

NOTES:

- REFER TO ARCHITECTURAL PLANS BY BMK DESIGN AND PLANNING AND PHOTOMETRIC PLAN FOR LIGHT FIXTURES AND LIGHT POLE DETAILS.
- REFER TO LANDSCAPING PLANS BY DESIGN TEAM PLUS FOR PLANTINGS AND COSTS.
- IRRIGATION PLAN TO BE PROVIDED AT FINAL SITE PLAN SUBMITTAL.
- REFER TO LANDSCAPING PLANS BY DESIGN TEAM PLUS FOR OUTDOOR AMENITY AREA DETAILS.
- REFER TO LANDSCAPING PLANS BY DESIGN TEAM PLUS FOR FENCE DETAILS.
- REFER TO ARCHITECTURAL PLANS FOR TRASH ENCLOSURE DETAIL AND LANDSCAPING PLAN FOR SCREENING METHODS.
- SURVEY AND TOPOGRAPHIC SURVEY PERFORMED BY DIFFIN-UMLOR DATED 5-1-15.
- REFER TO DIFFIN-UMLOR PLANS FOR DETAILED UTILITY INFORMATION.
- UTILITIES ARE SHOWN FOR PLANNING PURPOSES. DETAILED PLANS TO BE PROVIDED AT THE ENGINEERING STAGE OF THE APPROVAL PROCESS.
- ROOF MOUNTED EQUIPMENT TO BE SCREENED, TRANSFORMER TO BE SCREENED. ROOF DRAINAGE TO BE ROUTED INTO STORM SEWER.
- ALL WALKWAY AND RAMP GRADING SHALL BE IN COMPLIANCE WITH THE REQUIREMENTS OF THE CITY AND THE STANDARDS AND SPECIFICATIONS OF THE ADA.
- REFER TO LANDSCAPING PLANS FOR LOT COVERAGE CALCULATIONS.
- LIMITED DELIVERIES ARE TO BE MADE ON OFF HOURS. THE LOADING/UNLOADING AREA HAS NOT BEEN SHOWN.
- THE RECEIVING 24" SANITARY SEWER HAS A CAPACITY OF 8.76 CFS AT THE AS-BUILT SLOPE OF 0.15%. THE EXISTING USE WILL GENERATE 0.028 CFS BASED ON THE MAXIMUM OCCUPANCY RATING OF 140 STUDENTS AT OAKLAND COUNTY'S 0.012 REU/STUDENT FOR ELEMENTARY SCHOOLS.
- THE EMERGENCY OVERFLOW AND UNDERGROUND INFILTRATION BED SYSTEM TO BE SIZED TO MEET THE REQUIREMENTS OF THE CITY AND APPLICABLE REGULATORY REVIEWING AGENCIES. THE REQUIRED 25-YR. DETENTION VOLUME OF 3262 C.F. WILL BE STORED IN THE INFILTRATION BED UNDER THE POROUS CONCRETE IN THE PARKING LOT ASIES. A PERFORATED PIPE SYSTEM FLOWS INTO AN OVERFLOW STRUCTURE FOR EMER. OVERFLOW.
- REFER TO THE SURVEY BY DIFFIN-UMLOR FOR THE PARCEL DESCRIPTIONS FOR EACH PARCEL.

FIRE DEPT. NOTES:

CONSTRUCTION SITES SHALL BE SAFEGUARDED IN ACCORDANCE WITH IFC CHAPTER 14 OPEN BURNING IS NOT PERMITTED, INCLUDING THE BURNING OF TRASH, DEBRIS, OR LAND CLEARING MATERIALS. OPEN BURNING FOR WARMING OF SAND AND/OR WATER FOR THE PREPARATION OF MORTAR SHALL BE WITHIN CITY OF ROCHESTER HILLS BURN PERMIT GUIDELINES. CONTACT ROCHESTER HILLS FIRE DEPARTMENT FOR PERMIT INFORMATION. FIRE PREVENTION ORDINANCE CHAPTER 58, SECTION 307.6.2 & 307.6.2.3

A KNOX KEY SYSTEM SHALL BE INSTALLED IN A LOCATION APPROVED BY THE FIRE CODE OFFICIAL. ORDERING INFORMATION IS AVAILABLE FROM THE KNOX COMPANY AT KNOXBOX.COM

FIRELANES SHALL BE DESIGNATED BY THE FIRE CODE OFFICIAL, AND SHALL BE CONSPICUOUSLY POSTED ON BOTH SIDES OF THE FIRE LANE, WITH FIRE SIGNS, SPACED NOT MORE THAN 100 FEET APART. FIRE LANE SIGNS SHALL READ "NO STOPPING, STANDING, PARKING, FIRE LANE" AND SHALL CONFORM TO THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.

PROVIDE A "NO PARKING FIRE DEPARTMENT CONNECTION" SIGN OVER THE FIRE DEPARTMENT CONNECTION.

PROPERTY DESCRIPTION:

REFER TO SURVEY AND TOPOGRAPHIC SURVEY SHEETS FOR PROPERTY DESCRIPTIONS AND EXISTING CONDITIONS.

DETENTION CALCULATIONS:

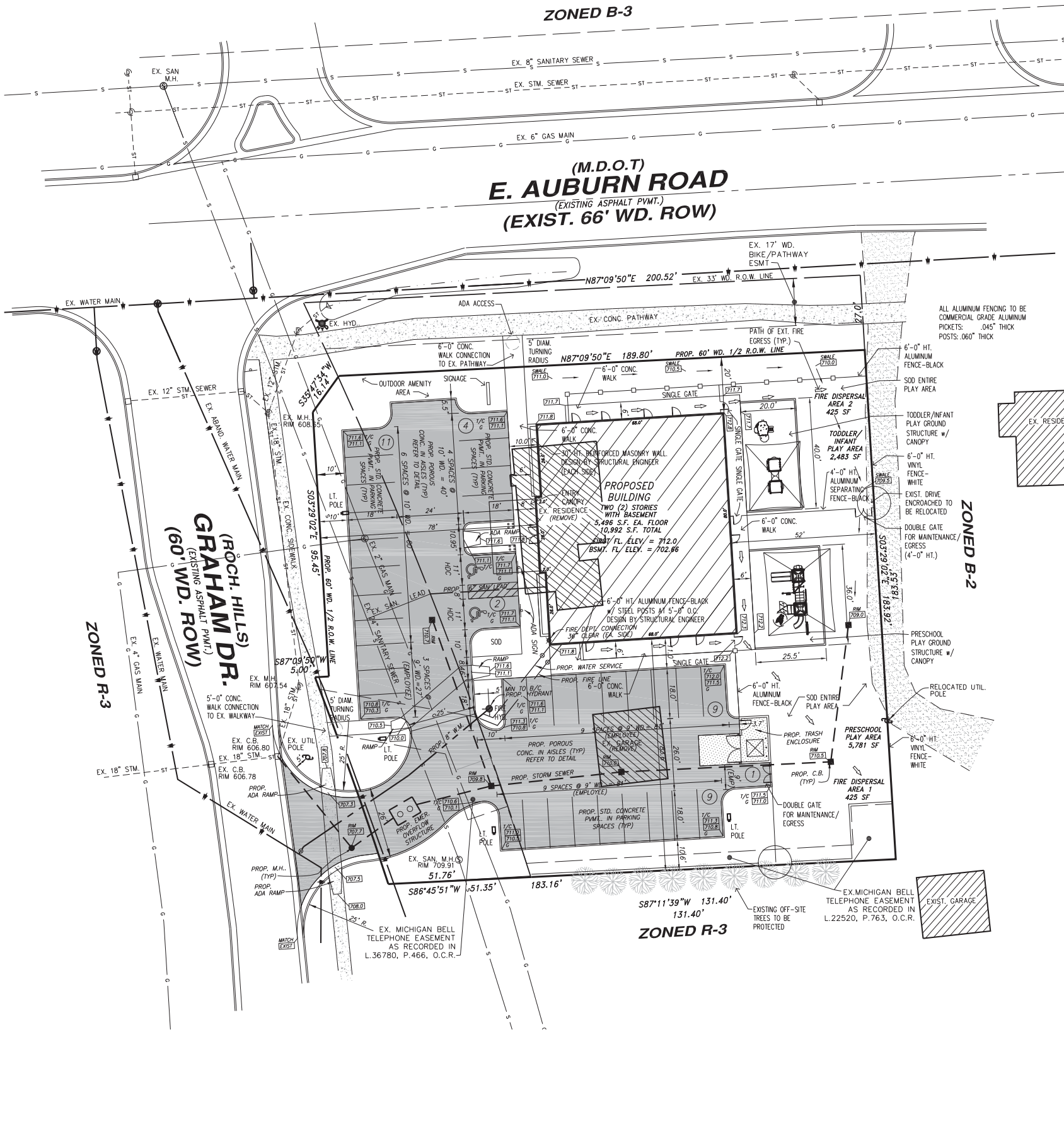
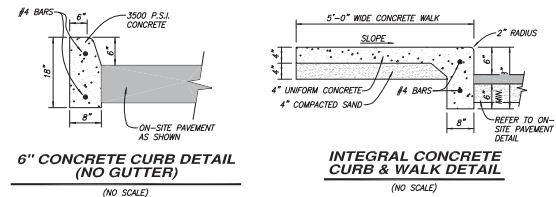
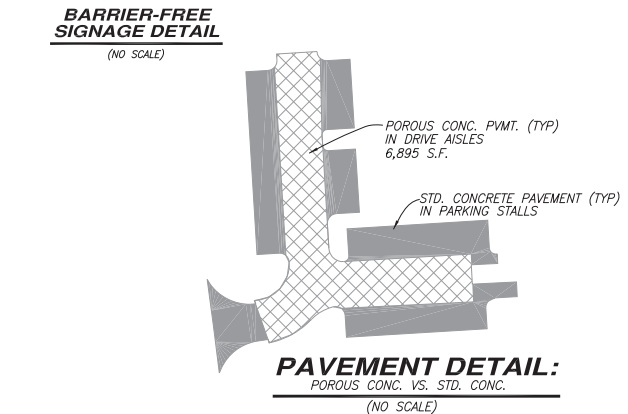
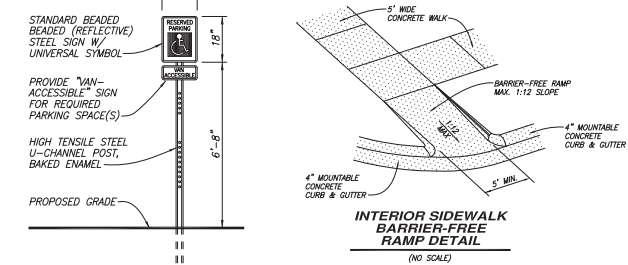
POROUS CONCRETE SHALL BE USED IN THE DRIVE AISLES OF THE PARKING LOTS AND THE ASSOCIATED INFILTRATION BED SHALL STORE THE REQUIRED DETENTION.

EXIST. SOIL COEFFICIENT OF PERMEABILITY (k) = 4.84 x 10⁻⁶ CM/SEC

25-YR DETENTION CALCULATIONS:
 $A = 0.83 \text{ AC}$
 $Q_A = 0.20 \text{ CFS/AC(A)}$
 $Q_0 = 0.17 \text{ CFS}$
 WEIGHTED "C" FACTOR = 0.47
 GREENSPACE (C=0.1): 41%
 PARKING, WALKWAYS AND ROOF (C=0.9): 59%
 $Q_0 = Q_A / A \times C = 0.49 \text{ CFS/AC}$
 $T_{25} = 103.3 \text{ MIN/AC}$
 $V_{25} = 8361 \text{ CF/AC}$
 $V_{25} = V_{25}(C)A$
 $V_{25} = 3262 \text{ CF}$

SAN. SEWER CALCULATIONS:

SCHOOL CAPACITY = 140 STUDENTS
 REU = RESIDENTIAL EQUIVALENT UNIT
 REU = 0.012 FOR EACH STUDENT AT AN ELEMENTARY SCHOOL FOR OAKLAND CO., MICH.
 0.012 REU'S PER STUDENT, 350 GAL=1 REU
 SANITARY FLOW = 140(0.012)350 = 0.0009 CFS
 THE EXISTING 24" SAN. SEWER AT 0.015% A.B. SLOPE HAS A CAPACITY OF 8.76 CFS



APPLICANT:

SSRP PROPERTIES, LLC
 2865 W. HICKORY GROVE RD.
 BLOOMFIELD TOWNSHIP, MI 48302

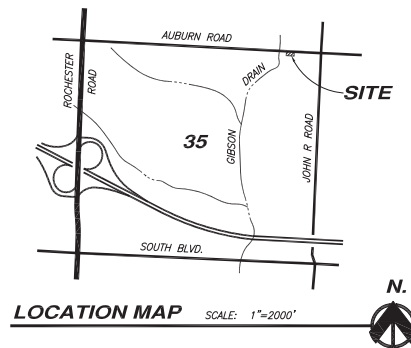
OWNER:

KEVIN G. BAIRD
 720 KIMBERLY DR.
 TROY, MI 48098-6916

NORTH



SCALE: 1"=20'



SHEET INDEX:

- SITE PLAN
- EXISTING TOPOGRAPHIC SURVEY
- ALTA SURVEY PLAN 1
- ALTA SURVEY PLAN 2
- ARCHITECTURAL PLANS:
- A2.0 MAIN LEVEL FLOOR PLAN
- A2.1 UPPER LEVEL FLOOR PLAN
- A2.2 LOWER LEVEL FLOOR PLAN
- A3.0 ELEVATIONS
- A3.1 ELEVATIONS
- A3.2 PLAY STRUCTURE ELEV AND FENCE DETAILS
- PH1.0 PHOTOMETRIC SITE PLAN
- PH1.1 FIXTURE CUT SHEET
- LANDSCAPING PLANS
- LA-1.0 LANDSCAPE PLAN
- LA-2.0 SPECS AND DETAILS
- IR-1 IRRIGATION PLAN

SITE CRITERIA:

PARCEL ADDRESS: 820 E. AUBURN
 PARCEL ID: 15-35-225-001
 PARCEL SIZE: NET: 0.83 ACRES (36,233 SQUARE FEET) less ROW
 GROSS: 0.95 ACRES
 PROPOSED BUILDING: TWO (2) STORIES (W/ BSMT., 5,498 S.F. EACH FLOOR
 CONSTRUCTION TYPE: IIB
 10,992 S.F. TOTAL

ZONING: CITY OF ROCHESTER HILLS
 B-2 (GENERAL BUSINESS)

REQUIRED DIMENSIONAL REQUIREMENTS:
 FRONT- 50'
 SIDES- 25' FROM ADJACENT SIDE STREET, 0' AND 50' FROM (R) RESIDENTIAL
 REAR- 50'
 PARKING SETBACK- 10' AT ROW AND ABUTTING RESIDENTIAL
 BUILDING HEIGHT- 2 STORIES, 30' FEET

REQUIRED PARKING REQUIREMENTS:
 ONE (1) SPACE PER EVERY TEN (10) STUDENTS PLUS ONE(1) SPACE PER EMPLOYEE PLUS FIVE (5) STAKING SPACES FOR DROP OFF

PROPOSED PARKING PROVIDED:
 140 STUDENTS = FOURTEEN (14) SPACES
 TWENTY ONE (21) EMPLOYEES = 21 SPACES
 TOTAL REQUIRED PARKING SPACES = 35 SPACES
 ZERO DROP OFF SPACES, NOT REQUIRED BY GODDARD SCHOOLS, PARENTS MUST CHECK STUDENTS IN AT FRONT DESK
 STAKING SPACES NOT REQUIRED DUE TO GODDARD REQUIREMENTS
 TOTAL SPACES PROVIDED = 36 SPACES, INCLUDING TWO (2) ADA

REQUIRED PLAY AREA: 1200 S.F. MIN.
 PROPOSED PLAY AREA:
 TODDLER PLAYScape AREA: 2,483 S.F.
 PRESCHOOL PLAYScape AREA: 5,781 S.F.
 PROPOSED TOTAL PLAY AREA: 8,264 S.F.

