCTION ACCESS.
2. CLEAR CURB & STRIP TOPSOIL IN AREAS OF EARTH DISRUPTION.
3. COMPLETE LAND BALANCING OPERATIONS.
4. INSTALL UNDERGROUND UTILITIES & PLACE INLET FILTERS WHERE INDICATED.
5. PERFORM PAVING OPERATIONS, FINE GRADING, LANDSCAPING.
6. EROSION CONTROL MEASURES ARE NOT TO BE REMOVED UNTIL THE LOCAL MUNICIPALITY AND/OR COUNTY GRANTS ITS APPROVAL.
7. EROSION CONTROL MEASURES SHALL BE PERIODICALLY INSPECTED & MAINTAINED WEEKLY & AFTER EVERY STORM EVENT.
8. PERSON(S) RESPONSIBLE FOR THE MAINTENANCE OF ALL SOIL EROSION CONTROL MEASURES: PROJECT OWNER LISTED.
9. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED APPROXIMATELY ACCORDING TO THE FOLLOWING SCHEDULE:
10. PROJECT COMMENCEMENT ON OR ABOUT 9/1/20.

SCHEDULE

- A. INSTALL SILT FENCE AS SHOWN ON PLANS (2-3 DAYS)
- B. STRIP, STOCKPILE TOPSOIL, ROUGH GRADE (N/A)
- C. INSTALL UNDERGROUND UTILITIES (N/A)
- D. FINE GRADE SITE, PAVE, LANDSCAPING & ESTABLISH VEGETATION (6 WEEKS)
- E. CLEAN PAVEMENTS, WALKS, CULVERTS, WATERCOURSES OF ALL ACCUMULATED SEDIMENT IN CONJUNCTION WITH REMOVING ALL TEMPORARY DEVICES (1 WEEK)
- F. PROJECT COMPLETION ON OR ABOUT 3/1/21.
- G. RE-ESTABLISHMENT OF PERMANENT VEGETATION REQUIRED PRIOR TO FINAL BUILDING INSPECTION.



### ESTIMATED QUANTITIES THIS SHEET

ITEM	UNIT	QUANTITY
SILT FENCE	LF	590
INLET FILTER	EA	4
TEMP CONST ACCESS DRIVE	EA	1

### SOIL TYPES

(FOR SOIL EROSION CONTROL PURPOSES)  
 62B - Urban Land-Spinks, 0%-8% Slope

(197). SOIL SURVEY OF OAKLAND COUNTY, MICHIGAN

NEAREST WATER COURSE: Plum Brook ±2000 FT  
 APPROX GROSS ACREAGE DISTURBED = 0.50 ACRE  
 DOMINANT EX LAND FEATURES: ASPHALT PAVEMENT

## SOIL EROSION & SEDIMENTATION CONTROL PLAN

SCALE 1:20