FB-2 (FLEX BUSINESS OVERLAY)
 REQUIRED DIMENSIONAL REQUIREMENTS:
 FRONT (ARTERIAL)- 15' MIN. TO 25' MAX.
 FRONT (MINOR)- 5' MIN. TO 20' MAX.
 SIDES- 25' FROM ADJACENT SIDE STREET, 0' AND 50' FROM (R) RESIDENTIAL
 REAR- 50'
 PARKING SETBACK- 10' AT ROW AND ABUTTING RESIDENTIAL
 BUILDING HEIGHT- 2 STORIES, 30' FEET

PROVIDED DIMENSIONAL REQUIREMENTS:
 FRONT- 20'
 SIDES- 78' FROM ADJACENT GRAHAM STREET
 52' FROM EAST PROPERTY LINE
 REAR- 83.6'
 PARKING SETBACK- 10' AT GRAHAM RD ROW AND ABUTTING RESIDENTIAL TO THE SOUTH
 BUILDING HEIGHT- 2 STORIES, 28' FEET

REQUIRED OUTDOOR AMENITY AREA REQUIREMENTS:
 MINIMUM OF 725 S.F.
 PROVIDED DIMENSIONAL REQUIREMENTS:
 REFER TO LANDSCAPING PLANS

UTILITIES:
 SANITARY- CONNECT TO EX. 24" SANITARY SEWER
 WATER- CONNECT TO EXISTING WATER MAIN
 STORM- ON-SITE INTO SEDIMENT VAULT AND U/G DETENTION SYSTEM AND CONNECT TO EX. 18" STORM SEWER IN GRAHAM ROAD ROW

SIGNAGE:
 ALL SIGNS MUST MEET SECTION 139-8.603 AND CHAPTER 134 CITY CODE OF ORDINANCES AND BE APPROVED UNDER A SEPARATE PERMIT ISSUED BY THE BUILDING DEPT OF ROCHESTER HILLS, MI
 SIGNAGE NOT PART OF THIS SUBMITTAL

CONTRACTOR'S NOTE

The locations of existing underground utilities are shown in an approximate way only. The contractor shall determine the exact location of all existing utilities before commencing work. He agrees to be fully responsible for any and all damages which might be occasioned by his failure to exactly locate and preserve any and all underground utilities.

The contractor shall be responsible for adhering to all applicable local, state, and federal standards, specifications, and guidelines for construction.

3 WORKING DAYS BEFORE YOU DIG CALL MISS DIG 1-800-482-7171 (TOLL FREE) for the location of underground utilities.

NOT FOR CONSTRUCTION

PROJECT: THE GODDARD SCHOOL ENGINEERING GROUP INC.

CLIENT: SSRP PROPERTIES, LLC
 2865 W. HICKORY GROVE RD.
 BLOOMFIELD, MI 48302

REVISIONS:
 REVIEW: 05-12-15
 CHECKED: 10/14/15
 REVISED PER REVIEW COMMENTS 1-15-16
 REVISED PER 2 ND REVIEW COMMENTS 2-09-16

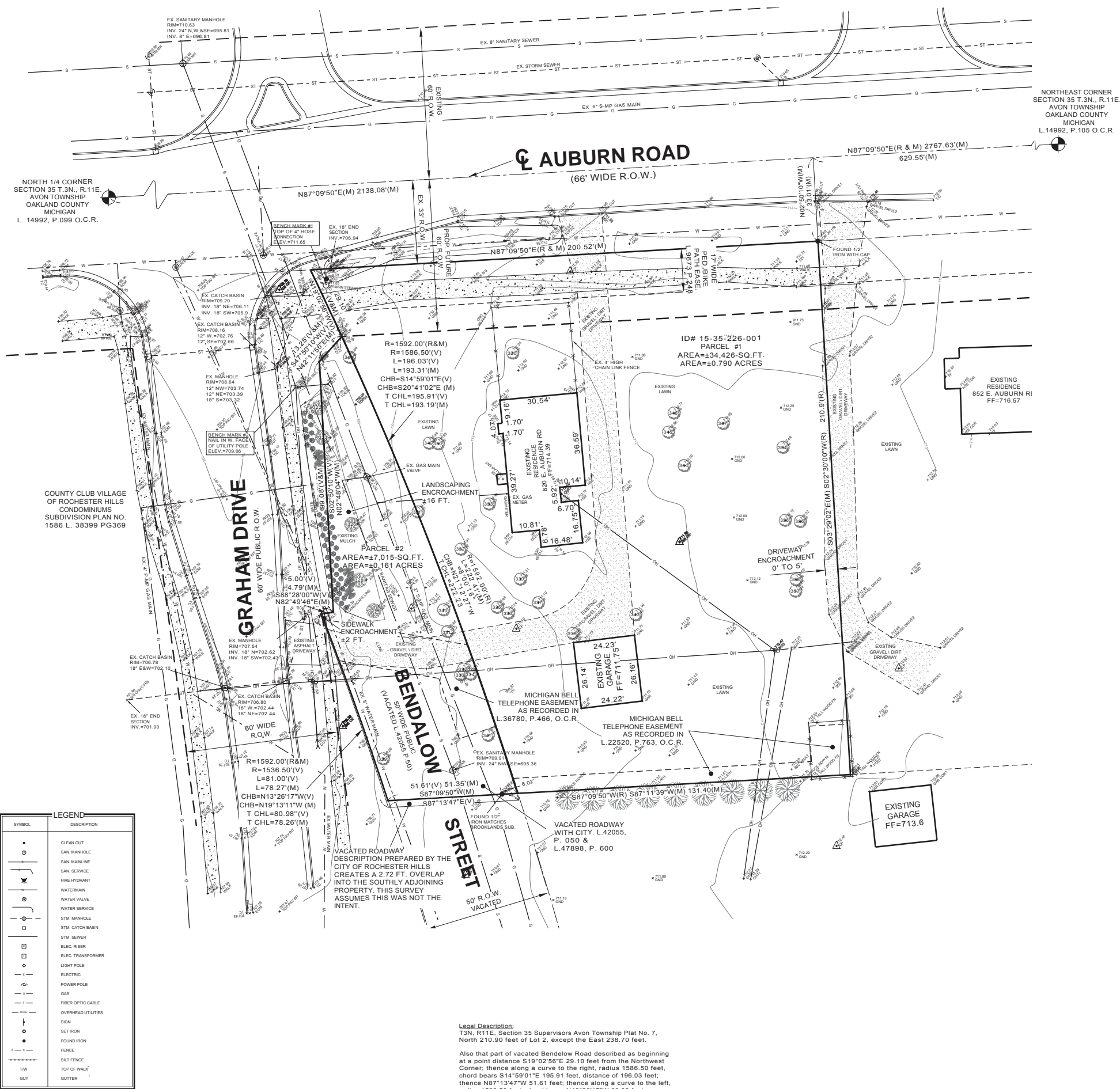
JOB NO: 2015-005
 DATE: 05/12/15
 DRAWN BY: W.E.M.
 CHECKED BY: W.E.M.

820 EAST AUBURN ROAD
 ROCHESTER HILLS, MI 48302

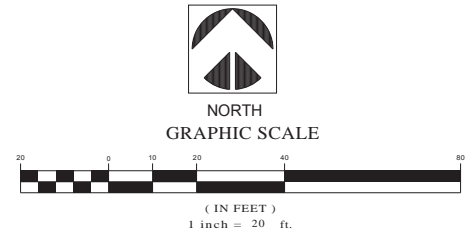
PHONE: 866-876-3947
 EMAIL: apexengmt@gmail.com

SHEET C1 OF 11

MUNICIPAL REVIEW NUMBERS:
 CITY FILE NO.: 15-018



NORTHEAST CORNER
SECTION 35 T.3N., R.11E.
AVON TOWNSHIP
OAKLAND COUNTY
MICHIGAN
L. 14992, P.105 O.C.R.



Tag No.	Scientific Name	Common Name	DBH(s)	Trunk
317	Ailanthus altissima	Tree of Heaven	14	1
318	Carya ovata	Shagbark Hickory	22	1
319	Acer saccharum	Sugar Maple	30	1
320	Pinus strobus	White Pine	26	1
321	Quercus alba	White Oak	26	1
322	Picea	Spruce	7	1
323	Picea	Spruce	6	1
324	Picea	Spruce	6	1
325	Picea	Spruce	7	1
326	Picea	Spruce	7	1
327	Picea	Spruce	7	1
328	Picea	Spruce	7	1
329	Picea	Spruce	7	1
330	Acer saccharum	Sugar Maple	7	1
331	Catalpa speciosa	Catalpa	36	1
332	Catalpa speciosa	Catalpa	7	1
333	Catalpa speciosa	Catalpa	8	1
334	Catalpa speciosa	Catalpa	8	1
335	Catalpa speciosa	Catalpa	12	1
336	Morus	Mulberry	10, 10, 10	3
337	Catalpa speciosa	Catalpa	16	1
338	Ulmus americana	American Elm	7	1
339	Acer saccharum	Sugar Maple	9	1
340	Acer saccharum	Sugar Maple	8	1
341	Catalpa speciosa	Catalpa	20	1
342	Catalpa speciosa	Catalpa	14	1
343	Pinus strobus	White Pine	9, 16	2
344	Quercus alba	White Oak	24	1
345	Quercus alba	White Oak	28	1
346	Quercus alba	White Oak	30	1
347	Quercus alba	White Oak	24	1
348	Ulmus americana	American Elm	7	1
349	Thuja occidentalis	White Cedar	12, 12	2
350	Morus	Mulberry	8, 12	2
351	Acer saccharum	Sugar Maple	14	1
352	Pinus strobus	White Pine	6	1
353	Morus	Mulberry	18	1
354	Morus	Mulberry	7	1
355	Morus	Mulberry	10, 10, 18, 12	4
356	Ulmus americana	American Elm	10	1
357	Juglans	Walnut	7	1
358	Ulmus americana	American Elm	8, 16	2
359	Acer saccharum	Sugar Maple	8, 8, 8	3
360	Catalpa speciosa	Catalpa	10	1
361	Morus	Mulberry	8	1

LEGEND

SYMBOL	DESCRIPTION
(Symbol)	CLEAN OUT
(Symbol)	SAN MANHOLE
(Symbol)	SAN MAINLINE
(Symbol)	SAN SERVICE
(Symbol)	FIRE HYDRANT
(Symbol)	WATERMAN
(Symbol)	WATER VALVE
(Symbol)	WATER SERVICE
(Symbol)	STM MANHOLE
(Symbol)	STM CATCH BASIN
(Symbol)	STM SEWER
(Symbol)	ELEC RISER
(Symbol)	ELEC TRANSFORMER
(Symbol)	LIGHT POLE
(Symbol)	ELECTRIC
(Symbol)	POWER POLE
(Symbol)	GAS
(Symbol)	FIBER OPTIC CABLE
(Symbol)	OVERHEAD UTILITIES
(Symbol)	SIGN
(Symbol)	SET IRON
(Symbol)	FOUND IRON
(Symbol)	FENCE
(Symbol)	SILT FENCE
(Symbol)	TOP OF WALK
(Symbol)	GUT

Legal Description:
T3N, R11E, Section 35 Supervisors Avon Township Plat No. 7, North 210.90 feet of Lot 2, except the East 238.70 feet.
Also that part of vacated Bendelow Road described as beginning at a point distance S19°02'56"E 29.10 feet from the Northwest Corner; thence along a curve to the right, radius 1596.50 feet, chord bears S14°59'01"E 195.91 feet, distance of 196.03 feet, radius 1536.50 feet, chord bears N13°28'17"W 80.98 feet, a distance of 81.0 feet, thence N88°28'00"E 5.0 feet, thence N02°50'10"E 99.08 feet, thence N47°50'10"E 13.26 feet to the Point of Beginning
Tax Item No. 15-35-226-001

!! CAUTION !!
DANGEROUS AND SENSITIVE UNDERGROUND FACILITIES MAY BE PRESENT THROUGHOUT THE PROJECT AREA THAT DO NOT APPEAR ON THIS DRAWING. ALL UNDERGROUND FACILITIES MUST BE LOCATED AND STAKED BY THE APPROPRIATE AGENCIES PRIOR TO EXCAVATION.



53115 GRAND RIVER
NEW HUDSON, MI 48165
(P) 248-437-7803
(F) 866-960-4307

REVISIONS

No.	Description

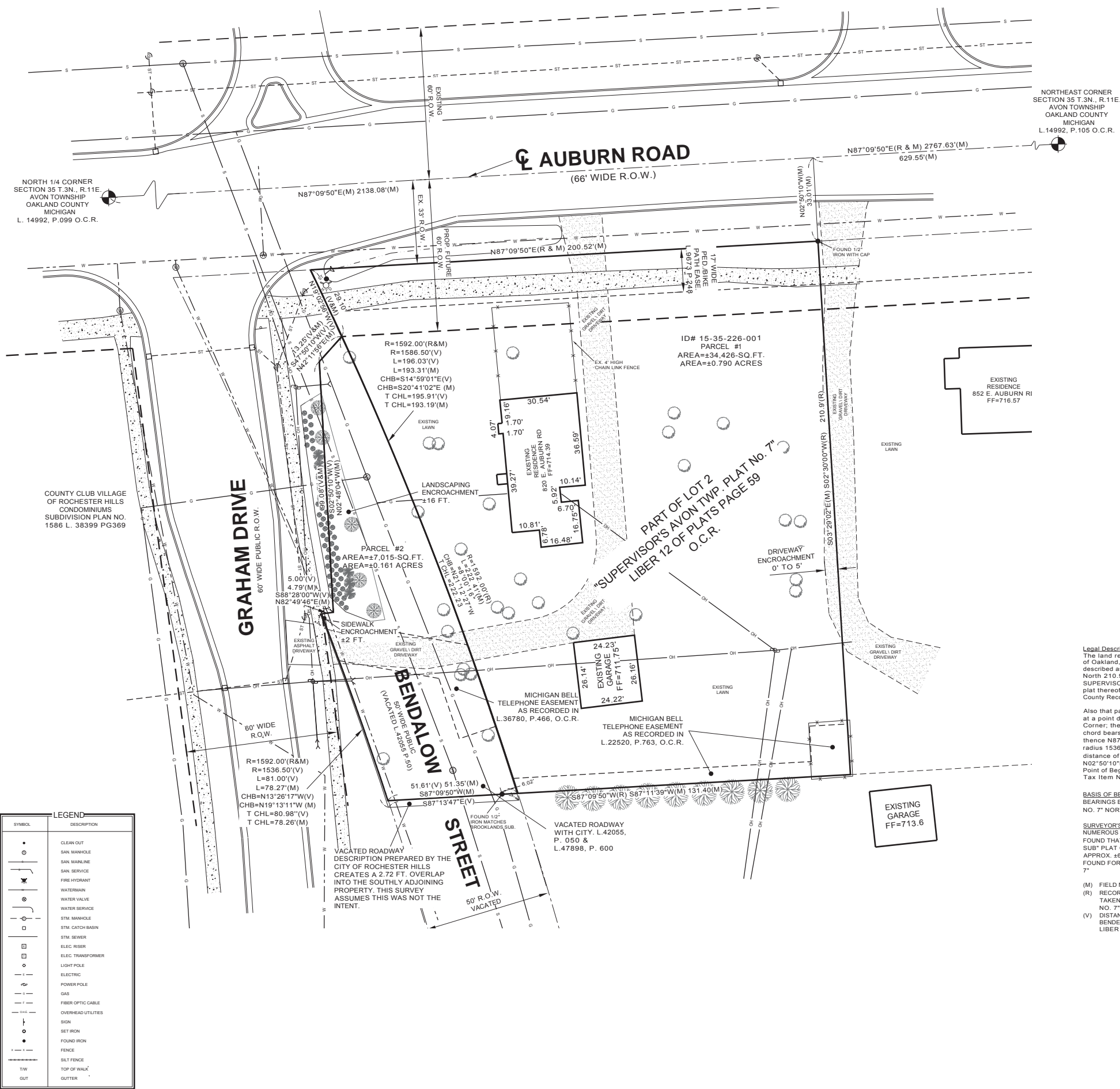
CLIENT:
Mrs. Swapna Chacko
2665 W. Hickory Grove
Bloomfield, MI 48302
TOPOGRAPHIC / TREE SURVEY

These documents are instruments of service in verification or adaptation by Diffin-Umlor & Associates (DUA) for the specific purposes intended will be at Users sole risk and without liability or hold harmless DUA from all claims, damages, losses and expenses including attorneys' fees arising out of or from the use of these documents. User's adaptation at rates to be agreed upon by User and DUA.

SECTION 35
TOWN 3 NORTH, RANGE 11 EAST
AVON TOWNSHIP
OAKLAND COUNTY, MICHIGAN



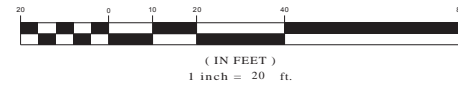
Date: 5-1-15
Drawn By: MD
P.E.: WES UMLOR
SCALE: 1 inch = 20 ft.
Job No.: 140801
Sheet No.
1 of 1



NORTHEAST CORNER
SECTION 35 T.3N., R.11E.
AVON TOWNSHIP
OAKLAND COUNTY
MICHIGAN
L. 14992, P. 105 O.C.R.



NORTH
GRAPHIC SCALE



SURVEYOR'S NOTES

PERTAINING TO FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT FOR TITLE INSURANCE FILE NO. 693966 EFFECTIVE DATE: FEBRUARY 23, 2015

REFERENCE NUMBER	RECORDING REFERENCE	DESCRIPTION	STATUS ON PLAT	
1		Mortgage in the original amount of \$122,500.00 executed by Kevin G. Baird, a married man to Kenneth R. Mascia, dated October 21, 2014, recorded November 3, 2014, in Liber 47565, page 1.	NOT PLOTTED	AFFECTS PARCEL
2		Easement in favor of Michigan Bell Telephone Company, a Michigan Corporation, aka Ameritech Michigan and the Covenants, Conditions and Restrictions contained in instrument recorded in Liber 22520, page 763.	PLOTTED	AFFECTS PARCEL
3		Easement in favor of Michigan Bell Telephone Company, a Michigan Corporation, aka Ameritech Michigan and the Covenants, Conditions and Restrictions contained in instrument recorded in Liber 24261, page 121.	PLOTTED	AFFECTS PARCEL
4		Easement for Parking in favor of Michigan Bell Telephone Company, a Michigan Corporation, d/b/a SBC Michigan and the Covenants, Conditions and Restrictions contained in instrument recorded in Liber 36780, page 466.	PLOTTED	AFFECTS PARCEL
		Vacated Bendalong Road recorded in Liber 47898, page 600.	PLOTTED	AFFECTS PARCEL

TABLE "A"
NO EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WERE OBSERVED AT THE TIME OF THIS SURVEY.
NO EVIDENCE OF SOLID WASTE DUMPING, SUMP OR SANITARY LANDFILLS WERE OBSERVED AT THE TIME OF THIS SURVEY.
ENCROACHMENTS - NEIGHBORS DRIVEWAY ENCRACHES INTO THE PROPERTY 0' TO 5' ALONG THE EAST PROPERTY LINE.
NO CEMETERIES OR BURIAL GROUNDS WERE OBSERVED AT THE TIME OF THIS SURVEY.

Legal Description:
The land referred to in this Commitment, situated in the County of Oakland, City of Rochester Hills, State of Michigan, is described as follows:
North 210.90 feet of Lot 2, except the East 238.70 feet of SUPERVISOR'S AVON TOWNSHIP PLAT NO. 7 according to the plat thereof recorded in Liber 12 of Plats, Page 59 of Oakland County Records.

Also that part of vacated Bendalong Road described as beginning at a point distance S19°02'56"E 29.10 feet from the Northwest Corner; thence along a curve to the right, radius 1586.50 feet, chord bears S14°59'01"E 195.91 feet, distance of 196.03 feet; thence N87°13'47"W 51.61 feet, thence along a curve to the left, radius 1536.50 feet, chord bears N13°26'17"W 80.98 feet, a distance of 81.0 feet; thence N88°28'00"E 5.0 feet; thence N02°50'10"E 99.08 feet; thence N47°50'10"E 13.26 feet to the Point of Beginning.
Tax Item No. 15-35-226-001

BASIS OF BEARINGS:
BEARINGS BASED ON "SUPERVISOR'S AVON TWP. PLAT NO. 7" NORTH LINE OF SECTION 35, N87°09'50"E

SURVEYOR'S NOTES:
NUMEROUS PROPERTY IRONS AND MONUMENTS WERE FOUND THAT CLOSELY MATCHED THE "BROOKLANDS SUB" PLAT OF THIS AREA BUT WERE FOUND TO BE APPROX. 16' WEST OF THE IRONS AND MONUMENTS FOUND FOR THE "SUPERVISOR'S AVON TWP. PLAT NO. 7"

(M) FIELD MEASURED DISTANCE AND/OR BEARING
(R) RECORDED DISTANCE AND/OR BEARING TAKEN FROM "SUPERVISOR'S AVON TWP. PLAT NO. 7"
(V) DISTANCE AND/OR BEARING TAKEN VACATED BENDELLOW ROAD DESCRIPTION RECORDED IN LIBER 47898 PAGE 600.

B2 GENERAL BUSINESS DISTRICT
Maximum Height = 30'
Front Setback = 50'(N)
Side Setback = 0'(F,N), 50'(N) Total of 2 Side Yards Rear=50'(I)

!! CAUTION !!
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FLOODPLAIN NOTE:
ACCORDING TO THE NATIONAL FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 26125C0413F DATED SEPTEMBER 29, 2006 THE SUBJECT PARCEL IS LOCATED IN ZONE "X" WHICH IS DEFINED AS AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN.

Legal Description:
T3N., R11E., Section 35 Supervisors Avon Township Plat No. 7, North 210.90 feet of Lot 2, except the East 238.70 feet.
Also that part of vacated Bendalong Road described as beginning at a point distance S19°02'56"E 29.10 feet from the Northwest Corner; thence along a curve to the right, radius 1586.50 feet, chord bears S14°59'01"E 195.91 feet, distance of 196.03 feet; thence N87°13'47"W 51.61 feet; thence along a curve to the left, radius 1536.50 feet, chord bears N13°26'17"W 80.98 feet, a distance of 81.0 feet; thence N88°28'00"E 5.0 feet; thence N02°50'10"E 99.08 feet; thence N47°50'10"E 13.26 feet to the Point of Beginning.
Tax Item No. 15-35-226-001

CERTIFICATE
To SSRP Properties LLC, and First American Title Insurance Company.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS and includes Items 1, 2, 3, 4, 6(a), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 11(a), 16, and 18 of Table A thereof. The field work was completed on April 23, 2015. Date of Plat or Map: April 24, 2015.

Wes Lee O. Umlor
PS #56369
Diffin-Umlor and Associates LLC
53115 Grand River Avenue
New Hudson, Michigan 48165
Phone: (248) 437-7803 Fax: (866) 690-4307



53115 GRAND RIVER
NEW HUDSON, MI 48165
(P) 248-437-7803
(F) 866-960-4307

REVISIONS

NO.	DESCRIPTION

CLIENT:
Mrs. Swapna Chacko
2665 W. Hickory Grove
Bloomfield, MI 48302

ALTA | ACSM LAND TITLE SURVEY

These documents are instruments of service in which the verification or adaptation by Diffin-Umlor & Associates (DUA) for the specific purposes intended will be at Users sole risk and without liability or hold harmless DUA from all claims, damages, losses and expenses including attorneys' fees arising out of or from the use of these documents. The user's adaptation at rates to be agreed upon by User and DUA.

SECTION 35
TOWN 3 NORTH, RANGE 11 EAST
AVON TOWNSHIP
OAKLAND COUNTY, MICHIGAN

Date: 5-2-15
Drawn By: MD
P.E.: WES UMLOR
SCALE: 1 inch = 20 ft.
Job No.: 140801
Sheet No.

NORTH 1/4 CORNER
SECTION 35 T.3N., R.11E.
AVON TOWNSHIP
OAKLAND COUNTY
MICHIGAN
L. 14992, P.099 O.C.R.

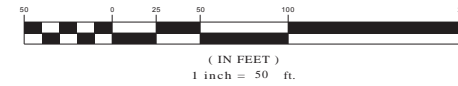
AUBURN ROAD

(66' WIDE R.O.W.)
N87°09'50"E(R & M) 2767.63'(M)
629.55'(M)

NORTHEAST CORNER
SECTION 35 T.3N., R.11E.
AVON TOWNSHIP
OAKLAND COUNTY
MICHIGAN
L.14992, P.105 O.C.R.



NORTH
GRAPHIC SCALE



SYMBOL	DESCRIPTION
F.I.R.	FOUND IRON ROD
F.C.I.R.	FOUND CAPPED IRON ROD
●	SET IRON
○	FOUND IRON
---	FENCE
- - - - -	SET FENCE

Legal Description:
T3N., R.11E, Sec. 35 "Supervisor's Avon Twp Plat No 7" North 210.90 Feet of Lot 2 Except the East 238.70 Feet.

BASIS OF BEARINGS:
BEARINGS BASED ON "SUPERVISOR'S AVON TWP. PLAT NO. 7" NORTH LINE OF SECTION 35, N87°09'50"E

SURVEYOR'S NOTES:
NUMEROUS PROPERTY IRONS AND MONUMENTS WERE FOUND THAT CLOSILY MATCHED THE "BROOKLANDS SUB" PLAT OF THIS AREA BUT WERE FOUND TO BE APPROX. ±6' WEST OF THE IRONS AND MONUMENTS FOUND FOR THE "SUPERVISOR'S AVON TWP. PLAT NO. 7"

OWNERSHIP OF THE PORTION OF THE VACATED BENDALOW STREET COULD NOT BE DETERMINED BY THE PUBLIC RECORDS FOUND AND REVIEWED DURING THIS SURVEY.



53115 GRAND RIVER
NEW HUDSON, MI 48165
(P):248-437-7803
(F):866-960-4307

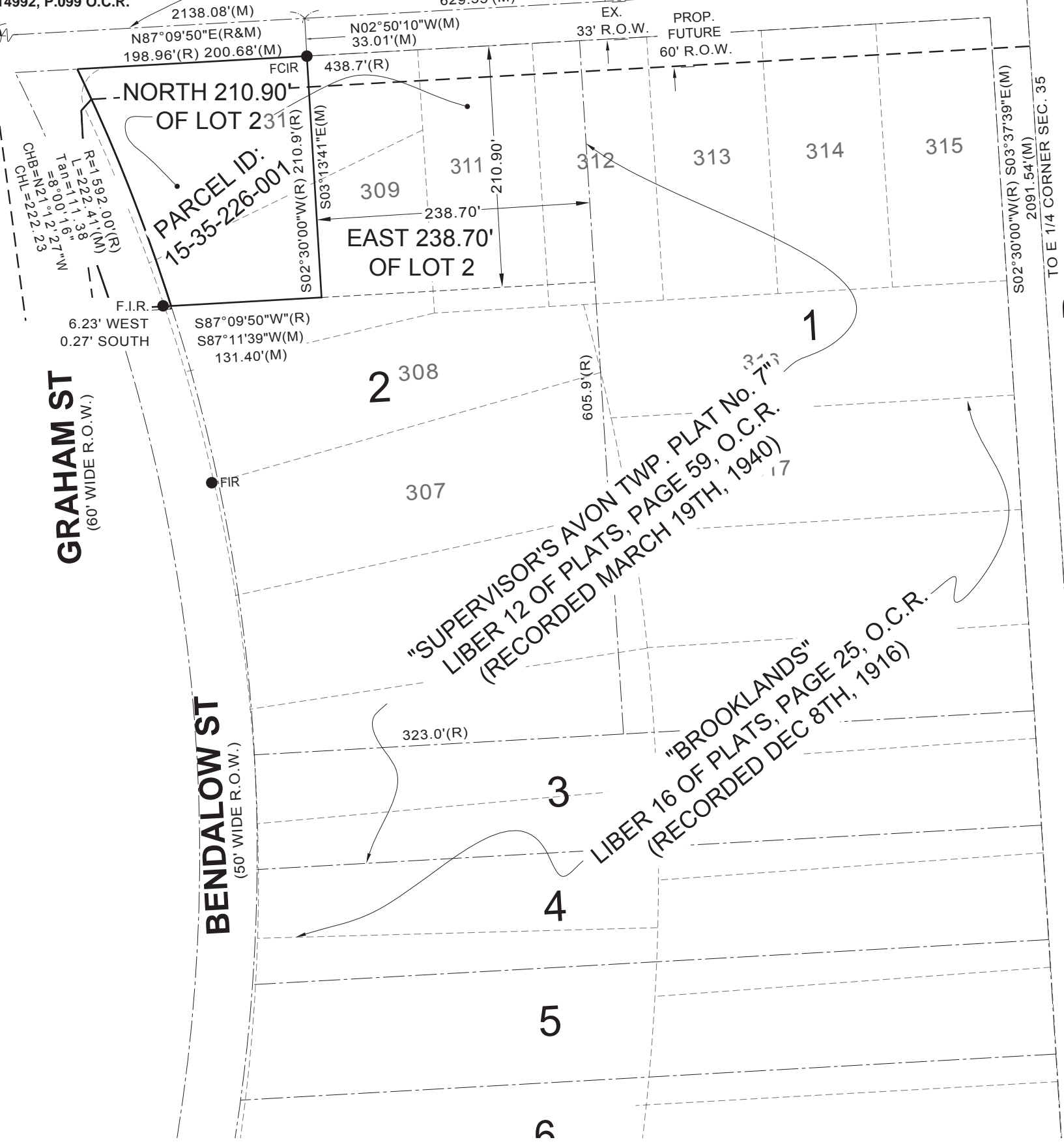
REVISIONS

CLIENT:
Mrs. Swapna Chacko
2665 W. Hickory Grove
Bloomfield, MI 48302
ALTA | ACSM LAND TITLE SURVEY

These documents are instruments of service in written verification or adaptation by Diffin-Umlor & Associates (DUA) for the specific purposes intended and shall not be used for any other purpose. DUA and User shall indemnify and hold harmless DUA from all claims, damages, losses and expenses, including attorneys' fees arising out of or resulting from the use of these documents. Adaptation will entitle DUA to further compensation at rates to be agreed upon by User and DUA.

SECTION 35
TOWN 3 NORTH, RANGE 11 EAST
AVON TOWNSHIP
OAKLAND COUNTY, MICHIGAN

Date: 5-2-15
Drawn By: MD
P.E.: WES UMLOR
SCALE: 1 inch = 50 ft.
Job No.: 140801
Sheet No.
2 of 2



NO.	DESCRIPTION	DATE
8	SITE PLAN APPROVAL REV.	02/10/16
9	SITE PLAN APPROVAL SUBMITTAL #1	01/15/16
8	REVISION-GODDARD REVIEW	12/07/15
1	REVISION-ROCHESTER HILLS REVIEW	12/23/15
6	REVISION-GODDARD REVIEW	11/15/15
5	SITE PLAN APPROVAL SUBMITTAL	10/29/15
4	REVISION-GODDARD REVIEW	10/25/15
3	REVISION	10/14/15
2	DATA / SF PLAN	10/07/15
1	REVIEW	08/26/15

NO.	DESCRIPTION	DATE

SHEET TITLE:
**MAIN LEVEL
FLOOR PLAN**

PROJECT NUMBER:
2015-104

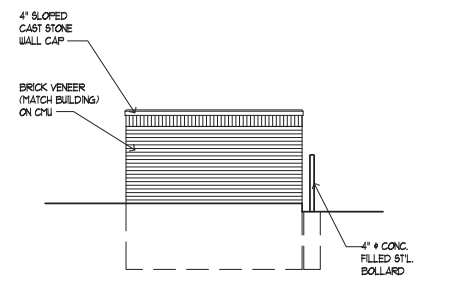
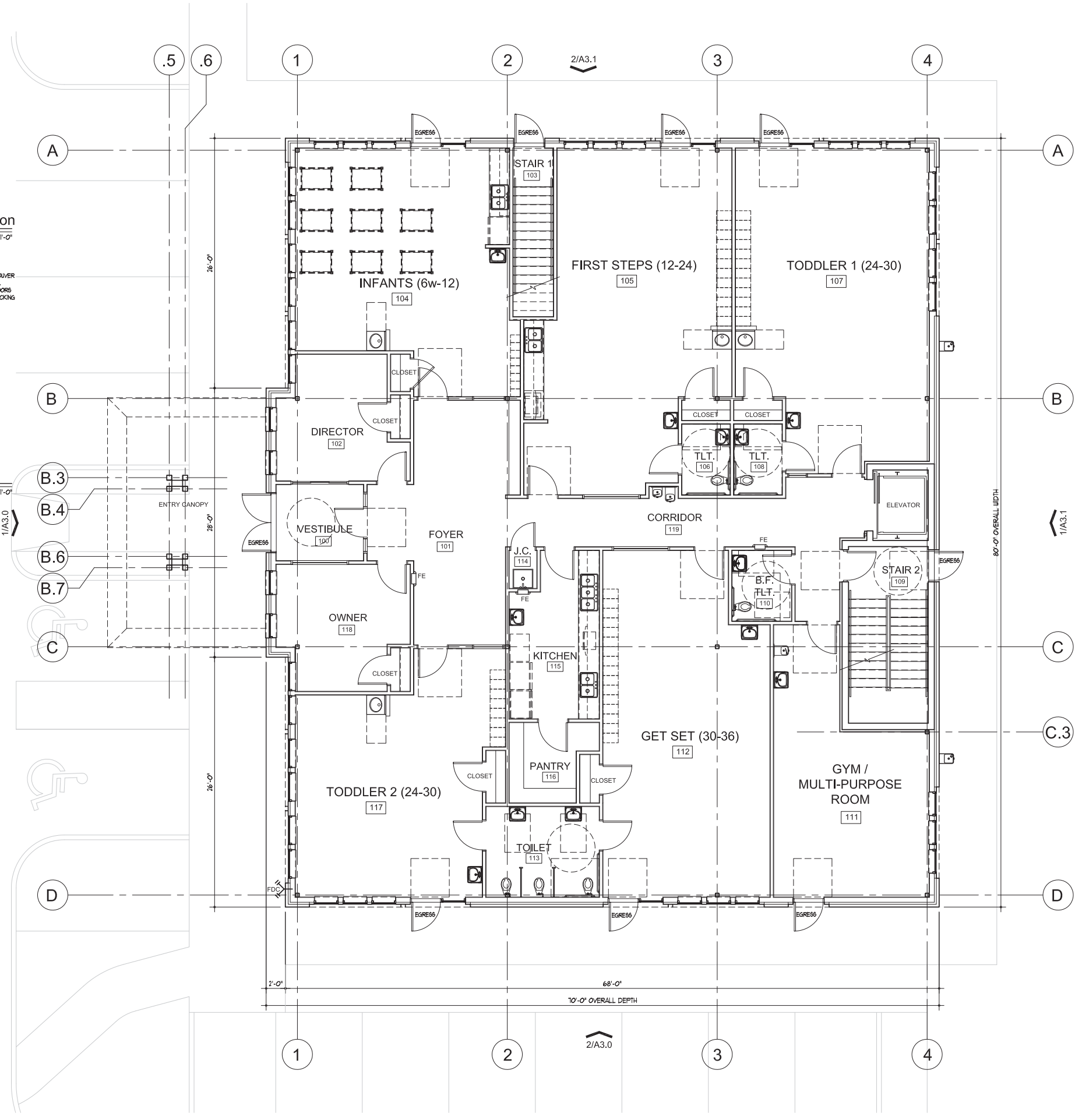
DRAWN BY:
KMB

CHECKED BY:
OT

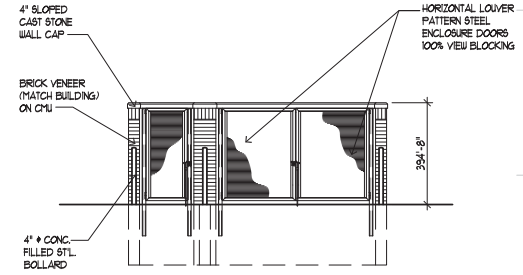
SHEET NUMBER:
A2.0

City File No.: 15-018

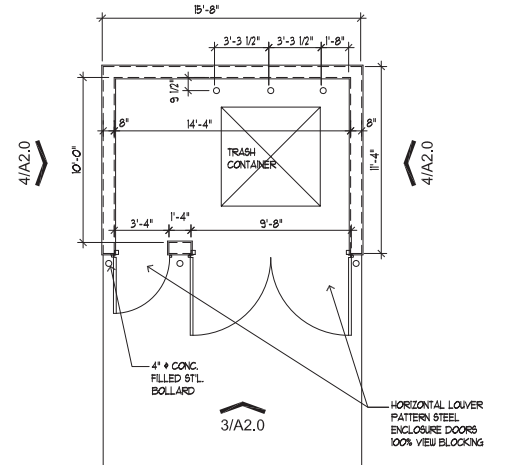
- REFERENCE CODES
- 2002 MICHIGAN BUILDING CODE
 - 2002 MICHIGAN PLUMBING CODE
 - 2002 MICHIGAN MECHANICAL CODE
 - 2002 INTERNATIONAL FUEL GAS CODE
 - 2004 NATIONAL ELECTRICAL CODE WITH PART 8 MICHIGAN AMENDMENTS
 - 2002 INTERNATIONAL FIRE CODE
 - ICC/ANSI A117.1 - 2009
 - 2000 NFPA 13
 - CHAPTER 13 OF 2012 MICHIGAN UNIFORM ENERGY CODE - 4 CHAPTER 5 2012 MICHIGAN UNIFORM ENERGY CODE, PART 10a - ANSI / ASHRAE 90.1-2007
 - MICHIGAN DEPARTMENT OF HUMAN SERVICES - LICENSING RULES FOR CHILD CARE CENTERS EFFECTIVE JANUARY 2, 2014



4/A2.0 trash enclosure north/south elevation
SCALE: 3/16"=1'-0"



3/A2.0 trash enclosure west elevation
SCALE: 3/16"=1'-0"



2/A2.0 trash enclosure floor plan
SCALE: 3/16"=1'-0"

Allowable Building Heights and Areas

NON-SEPARATED OCCUPANCIES (SECTION 508.3)
ALLOWABLE HEIGHT AND BUILDING AREAS (TABLE 503) PER FLOOR

CONSTRUCTION TYPE	USE GROUP	HEIGHT	ALLOWABLE AREA
II B	1-4	2 STORIES	13,000 SF
II B	6-1	2 STORIES	11,500 SF

ALLOWABLE HEIGHT FOR II B CONSTRUCTION IS 55'-0"

HEIGHT MODIFICATIONS (SECTION 504)
BUILDING EQUIPPED WITH FIRE SPRINKLER SYSTEM (SECTION 504.2)
INCREASE HEIGHT BY 20'-0" AND ALLOWABLE STORIES BY (1)

NON-SEPARATED OCCUPANCIES (SECTION 508.3)
BASED ON INSTITUTIONAL (1-4) AS MOST RESTRICTIVE USE GROUP

INSTITUTIONAL (1-4)
FRONTAGE INCREASE: 100 X ((300' (OPEN)/300' (TOTAL)) - 25) 1/4 15%
SPRINKLER SYSTEM INCREASE: 200%
AREA INCREASE: 13,000 + (13,000 X 15 / 100) + (13,000 X 200 / 100) = 48,150 SF

FLOOR 1: 5,496 SF. LESS THAN 48,150 SF. (OK)
FLOOR 2: 5,496 SF. LESS THAN 48,150 SF. (OK)
BASEMENT AREA: 5,200 SF. LESS THAN 48,150 SF. (OK)

OK AS A NON-SEPARATED OCCUPANCY BUILDING
NO REQUIRED SEPARATION OF OCCUPANCY

1/A2.0 main level floor plan
5,496 GROSS SQUARE FEET

SCALE: 3/16" = 1'-0"

BUILDING DATA
Main Level: 5,496 GROSS SQUARE FEET
Upper Level: 5,496 GROSS SQUARE FEET
Total: 10,992 GROSS SQUARE FEET

BASEMENT: 5,200 NET SQUARE FEET

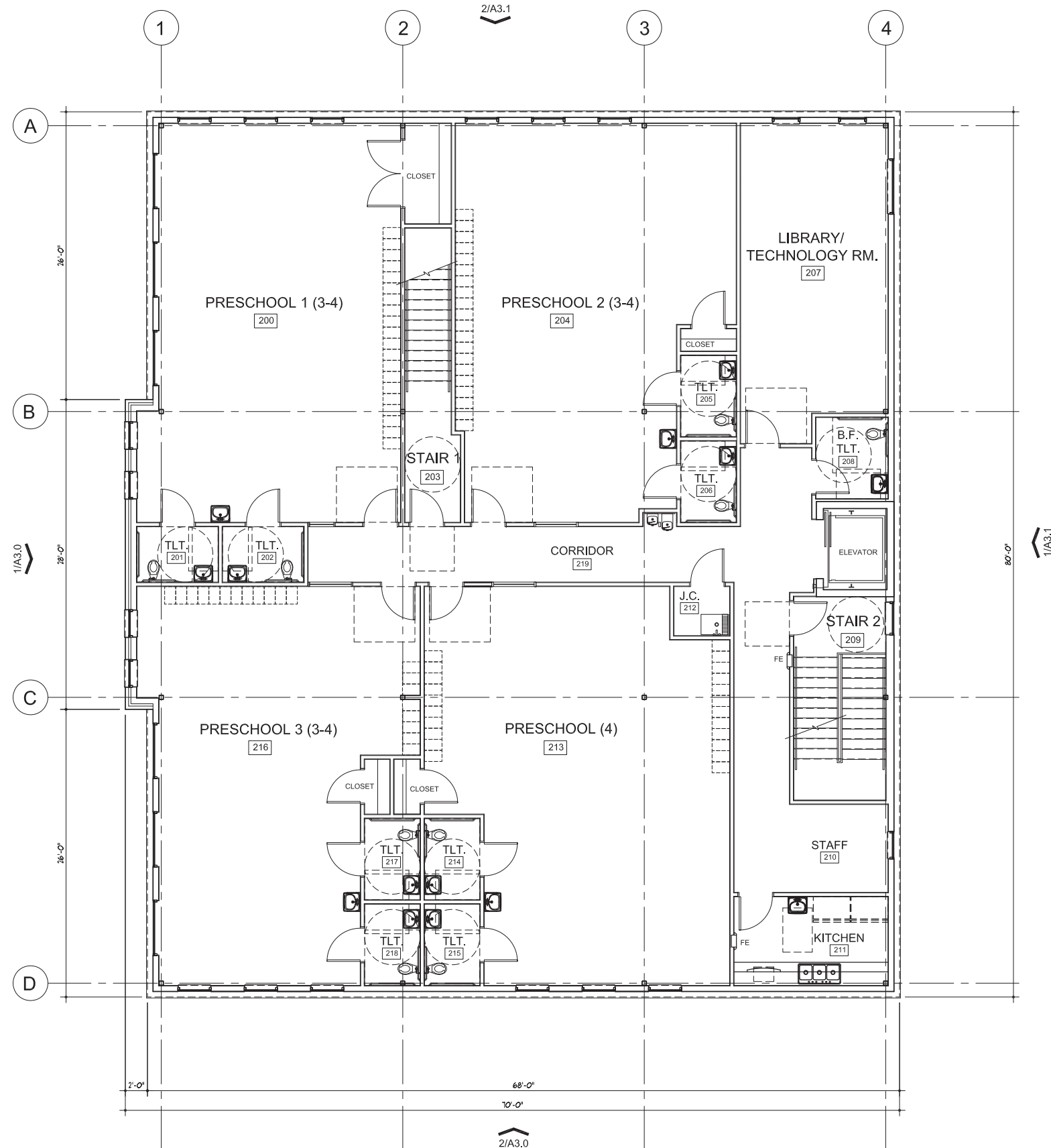
BUILDING HEIGHT: 2 STORIES
26'-4" (28'-0" AT FRONT ENTRY)

USE GROUPS: MAIN & UPPER:
I-4 (INSTITUTIONAL - CHILD DAY CARE)
BASEMENT:
S-1 (STORAGE-MODERATE HAZARD)

BUILDING TO BE NONSEPARATED OCCUPANCIES USING I-4 USE AS MOST RESTRICTIVE

CONSTRUCTION TYPE: II B - SPRINKLED

PROPOSED USE: CHILD DAY CARE FACILITY



1/A2.1 upper level floor plan
5,496 GROSS SQUARE FEET

SCALE: 3/16" = 1'-0"

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BmK DESIGN+PLANNING, LLC
 208 South Alice Avenue · Rochester · Michigan · 48307
 Ph 248.303.1446

PROJECT:
**Proposed
 Goddard School**
 820 East Auburn Road
 Rochester Hills, MI 48307

CLIENT:
**SSRP Properties,
 LLC**
 2665 West Hickory Grove Rd.
 Bloomfield Hills, MI 48302

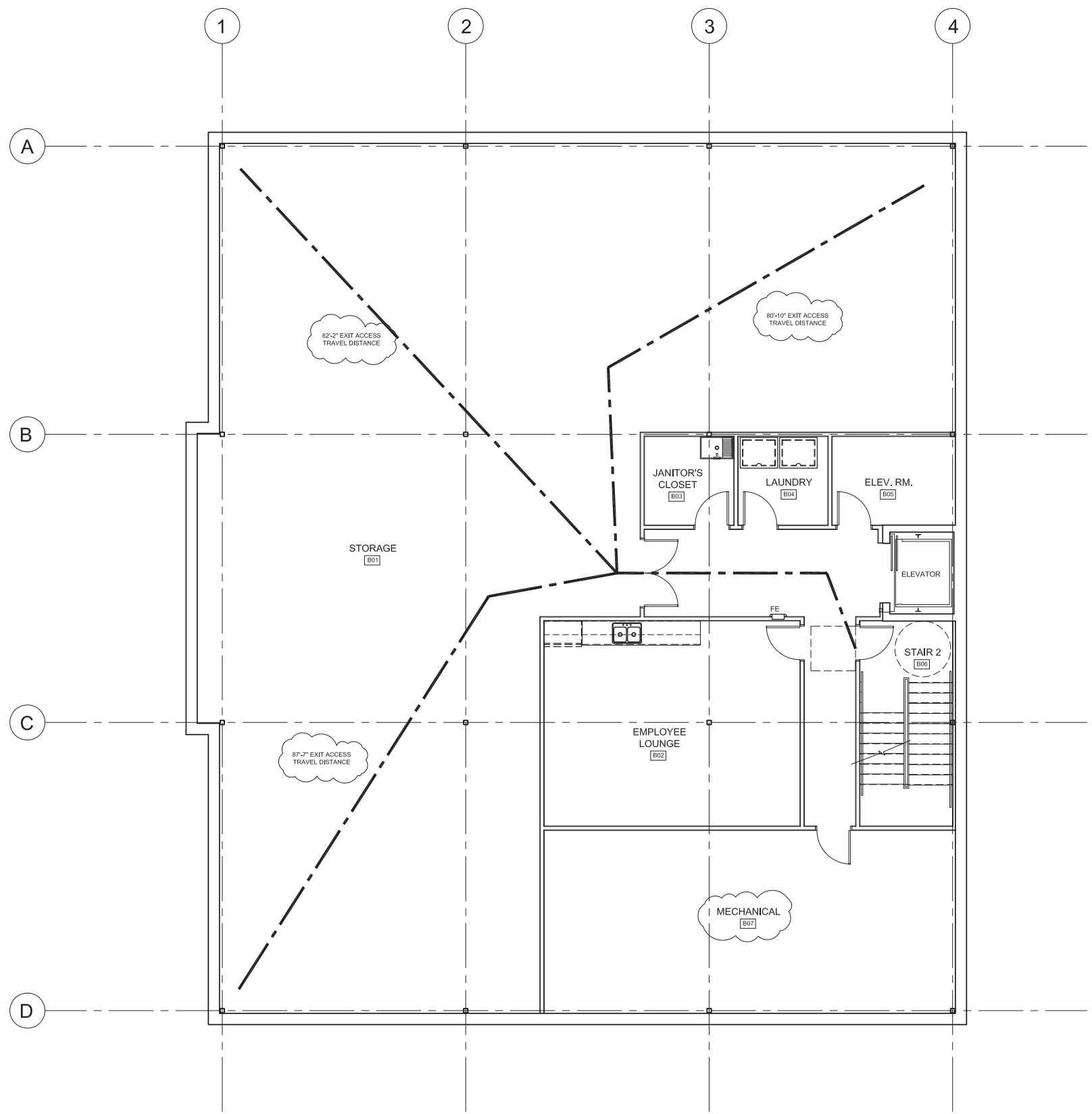
NO.	DESCRIPTION	DATE
5	SITE PLAN APPROVAL SUBMITTAL #1	10/15/16
8	REVISION-GODDARD REVIEW	12/01/16
1	REVISION-ROCHESTER HILLS REVIEW	1/23/17
6	REVISION-GODDARD REVIEW	1/15/17
9	SITE PLAN APPROVAL SUBMITTAL #2	10/25/16
4	REVISION-GODDARD REVIEW	10/25/16
3	REVISION	10/14/16
2	DATA / SF PLAN	10/12/16
1	REVIEW	08/26/16

SHEET TITLE:
**UPPER LEVEL
 FLOOR PLAN**

PROJECT NUMBER:
 2015-104
 DRAWN BY:
 KMB
 CHECKED BY:
 OT

SHEET NUMBER:
A2.1
 City File No.: 15-018

NO CHANGES THIS SHEET



BASEMENT OCCUPANT LOAD & EXIT ANALYSIS

MAXIMUM OCCUPANT LOAD (TABLE 1004.1.2)

EMPLOYEE LOUNGE UNCONCENTRATED (TABLES + CHAIRS)	421 SF / 15 =	28 OCCUPANTS
JANITOR'S CLOSET	64 SF / 300 =	21 OCCUPANTS
LAUNDRY	64 SF / 300 =	21 OCCUPANTS
ELEV. ROOM	88 SF / 300 =	29 OCCUPANTS
STORAGE	3406 SF / 300 =	114 OCCUPANTS
MECHANICAL	421 SF / 300 =	14 OCCUPANTS
TOTAL		408 OCCUPANTS

TABLE 1021.2 (2) STORES WITH ONE EXIT OR ACCESS TO ONE EXIT

OCCUPANCY: S-1

MAXIMUM OCCUPANTS PER STORY (BASEMENT): 49 OCCUPANTS

CALCULATED OCCUPANT LOAD: 40.82 OCCUPANTS - OK

MAXIMUM EXIT ACCESS TRAVEL DISTANCE: 100'-0"

MEASURED MAXIMUM ACCESS TRAVEL DISTANCE: SEE PLAN - OK

NO.	DESCRIPTION	DATE
5	SITE PLAN APPROVAL SUBMITTAL	10/15/16
8	REVISION-GODDARD REVIEW	12/01/16
1	REVISION-ROCHESTER HILLS REVIEW	1/23/17
6	REVISION-GODDARD REVIEW	1/17/17
3	SITE PLAN APPROVAL SUBMITTAL	10/25/16
4	REVISION-GODDARD REVIEW	10/25/16
3	REVISION	10/14/16
2	DATA / SF PLAN	10/12/16
1	REVISION	08/26/16

1/A2.2 lower level floor plan
5,200 NET SQUARE FEET

SCALE: 3/16" = 1'-0"

NO.	DESCRIPTION	DATE
9	SITE PLAN APPROVAL SUBMITTAL	10/15/16
8	REVISION-GODDARD REVIEW	10/01/16
7	REVISION-ROCHESTER HILLS REVIEW	10/23/16
6	REVISION-GODDARD REVIEW	10/15/16
5	SITE PLAN APPROVAL SUBMITTAL	10/29/16
4	REVISION-GODDARD REVIEW	10/28/16
3	REVISION	10/14/16
2	DATA / SF PLAN	10/02/16
1	REVIEW	08/26/16

NO.	DESCRIPTION	DATE

SOUTH SIDE FACADE TRANSPARENCY CALCULATIONS
GROUND FLOOR NON-RESIDENTIAL USE -
70% MINIMUM MEASURE FROM 2' TO 8'
210 SF / 408 SF = 51.47% TRANSPARENCY

UPPER FLOOR NON-RESIDENTIAL USE -
30% MINIMUM MEASURE FROM FLOOR TO FLOOR
90 SF / 680 SF = 13.23% TRANSPARENCY

SOUTH SIDE BUILDING MATERIALS CALCULATIONS
1,680 SQUARE FOOT WALL TOTAL

PRIMARY BUILDING MATERIAL (BRICK &
FIBER CEMENT SIDING) - 60% MINIMUM
1,380 SF / 1,680 SF = 82.1% COVERAGE

ACCENT BUILDING MATERIAL
(GLASS) - UP TO 40%
300 SF / 1,680 SF = 17.9% COVERAGE



2/A3.0 south elevation

SCALE: 1/4" = 1'-0"

BUILDING HEIGHT NOTE:
BUILDING HEIGHT IS DIMENSIONED IN ACCORDANCE
WITH THE DEFINITION AS PROVIDED IN THE CITY OF
ROCHESTER HILLS ZONING ORDINANCE SECTION
138-13.101.

ROOF TOP MECHANICAL EQUIPMENT NOTE:
EXTENT OF MECHANICAL EQUIPMENT ON ROOF IS NOT
YET DETERMINED. ANY EQUIPMENT PROPOSED ON THE
ROOF SHALL BE SCREENED IN ACCORDANCE TO
ORDINANCE REQUIREMENTS.

WEST SIDE FACADE TRANSPARENCY CALCULATIONS
GROUND FLOOR NON-RESIDENTIAL USE -
70% MINIMUM MEASURE FROM 2' TO 8'
312 SF / 480 SF = 65% TRANSPARENCY

UPPER FLOOR NON-RESIDENTIAL USE -
30% MINIMUM MEASURE FROM FLOOR TO FLOOR
210 SF / 800 SF = 26.25% TRANSPARENCY

WEST SIDE BUILDING MATERIALS CALCULATIONS
1,920 SQUARE FOOT WALL TOTAL

PRIMARY BUILDING MATERIAL (BRICK &
FIBER CEMENT SIDING) - 60% MINIMUM
1,396 SF / 1,920 SF = 72.7% COVERAGE

ACCENT BUILDING MATERIAL
(GLASS) - UP TO 40%
524 SF / 1,920 SF = 27.3% COVERAGE



1/A3.0 west (graham drive) elevation

SCALE: 1/4" = 1'-0"

NO.	DESCRIPTION	DATE
5	SITE PLAN APPROVAL SUBMITTAL #1	10/15/16
8	REVISION-GODDARD REVIEW	11/01/16
1	REVISION-ROCHESTER HILLS REVIEW	11/23/16
6	REVISION-GODDARD REVIEW	11/15/16
3	SITE PLAN APPROVAL SUBMITTAL #2	10/29/16
4	REVISION-GODDARD REVIEW	10/25/16
3	REVISION	10/14/16
2	DATA / SP PLAN	10/07/16
1	REVIEW	08/26/16

NO.	DESCRIPTION	DATE



NORTH SIDE FACADE TRANSPARENCY CALCULATIONS
 GROUND FLOOR NON-RESIDENTIAL USE -
 70% MINIMUM MEASURE FROM 2' TO 8'
 243 SF / 408 SF = 59.5% TRANSPARENCY

UPPER FLOOR NON-RESIDENTIAL USE -
 30% MINIMUM MEASURE FROM FLOOR TO FLOOR
 120 SF / 680 SF = 17.6% TRANSPARENCY

NORTH SIDE BUILDING MATERIALS CALCULATIONS
 1,680 SQUARE FOOT WALL TOTAL

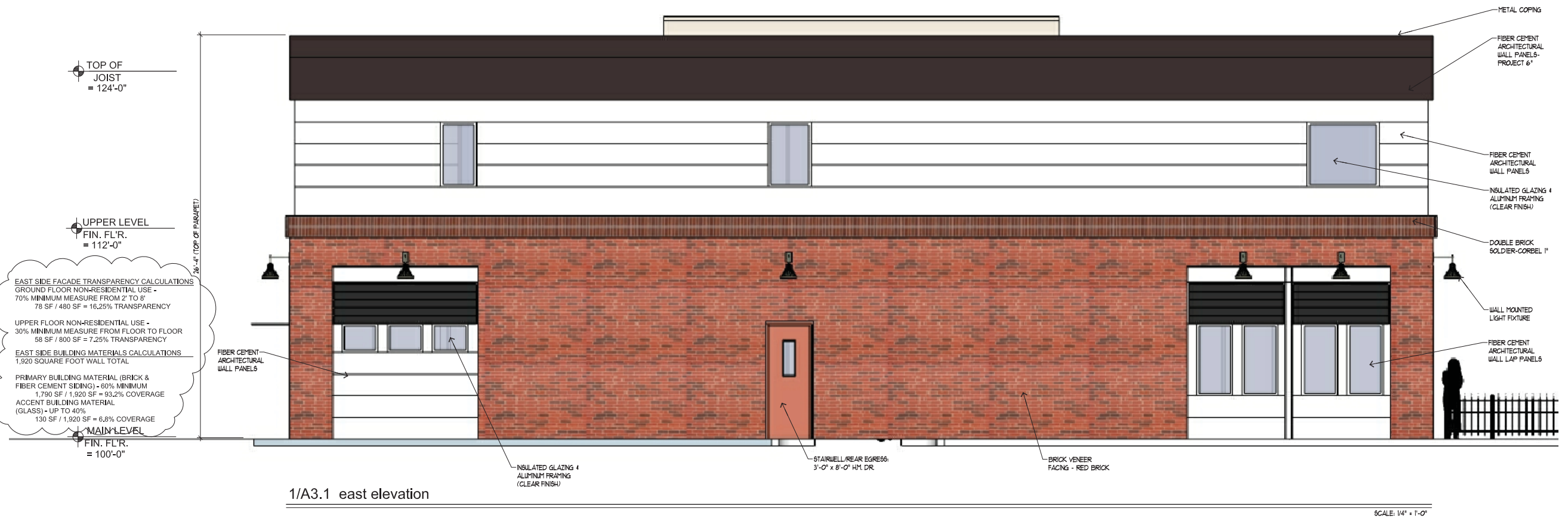
PRIMARY BUILDING MATERIAL (BRICK & FIBER CEMENT SIDING) - 60% MINIMUM
 1,257 SF / 1,680 SF = 74.8% COVERAGE

ACCENT BUILDING MATERIAL (GLASS) - UP TO 40%
 423 SF / 1,680 SF = 25.2% COVERAGE

SCALE: 1/4" = 1'-0"

BUILDING HEIGHT NOTE:
 BUILDING HEIGHT IS DIMENSIONED IN ACCORDANCE WITH THE DEFINITION AS PROVIDED IN THE CITY OF ROCHESTER HILLS ZONING ORDINANCE SECTION 138-13.101.

ROOF TOP MECHANICAL EQUIPMENT NOTE:
 EXTENT OF MECHANICAL EQUIPMENT ON ROOF IS NOT YET DETERMINED, ANY EQUIPMENT PROPOSED ON THE ROOF SHALL BE SCREENED IN ACCORDANCE TO ORDINANCE REQUIREMENTS.



EAST SIDE FACADE TRANSPARENCY CALCULATIONS
 GROUND FLOOR NON-RESIDENTIAL USE -
 70% MINIMUM MEASURE FROM 2' TO 8'
 78 SF / 480 SF = 16.25% TRANSPARENCY

UPPER FLOOR NON-RESIDENTIAL USE -
 30% MINIMUM MEASURE FROM FLOOR TO FLOOR
 58 SF / 800 SF = 7.25% TRANSPARENCY

EAST SIDE BUILDING MATERIALS CALCULATIONS
 1,920 SQUARE FOOT WALL TOTAL

PRIMARY BUILDING MATERIAL (BRICK & FIBER CEMENT SIDING) - 60% MINIMUM
 1,790 SF / 1,920 SF = 93.2% COVERAGE

ACCENT BUILDING MATERIAL (GLASS) - UP TO 40%
 130 SF / 1,920 SF = 6.8% COVERAGE

SCALE: 1/4" = 1'-0"

NO.	DESCRIPTION	DATE
9	SITE PLAN APPROVAL SUBMITTAL	10/15/16
8	REVISION-GODDARD REVIEW	10/01/16
7	REVISION-ROCHESTER HILLS REVIEW	11/23/16
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5	SITE PLAN APPROVAL SUBMITTAL	10/29/16
4	REVISION-GODDARD REVIEW	10/25/16
3	REVISION	10/14/16
2	DATA / SF PLAN	10/02/16
1	REVIEW	08/26/16

SHEET TITLE:
**PLAY STRUCTURE
ELEVATIONS &
FENCE DETAILS**

PROJECT NUMBER:
2015-104

DRAWN BY:
KMB

CHECKED BY:
OT

SHEET NUMBER:
A3.2

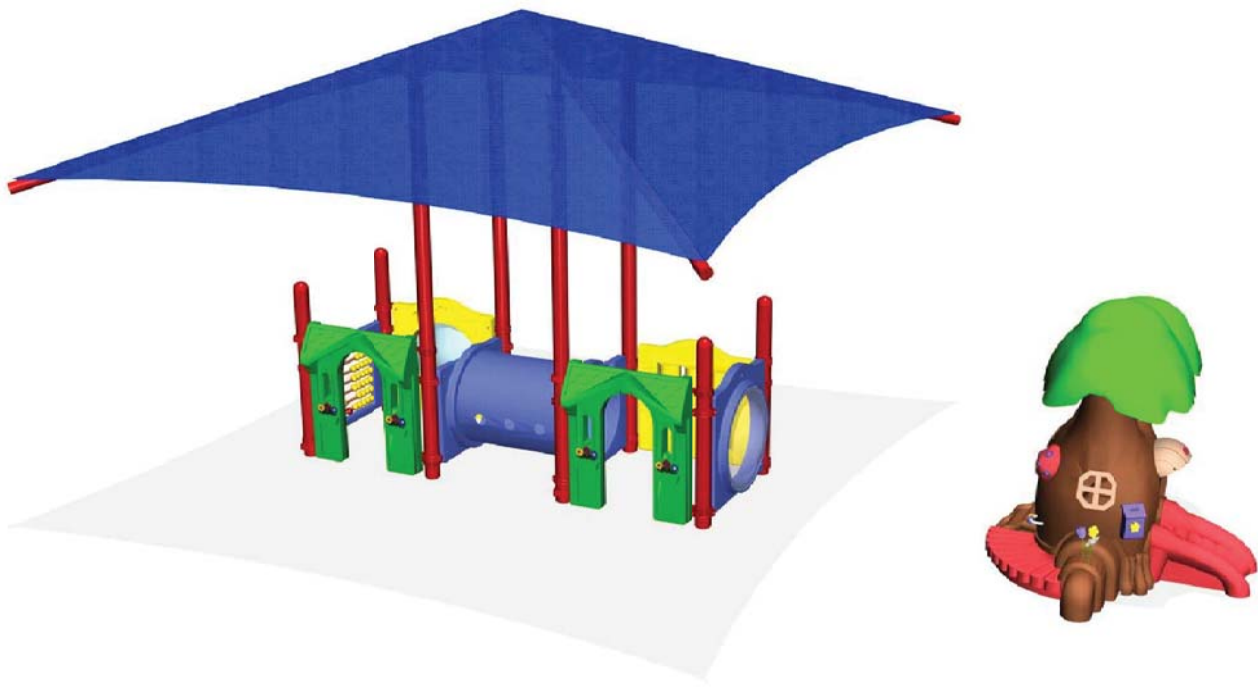
City File No.: 15-018



6'-0" HEIGHT VINYL FENCE
COLOR: WHITE
CERTAINTED BUFFTECH
CHESTERFIELD SMOOTH

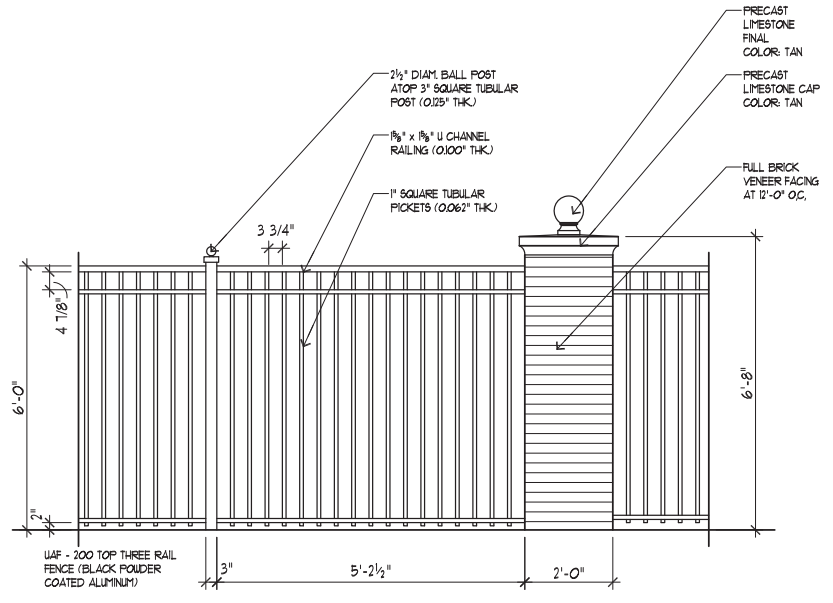
4/A3.2 east and south property fence detail

FINAL DESIGN DRAWINGS TO BE PROVIDED AT BUILDING PERMIT APPLICATION NO SCALE



2/A3.1 infant / toddler play structure

SCALE: NONE



3/A3.2 auburn road pillar and fence detail

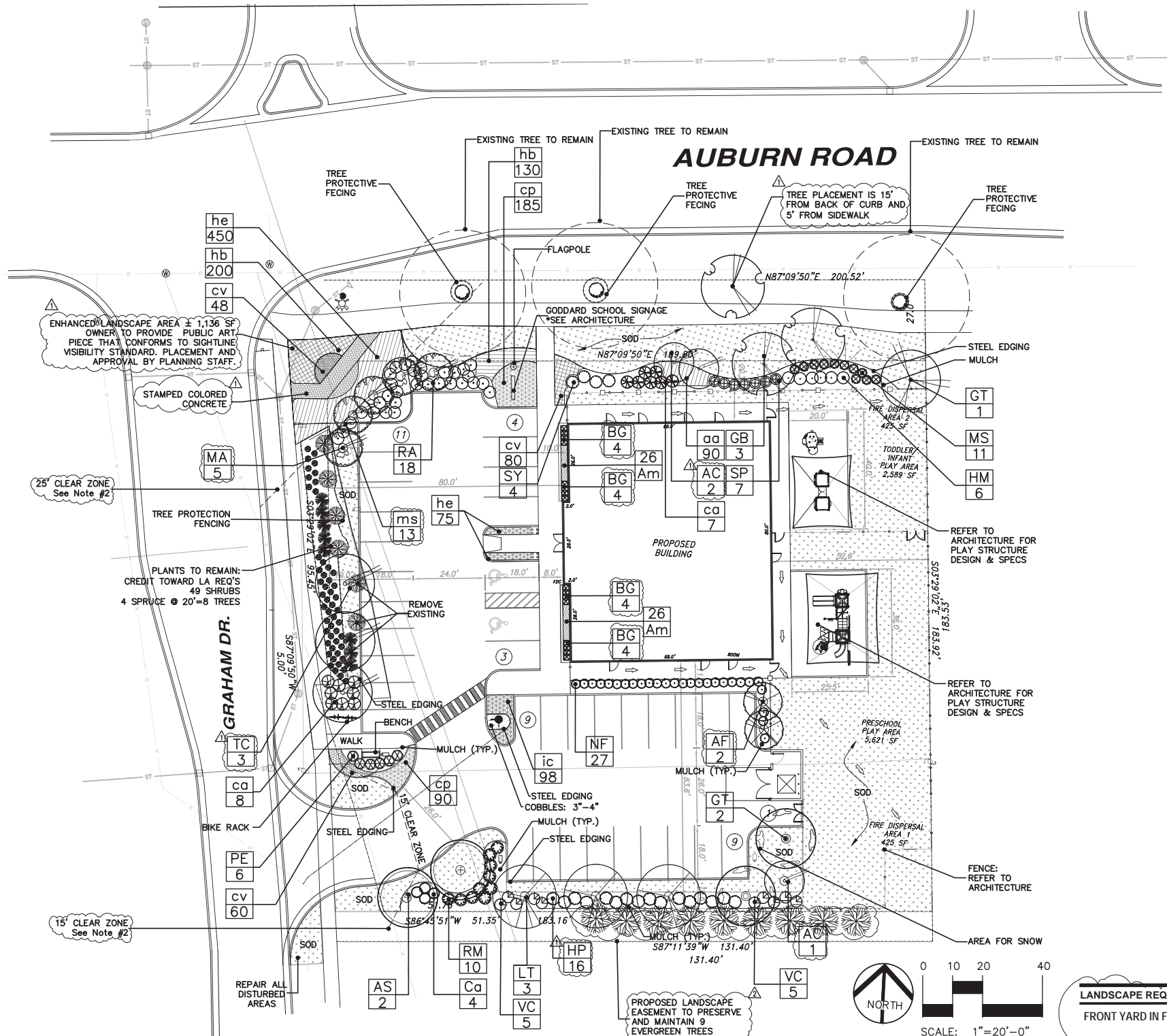
FINAL DESIGN DRAWINGS TO BE PROVIDED AT BUILDING PERMIT APPLICATION NO SCALE



1/A3.1 preschool play structure

SCALE: NONE

NO CHANGES THIS SHEET



GODDARD SCHOOL PLANT LIST:

KEY	QTY.	SIZE	BOTANICAL / COMMON NAME	ROOT	UNIT PRICE	
SHADE TREES						
AF	2	3"	Acer x freemanii 'Celzam' / Autumn Blaze Maple	B&B	\$400	
GB	3	3"	Ginkgo biloba 'Autumn Gold' / Autumn Gold Maidenhair Tree	B&B	\$450	
GT	2	3"	Gleditsia t. inermis 'Skycole' / Skyline Honey Locust	B&B	\$400	
LT	3	3"	Litriodendron Tulipifera	B&B	\$400	
TC	3	3"	Tilia cordata 'Corzam' / Corzam Linden	B&B	\$400	
AS	2	3"	Acer saccharum / Sugar Maple	B&B	\$400	
					SUBTOTAL	\$8150
ORNAMENTAL TREE						
AC	3	2"	Amelanchier canadensis / 'Sprizam' Sprizam Serviceberry	B&B	\$250	
MA	5	2"	Malus 'Snowdrift' / Snowdrift Crab	B&B	\$250	
					SUBTOTAL	\$2000
SHRUBS						
HM	6	36"	Hydrangea m. / Glowing Embers Hydrangea	Cont.	\$65	
RA	18	24"	Ribes Aupinum 'Greenmound' / Greenmound Currant	Cont.	\$40	
RM	10	36"	Rosa 'Meivahyn' / Knockout Rose	Cont.	\$45	
SY	4	36"	Syringa x Patula 'Miss Kimi' / Miss Kim Lilac	Cont.	\$45	
SP	7	24"	Spiraea Japonica 'Little Princess' / Little Princess Spiraea	Cont.	\$35	
HP	16	36"	Hydrangea paniculata 'Limelight' / 'Limelight' Hydrangea	Cont.	\$65	
VC	10	36"	Viburnum Carlesii / Korean Spice Viburnum	Cont.	\$50	
BG	16	24"	Buxus x 'Green Gem' / Green Gem Boxwood	Cont.	\$35	
					SUBTOTAL	\$4085
GRASSES						
ca	19	3" O.C.	Calamagrostis x a. 'Karl Foerster' / Karl Foerster's feather Reed	Cont.	\$15	
ms	24	3" O.C.	Miscanthus sinensis 'Little Kitten' / 'Little Kitten' Jap. Silvergrass	Cont.	\$15	
pe	6	3" O.C.	Pennisetum alopecuroides 'Little Bunny' / 'Little Bunny F. Grass	Cont.	\$15	
cp	275	12" O.C.	Carex Pennsylvanica / Pennsylvania Sedge	Cont.	\$10	
					SUBTOTAL	\$3485
PERENNIALS						
aa	90	12"	O.C. Astilbe x arendsii 'Glut' / 'Glut' Astilbe - mixed variety	Cont.	\$15	
am	52	12"	O.C. Allium 'Millennium' / 'Millennium' Ornamental Chive	Cont.	\$15	
NF	27	24"	Ht. Nepeta x faassenii 'Six Hills Giant' / 'Six Hills Giant	Cont.	\$15	
cv	188	12"	O.C. Coreopsis verticillata 'Zagreb' / 'Zagreb' Threadleaf Coreopsis	Cont.	\$15	
hb	350	12"	O.C. Heuchera 'Berry Smoothie' / 'Berry Smoothie Coral Bells	Cont.	\$15	
he	525	12"	O.C. Hemerocallis 'Black Eyed Stell' / 'Black Eyed Stella' Daylily	Cont.	\$15	
ic	98	12"	O.C. Imperata cykindrica 'Red Baron' / Japanese Blood Grass	Cont.	\$15	
					SUBTOTAL	\$17775
MATERIALS						
+/-			SOD	SY		
+/-			Mulch (To Be Determined By Contractor)	LBS		
+/-			Plant Mix (To Be Determined By Contractor)	LBS		
+/-			Terra Sorb (Or Approved Equal)	LBS		
+/-			Edging LF			
+/-			Irrigation (LUMP SUM)			

PRELIMINARY LA COST ESTIMATE \$ 35,495

LANDSCAPE MATERIAL REQUIREMENTS:

EVERGREEN = 10' HT.
SHADE TREES = 3" cal.
ORNAMENTAL TREES = 1.5" cal.

THE REMAINING CREDITS FOR 24 REQUIRED TREES WILL BE PUT INTO THE CITY TREE FUND.

THIS PARCEL IS EXEMPT FROM CITY TREE PROTECTION ORDINANCE.

NOTES:

- ALL LANDSCAPED AREAS TO BE WATERED BY AUTOMATIC WATERING SYSTEM. AN IRRIGATION SYSTEM CONCEPT FOR THE LANDSCAPE PLAN WILL BE PROVIDED PRIOR TO THE FINAL MEETING.
- IT IS THE RESPONSIBILITY OF THE OWNER TO ENSURE ALL PLANT MATERIAL INSTALLED IN THE LANDSCAPED AREAS WITHIN THE IDENTIFIED CLEAR ZONES, WILL NOT EXCEED AN UNMAINTAINED, MATURE HEIGHT OF 30 INCHES IN PERPETUITY.

LANDSCAPE MATERIAL QUANTITIES:

	REQUIRED	EXISTING	PROPOSED
DECIDUOUS TREES	29	3	15
EVERGREEN TREES	0	13	0
ORNAMENTAL TREES	25	0	8
SHRUBS	84	49	71
TOTAL: 54 (REQ. TREES)	39 (PROPOSED + EXISTING TREES) =	15 REMAINING TREE CREDITS	

15 TREES X \$200 PER TREE = \$3,000



PROPOSED BENCH DETAIL - AR16
Artisan flat bench 6' manufactured by Keystone Ridge or Approved Equal



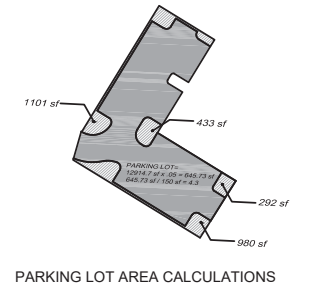
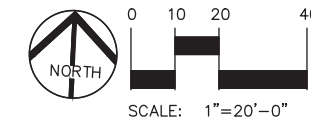
PROPOSED BIKE RACK - BIKE BIKE
Parks two to four bikes, manufactured by Dero or Approved Equal

CITY OF ROCHESTER HILLS FORESTRY NOTES

- PRIOR APPROVAL IS REQUIRED TO PLANT ANY TREE OR SHRUB ON THE PUBLIC RIGHT-OF-WAY. ALL TREES AND SHRUBS MUST BE PLANTED AT LEAST 10' FROM THE EDGE OF THE PUBLIC ROAD. SHADE TREES AND SHRUBS MUST BE PLANTED AT LEAST 5' FROM THE EDGE OF THE PUBLIC WALKWAY. EVERGREEN AND ORNAMENTAL TREES MUST BE PLANTED AT LEAST 10' FROM THE EDGE OF THE PUBLIC WALKWAY.
- NO TREES OR SHRUBS MAY BE PLANTED WITHIN THE TRIANGULAR AREA FORMED AT THE INTERSECTION OF ANY STREET RIGHT-OF-WAY LINES AT A DISTANCE ALONG EACH LINE OF 25' FROM THEIR POINT OF INTERSECTION. ALL TREES AND SHRUBS MUST BE AT LEAST 10' FROM ANY HYDRANT. SHADE AND EVERGREEN TREES MUST BE AT LEAST 15' AWAY FROM THE NEAREST OVERHEAD WIRE. TREES MUST BE PLANTED A MINIMUM OF 5' FROM AN UNDERGROUND UTILITY. UNLESS THE CITY'S LANDSCAPE ARCHITECT REQUIRES A GREATER DISTANCE.
- PRIOR TO THE RELEASE OF THE PERFORMANCE BOND, THE CITY OF ROCHESTER HILLS FORESTRY DIVISION NEEDS TO INSPECT ALL TREES, EXISTING OR PLANTED, TO IDENTIFY ANY THAT POSE A HAZARD TO THE SAFE USE OF PUBLIC RIGHT-OF-WAY. FORESTRY MAY REQUIRE THE DEVELOPER TO REMOVE, AND POSSIBLY REPLACE, ANY SUCH TREES.

CITY OF ROCHESTER HILLS NOTES

- ALL LANDSCAPE AREAS MUST BE IRRIGATED. WATERING WILL ONLY OCCUR BETWEEN THE HOURS OF 12 AM AND 5 AM. IRRIGATION PLAN TO BE PROVIDED AT FINAL SUBMITTAL.
- SIGNS SHALL MEET THE REQUIREMENTS OF CHAPTER 134 OF THE CITY'S CODE OF ORDINANCES.



LANDSCAPE REQUIREMENTS

FRONT YARD IN FB DISTRICT ARTERIAL (Auburn: ± 200 ft.)	REQUIRED	EXISTING	PROPOSED	BUFFER D (South: ± 183 ft.)	REQUIRED	EXISTING	PROPOSED
10 ft. width				8 ft. width with Green wall			
Deciduous Shade Trees	2 per 100' = 2 x 2 = (4) = 4	0	2	Deciduous Shade Trees	2.5 per 100' = 2.5 x 1.8 = (4.5) = 5	0	5
Ornamental Trees	4 per 100' = 4 x 2 = (8) = 8	0	5	Ornamental Trees	1.5 per 100' = 1.5 x 1.8 = (2.7) = 3	0	1
Shrubs	12 per 100' = 12 x 2 = (24) = 24	0	25	Evergreen Trees	0	9	0
				Shrubs	0	10	25
RIGHT OF WAY (Auburn: ± 200 ft.)	REQUIRED	EXISTING	PROPOSED	PARKING LOT: PERIMETER (Graham: ± 75 ft.)	REQUIRED	EXISTING	PROPOSED
Deciduous Shade Trees	1 per 35' = 200 / 35 = (5.7) = 6	3	2	Deciduous Shade Trees	1 per 25' = 75 / 25 = (3) = 3	0	3
Ornamental Trees	1 per 60' = 200 / 60 = (3.3) = 3	0	0	Ornamental Trees	1 per 35' = 75 / 35 = (2.1) = 2	0	2
				Continuous Shrub Hedge	30' O.C. = 900' / 30' = (30) = 30	49	0
FRONT YARD IN FB DISTRICT MINOR (Graham: ± 180 ft.)	REQUIRED	EXISTING	PROPOSED	PARKING LOT: PERIMETER (Auburn: ± 40 ft.)	REQUIRED	EXISTING	PROPOSED
5 ft. width				Deciduous Shade Trees	1 per 25' = 40 / 25 = (1.6) = 2	0	0
Ornamental Trees	3 per 100' = 3 x 1.8 = (5.4) = 5	2 (Evergreen)	8	Ornamental Trees	1 per 35' = 40 / 35 = (1.1) = 1	0	1
Shrubs	8 per 100' = 8 x 1.8 = (14.4) = 14	0	25	Continuous Shrub Hedge	30' O.C. = 480' / 30' = (16) = 16	0	18
				PARKING LOT: INTERIOR (Auburn: ± 12,914.7 sf.)	REQUIRED	EXISTING	PROPOSED
RIGHT OF WAY (Graham: ± 180 ft.)	REQUIRED	EXISTING	PROPOSED	5% of parking lot	12914.7 sf x .05 = 645.73 sf		
10 ft. width				Deciduous Shade Trees	1 per 150 sf = 645.73 / 150 sf = (4.3) = 4	0	4
Deciduous Shade Trees	1 per 35' = 180 / 35 = (5.14) = 5	2 (Evergreen)	0				
Ornamental Trees	1 per 60' = 180 / 60 = (3) = 3	0	8				

CONTRACTOR'S NOTE

The locations of existing underground utilities are shown in an approximate way only. The contractor shall determine the exact location of all existing utilities before commencing work. He agrees to be fully responsible for any and all damages which might be occasioned by his failure to exactly locate and preserve any and all underground utilities.

3 WORKING DAYS BEFORE YOU DIG CALL MISS DIG 1-800-482-7171 (TOLL FREE) for the location of underground utilities.

The contractor shall be responsible for adhering to all applicable local, state, and federal standards, specifications, and guidelines for construction.

GENERAL NOTES

CITY GENERAL NOTES

- ALL PLANT MATERIAL SHALL MEET CURRENT STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN AND APPROVED BY THE AMERICAN NATIONAL STANDARDS INSTITUTE, INC.
- ALL PLANT MATERIAL SHALL BE TRUE TO NAME IN CONFORMANCE TO THE CURRENT EDITION OF STANDARDIZED PLANT NAMES ESTABLISHED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURAL NOMENCLATURE, OR OTHER SOURCE ACCEPTED BY THE CITY.
- ALL PLANT MATERIAL SHALL BE NURSERY GROWN IN A NORTHERN CLIMATE; HARDY TO THE CLIMATE OF MICHIGAN; APPROPRIATE FOR THE SOIL; CLIMATIC AND ENVIRONMENTAL CONDITIONS; AND RESISTANT TO DISEASE AND INSECT ATTACK.
- A MINIMUM FOUR (4) INCHES OF TOPSOIL SHALL BE PROVIDED FOR ALL LAWN AREAS, GROUND COVERS, AND PLANTING BEDS.
- ARTIFICIAL PLANT MATERIAL IS PROHIBITED AND SHALL NOT BE USED TO MEET THE REQUIREMENTS OF THIS ARTICLE.
- LAWN AREAS SHALL BE PLANTED IN SPECIES OF GRASS NORMALLY GROWN IN MICHIGAN. GRASS MAY BE SODDED OR HYDRO-SEEDED, PROVIDED THAT ADEQUATE MEASURES ARE TAKEN TO MINIMIZE SOIL EROSION. SOD OR SEED SHALL BE CLEAN AND FREE OF WEEDS AND NOXIOUS PESTS OR DISEASE.
- A MINIMUM 4-INCH LAYER OF SHREDDED HARDWOOD BARK SHALL BE PLACED IN ALL PLANTER BEDS CONTAINING TREES OR SHRUBS AND AROUND THE BASE OF ALL TREES PLANTED WITHIN LAWN AREAS. ALL SHRUBS PLANTED WITHIN LAWN AREAS ARE TO BE PLANTED IN GROUPS AND MULCHED AS A GROUP, AND HEDGEROWS ARE TO BE MULCHED AS ONE CONTINUOUS STRIP.
- LIVE GROUNDCOVERS SUCH AS MYRTLE, BLUE RUP JUNIPERS, BALTIC IVY AND OTHER SIMILAR VINES AND PLANT MATERIAL SHALL BE MULCHED WITH A 2-INCH LAYER OF SHREDDED HARDWOOD BARK. ANY DEVIATIONS MUST BE APPROVED BY THE CITY'S LANDSCAPE ARCHITECT.
- PLANT MATERIALS SHALL NOT BE PLACED CLOSER THAN FOUR FEET FROM THE FENCE LINE OR PROPERTY LINE.
- DECIDUOUS AND ALL SHRUBS MAY NOT BE PLANTED WITHIN 5 FEET, AND EVERGREEN TREES MAY NOT BE PLANTED WITHIN TEN (10) FEET OF ANY CURB OR PUBLIC WALKWAY.
- TREES AND SHRUBS MAY NOT BE PLANTED WITHIN 10 FEET OF A FIRE HYDRANT.
- WHERE PLANT MATERIALS ARE PLANTED IN TWO OR MORE ROWS, PLANTING SHALL BE STAGGERED IN ROWS.
- WHERE SHRUB PLANTINGS ARE REQUIRED TO FORM A CONTINUOUS HEDGE, THE PLANTS SHALL NOT BE SPACED OUT MORE THAN 36 INCHES ON CENTER AT PLANTING AND SHALL HAVE A MINIMUM HEIGHT AND SPREAD OF 30 INCHES AT PLANTING. SHRUBS THAT WILL NOT ATTAIN SUFFICIENT WIDTH TO FORM A COMPLETE HEDGE SPACED 36 INCHES ON CENTER SHALL BE PLANTED AT A SPACING THAT WILL ALLOW THEM TO FORM A COMPLETE HEDGE WITHIN TWO YEARS OF PLANTING.

RESPONSIBILITY NOTES

- LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED WORK, IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, THE PLAN SHALL GOVERN QUANTITIES. CONTACT LANDSCAPE ARCHITECT WITH ANY CONCERNS
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON-SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON HIS/HER PHASE OF WORK. ELECTRIC, GAS, TELEPHONE, CABLE TELEVISION MAY BE LOCATED BY CALLING MISS DIG 1-800-482-7171. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF CONTRACTOR. CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES ON THE JOB AND SHALL REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER'S REPRESENTATIVE PRIOR TO COMMENCING.
- CONTRACTOR WILL SUPPLY FINISHED GRADE AND EXCAVATE AS NECESSARY TO SUPPLY 4" TOPSOIL DEPTH IN ALL PLANTING BEDS AND 4" TOPSOIL DEPTH IN ALL LAWN AREAS USING MATERIAL FROM SPOIL PILE.
- ACCEPTANCE OF GRADING AND SOD SHALL BE BY THE LANDSCAPE ARCHITECT AND/OR PROJECT REPRESENTATIVE AND AS DETERMINED BY THE CITY. THE CONTRACTOR SHALL ASSUME MAINTENANCE RESPONSIBILITY FOR A MINIMUM OF TWO (2) YEARS. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, REPLACEMENTS OF WASHOUTS AND OTHER OPERATIONS NECESSARY TO KEEP SOD IN A THRIVING CONDITION. UPON FINAL ACCEPTANCE BY LANDSCAPE ARCHITECT AND/OR PROJECT REPRESENTATIVE AND AS DETERMINED BY THE CITY, THE OWNER SHALL ASSUME ALL MAINTENANCE RESPONSIBILITIES.
- THE CONTRACTOR SHALL GUARANTEE ALL LANDSCAPING FOR A PERIOD OF TWO (2) YEARS BEGINNING AFTER APPROVAL BY THE CITY OF ROCHESTER HILLS' LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL REPLACE DURING AND AT THE END OF THE GUARANTEE PERIOD, ANY DEAD OR UNACCEPTABLE PLANTS, AS DETERMINED BY THE CITY OF ROCHESTER HILLS' LANDSCAPE ARCHITECT, WITHOUT COST TO THE OWNER.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON LANDSCAPE PLAN PRIOR TO PRICING THE WORK.

LANDSCAPING NOTES

- PRIOR TO THE RELEASE OF THE PERFORMANCE BOND, THE CITY OF ROCHESTER HILLS MUST INSPECT ALL LANDSCAPE PLANTING AND THE OPERATION OF THE IRRIGATION SYSTEM. THIS INCLUDES BUT NOT LIMITED TO EXISTING TREES, REPLACEMENT TREES, BUFFER PLANTINGS, AND PARKING LOT ISLANDS. THE RIGHT-OF-WAY WILL BE INSPECTED BY THE FORESTRY DIVISION TO IDENTIFY ANY PLANTINGS NEW OR EXISTING THAT POSE A HAZARD TO THE SAFE USE OF THE RIGHT-OF-WAY. FORESTRY MAY REQUIRE THE DEVELOPER TO REMOVE AND POSSIBLY REPLACE ANY SUCH TREES.
- ALL TREES AND SHRUBS MUST BE PLANTED AT LEAST 10' FROM THE EDGE OF THE PUBLIC ROW. SHADE TREES AND SHRUBS MUST BE PLANTED AT LEAST 5' FROM THE EDGE OF THE PUBLIC WALKWAY. EVERGREEN AND ORNAMENTAL TREES MUST BE PLANTED AT LEAST 10' FROM THE EDGE OF THE PUBLIC WALKWAY. ALL TREES AND SHRUBS MUST BE PLANTED AT LEAST 10' FROM ANY FIRE HYDRANT. SHADE AND EVERGREEN TREES MUST BE PLANTED AT LEAST 15' FROM THE NEAREST OVERHEAD WIRE AND AT LEAST 10' FROM THE NEAREST UNDERGROUND UTILITY.
- NO TREES OR SHRUBS MAY BE PLANTED WITHIN THE TRIANGULAR AREA FORMED AT THE INTERSECTION OF ANY STREET RIGHT-OF-WAY AT A DISTANCE OF 25' FROM THEIR POINT OF INTERSECTION. NO TREES OR SHRUBS MAY BE PLANTED IN THE TRIANGULAR AREA FORMED AT THE INTERSECTION OF ANY DRIVEWAY WITH A PUBLIC WALKWAY AT A DISTANCE ALONG EACH LINE OF 15' FROM THEIR POINT OF INTERSECTION.
- PRIOR APPROVAL IS REQUIRED TO PLANT ANY TREE OR SHRUB IN THE PUBLIC RIGHT-OF-WAY.
- NO SUBSTITUTIONS OR CHANGES OF LOCATION OR PLANT TYPES SHALL BE MADE WITHOUT THE APPROVAL OF THE DEVELOPER AND THE CITY OF ROCHESTER HILLS.
- THE DEVELOPER AND/OR THE CITY OF ROCHESTER HILLS SHALL HAVE THE RIGHT, AT ANY STAGE OF THE INSTALLATION, TO REJECT ANY WORK OR MATERIAL THAT DOES NOT MEET THE REQUIREMENTS OF THE PLANS OR SPECIFICATIONS.
- REPLACEMENT TREES MAY NOT BE PLANTED WITHIN THE DRIP LINE OF EXISTING TREES.
- NO SUBSTITUTIONS OR CHANGES OF LOCATION OR PLANT TYPE SHALL BE MADE WITHOUT THE APPROVAL OF THE DEVELOPER AND THE CITY OF ROCHESTER HILLS.
- TREES MUST BE AT LEAST 10' FROM UNDERGROUND UTILITIES AND 15' FROM OVERHEAD UTILITIES.

MAINTENANCE NOTES

- THE CLEAR ZONE SHALL BE MAINTAINED AT ALL INTERSECTIONS THAT INGRESS AND EGRESS TO THE SITE. IT IS THE OWNERS RESPONSIBILITY TO MAINTAIN THE PLANT MATERIAL AT A HEIGHT OF NOT OVER THIRTY (30) INCHES ABOVE PAVEMENT AND PROVIDE UNOBSTRUCTED SIGHT DISTANCE FOR DRIVERS IN VEHICLES APPROACHING THE INTERSECTION.
- VERTICAL CLEARANCE OF AT LEAST EIGHTY (80) INCHES MUST BE PROVIDED ABOVE WALKS AT ALL TIMES. IT IS THE OWNERS RESPONSIBILITY TO MAINTAIN TREES AND OTHER OVERHANGING OBJECTS TO PROVIDE ADEQUATE HEADROOM TO COMPLY WITH ADA GUIDELINES.

TREE PROTECTION NOTES

- THE TREE PROTECTION FENCING (TPF) SHALL BE ERRECTED PER THE PLANS APPROVED BY THE CITY OF ROCHESTER HILLS PLANNING DEPARTMENT. THE TPF MUST BE IN PLACE AND BE INSPECTED BY THE CITY OF ROCHESTER HILLS PRIOR TO THE START OF ANY EARTHWORK OR CONSTRUCTION OPERATIONS. IT IS THE DEVELOPER'S RESPONSIBILITY TO CONTACT THE CITY PLANNING DEPARTMENT AT 1-248-656-4660 TO SCHEDULE A TPF INSPECTION. THE TPF SHALL REMAIN IN PLACE THROUGHOUT THE ENTIRE CONSTRUCTION PROCESS OR UNTIL THE CITY AUTHORIZES THE REMOVAL OR ISSUES A FINAL CERTIFICATE OF OCCUPANCY, WHICHEVER OCCURS FIRST.
- UPON COMPLETION OF GRADING AND THE INSTALLATION OF THE INFRASTRUCTURE A SECOND INSPECTION OF THE TPF AND THE TREES DESIGNATED FOR PRESERVATION IS REQUIRED BY THE CITY OF ROCHESTER HILLS PRIOR TO THE START OF ANY ADDITIONAL CONSTRUCTION. IT IS THE DEVELOPER'S RESPONSIBILITY TO CONTACT THE CITY PLANNING DEPARTMENT AT 1-248-656-4660 TO SCHEDULE THIS TPF INSPECTION.
- UPON COMPLETION OF ALL CONSTRUCTION AND PRIOR TO THE REMOVAL OF THE CITY OF ROCHESTER HILLS MUST INSPECT ALL TREES DESIGNATED TO BE PRESERVED. THE LANDSCAPE PERFORMANCE BOND WILL NOT BE RELEASED UNTIL THIS INSPECTION IS COMPLETE AND ALL RELATED ISSUES ARE RESOLVED. IT IS THE DEVELOPER'S RESPONSIBILITY TO CONTACT THE CITY PLANNING DEPARTMENT AT 1-248-656-4660 TO SCHEDULE THIS INSPECTION.
- A FINAL INSPECTION BY THE CITY OF ROCHESTER HILLS IS REQUIRED AT THE END OF THE WARRANTY AND MAINTENANCE PERIOD. THE LANDSCAPE MAINTENANCE BOND WILL NOT BE RELEASED UNTIL THIS INSPECTION IS COMPLETE AND ALL RELATED ISSUES ARE RESOLVED. IT IS THE DEVELOPER'S RESPONSIBILITY TO CONTACT THE CITY PLANNING DEPARTMENT AT 1-248-656-4660 TO SCHEDULE THIS INSPECTION.
- THE TREE CONSERVATION ORDINANCE PROHIBITS ANY CONSTRUCTION OR DEVELOPMENT ACTIVITIES WITHIN THE DRIP LINE OF AND REGULATED TREES NOT APPROVED FOR REMOVAL, INCLUDING BUT NOT LIMITED TO LAND CLEARING, GRUBBING, TRENCHING, GRADING OR FILLING, NO PERSON SHALL PLACE ANY SOLVENTS, BUILDING MATERIALS, CONSTRUCTION EQUIPMENT, SOIL DEPOSITS, OR HARMFUL MATERIALS WITHIN THE DRIP LINE LIMIT OF TREES DESIGNATED FOR PRESERVATION.
- PROPOSED GRADES ARE TO MATCH THE EXISTING ELEVATIONS OUTSIDE THE LIMITS OF THE TPF. NO GRADING EITHER CUT OR FILL IS PERMITTED WITHIN THE DRIP LINE OF ANY TREE DESIGNATED FOR PRESERVATION.
- DURING THE CONSTRUCTION PROCESS NO PERSON SHALL ATTACH ANY DEVICE OR WIRE/CABLE/CORD/ROPE TO AN EXISTING TREE DESIGNATED TO BE PRESERVED.
- ALL UTILITY SERVICE REQUEST MUST INCLUDED NOTIFICATION TO THE INSTALLER THAT PROTECTED TREES MUST BE AVOIDED. ALL TRENCHING SHALL OCCUR OUTSIDE THE TPF.
- SWALES SHALL BE ROUTED TO AVOID THE AREA WITHIN THE DRIP LINE OF THE ANY TREE DESIGNATED FOR PRESERVATION. SWALES SHALL BE CONSTRUCTED SO AS NOT TO DIRECT ANY ADDITIONAL FLOW INTO THE DRIP LINE A TREE DESIGNATED FOR PRESERVATION.
- IF TREE PROTECTION CANNOT BE MAINTAINED FOR A TREE THROUGHOUT ENTIRE PERIOD REQUIRED, THE REPLACEMENT OF THAT TREE WILL BE REQUIRED ON AN INCH FOR INCH BASIS PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- REGULATED TREES LOCATED OFF-SITE ON ADJACENT PROPERTIES THAT MAY BE AFFECTED BY CONSTRUCTION OPERATIONS MUST BE PROTECTED AS DEFINED HERE IN.
- THE TPF SHALL CONSIST OF 4 FOOT HIGH ORANGE SNOW FENCING TO BE INSTALLED AROUND THE DRIP LINE OF ALL TREE DESIGNATED TO BE SAVED. THIS FENCING SHALL BE SUPPORTED BY 6 FOOT METAL T-BAR POSTS 5 FEET ON CENTER AND DRIVEN A MINIMUM OF 24" INTO GROUND. THE TPF FENCING SHALL REMAIN UPRIGHT AND SECURELY IN PLACE FOR THE REQUIRED TIME AS SPECIFIED ABOVE.

- A FINAL INSPECTION BY THE CITY OF ROCHESTER HILLS IS REQUIRED AT THE END OF THE WARRANTY AND MAINTENANCE PERIOD. THE LANDSCAPE MAINTENANCE BOND WILL NOT BE RELEASED UNTIL THIS INSPECTION IS COMPLETE AND ALL RELATED ISSUES ARE RESOLVED. IT IS THE DEVELOPER'S RESPONSIBILITY TO CONTACT THE CITY PLANNING DEPARTMENT AT 1-248-656-4660 TO SCHEDULE THIS INSPECTION.

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- IF TREE PROTECTION CANNOT BE MAINTAINED FOR A TREE THROUGHOUT ENTIRE PERIOD REQUIRED, THE REPLACEMENT OF THAT TREE WILL BE REQUIRED ON AN INCH FOR INCH BASIS PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.

- REGULATED TREES LOCATED OFF-SITE ON ADJACENT PROPERTIES THAT MAY BE AFFECTED BY CONSTRUCTION OPERATIONS MUST BE PROTECTED AS DEFINED HERE IN.

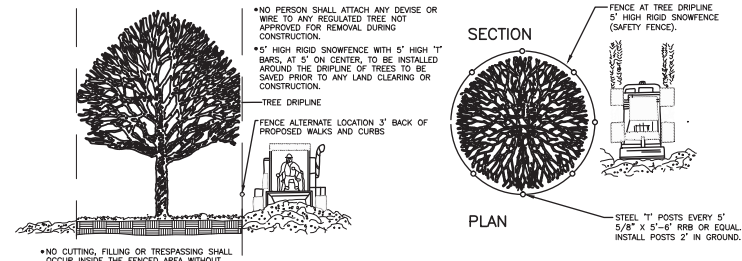
- THE TPF SHALL CONSIST OF 4 FOOT HIGH ORANGE SNOW FENCING TO BE INSTALLED AROUND THE DRIP LINE OF ALL TREE DESIGNATED TO BE SAVED. THIS FENCING SHALL BE SUPPORTED BY 6 FOOT METAL T-BAR POSTS 5 FEET ON CENTER AND DRIVEN A MINIMUM OF 24" INTO GROUND. THE TPF FENCING SHALL REMAIN UPRIGHT AND SECURELY IN PLACE FOR THE REQUIRED TIME AS SPECIFIED ABOVE.

CITY OF ROCHESTER HILLS MAINTENANCE NOTES 13B-12.109

- LANDSCAPING SHALL BE KEPT IN A NEAT, ORDERLY AND HEALTHY GROWING CONDITION, FREE FROM DEBRIS AND REFUSE.
- PRUNING SHALL BE MINIMAL AT TIME OF INSTALLATION, ONLY TO REMOVE DEAD OR DISEASED BRANCHES. SUBSEQUENT PRUNING SHALL ASSURE PROPER MATURATION OF PLANTS TO ACHIEVE THEIR APPROVED PURPOSE.
- ALL DEAD, DAMAGED OR DISEASED PLANT MATERIAL SHALL BE REMOVED IMMEDIATELY AND REPLACED WITHIN (6) SIX MONTHS AFTER IT DIES OR IN THE NEXT PLANTING SEASON, WHICH EVER COMES FIRST. THE PLANTING SEASON FOR DECIDUOUS PLANTS SHALL BE BETWEEN MARCH 1 AND JUNE 1 AND FROM OCT 1 UNTIL THE PREPARED SOIL FREEZES. THE PLANTING SEASON FOR EVERGREEN PLANTS SHALL BE BETWEEN MARCH 1 AND JUNE 1. PLANT MATERIAL INSTALLED TO REPLACE DEAD OR DISEASED MATERIAL SHALL BE AS CLOSE AS PRACTICAL TO THE SIZE OF THE MATERIAL IT IS INTENDED TO REPLACE. THE CITY MAY NOTIFY PROPERTY OWNERS OF THE NEED TO REPLACE DEAD, DAMAGED, OR DISEASED MATERIAL.
- THE APPROVED LANDSCAPE PLAN SHALL BE CONSIDERED A PERMANENT RECORD AND INTEGRAL PART OF THE SITE PLAN APPROVAL. UNLESS OTHERWISE APPROVED, ANY REVISIONS OR REMOVAL OF PLANT MATERIALS, OR NON-COMPLIANCE WITH THE MAINTENANCE REQUIREMENTS OF SECTION 13B-12.109 WILL PLACE THE PARCEL IN NON-COMFORMITY WITH THE APPROVED LANDSCAPE PLAN AND BE A VIOLATION OF THE ORDINANCE.
- IF PROTECTED TREES ARE DAMAGED, A FINE SHALL BE ISSUED ON AN INCH BY INCH BASIS AT A MONETARY RATE AS DEFINED BY THE FORESTRY DEPARTMENT.



1 PROPOSED BENCH DETAIL - AR16
Artisan flat bench 6' manufactured by Keystone Ridge or Approved Equil



4 TREE PROTECTION FENCE DETAIL

IMPORTANT:

ALL TREES ON ADJACENT PROPERTIES MUST BE PROTECTED. THE TREE PROTECTIVE FENCING MAY BE PLACED ALONG THE ACTUAL PROPERTY LINE IF THE BRANCHES OF THE TREES ON THE ADJACENT PROPERTIES DO NOT OVERHANG ONTO THE SITE BEING DEVELOPED. IF THE BRANCHES OVERHANG ONTO THE AREA OF THE SITE BEING DEVELOPED THE TREE PROTECTIVE FENCING MUST BE PLACED AT THE ACTUAL DRIP LINE OF THESE TREES. IT SHOULD ALSO BE NOTED THAT THE SILT FENCING MUST BE PLACED ON THE DEVELOPMENT SIDE OF THE TREE PROTECTIVE FENCING. THE SILT FENCING MAY NOT BE PLACED BETWEEN THE TREE BEING PRESERVED AND THE TREE PROTECTIVE FENCING. IF ANY REGULATED TREES ARE DAMAGED ON THE ADJACENT PROPERTIES THE DAMAGED TREES WILL BE EITHER REPLACED ON THE OWNERS PROPERTY ON AN INCH FOR INCH BASIS OR A FINE IN THE SUM \$122.00 PER CALIPER INCH WILL BE ISSUED AGAINST THE DEVELOPMENT. THIS FINE WILL BE DUE PRIOR THE BUILDING PERMITS BEING ISSUED. IF YOU HAVE ANY QUESTIONS OR NEED ADDITIONAL INFORMATION CALL THE CITY'S PLANNING DEPARTMENT 248-646-4660.

PLANTING NOTES:

- INSTALL AND MAINTAIN ALL LANDSCAPING ACCORDING TO ROCHESTER HILLS STANDARDS. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, THE PLAN SHALL GOVERN QUANTITIES. CONTACT LANDSCAPE ARCHITECT WITH ANY CONCERNS.
- ALL PLANT MATERIAL TO BE PREMIUM GRADE NURSERY STOCK. PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED IN THE MOST RECENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK. CONTRACTOR TO SUPPLY NURSERY SOURCES FOR ALL PURCHASED MATERIAL. NO BARE ROOT OR PARK GRADE MATERIAL WILL BE ACCEPTED.

- SOD: IF OWNER SELECTS THIS OPTION, CONTRACTOR WILL INSTALL SOD IN ALL AREAS INDICATED AS LAWN ON PLAN. SOD TO BE WELL ESTABLISHED, MINERAL GROWTH. SOD BLEND SHALL CONSIST OF A MINIMUM OF THREE (3) IMPROVED VARIETIES OF BLUEGRASS. ACCEPTANCE AND GUARANTEE NOTES SHALL APPLY TO ALL SOD.
- EDGING SHALL BE A SHOVEL EDGE.

- ALL TREE PITS MUST BE TESTED FOR PROPER DRAINAGE PRIOR TO PLANTING TREES. A DRAINAGE SYSTEM MUST BE INSTALLED IF PLANTING PIT DOES NOT DRAIN SUFFICIENTLY (REQUIRED IN HEAVY CLAY SOILS).

- ALL LANDSCAPE AREAS SHALL HAVE PROPER DRAINAGE THAT PREVENTS EXCESS WATER FROM STANDING ON LAWN AREAS OR AROUND TREES AND SHRUBS.

- STAKES USED FOR TREE SUPPORTS SHALL POINT AWAY FROM ANY CIRCULATION ROUTES.

- MULCHING AND WATERING OF ALL PLANTS AND TREES SHALL BE IMMEDIATELY OR WITHIN 16 HOURS AFTER INSTALLATION.

- THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.

- REMOVE ALL TREE STAKES AND GUY WIRES AFTER ONE WINTER.

- USE GRADE "A" DOUBLE SHREDDED HARDWOOD BARK.

- DIG SHRUB PITS 1' LARGER THAN SHRUB ROOT BALLS AND TREE PITS 2' LARGER THAN ROOT BALLS. BACK FILL WITH ONE PART TOPSOIL AND ONE PART SOIL FROM THE EXCAVATED PLANTING HOLE. PLANT TREES AND SHRUBS AT THE SAME GRADE LEVEL AT WHICH THEY WERE PLANTED AT THE NURSERY. IF WET, CLAY SOILS ARE EVIDENT, PLANT TREES AND SHRUBS HIGHER.

- REMOVE ALL TWINE, WIRE, AND BURLAP FROM THE TOP 1/3 OF TREE AND SHRUB EARTH BALLS AND FROM TREE TRUNKS.

- LAWN TREES ARE TO BE MULCHED WITH A MINIMUM OF 4" WIDE BY 4" DEEP SHREDDED BARK FOR TRUNK PROTECTION. ONLY NATURAL-COLORED SHREDDED HARDWOOD BARK MULCH WILL BE ACCEPTED.

- SHRUB BEDS ARE TO BE MULCHED WITH SHREDDED BARK MULCH TO A MINIMUM DEPTH OF 4". ONLY NATURAL-COLORED SHREDDED HARDWOOD BARK MULCH WILL BE ACCEPTED.

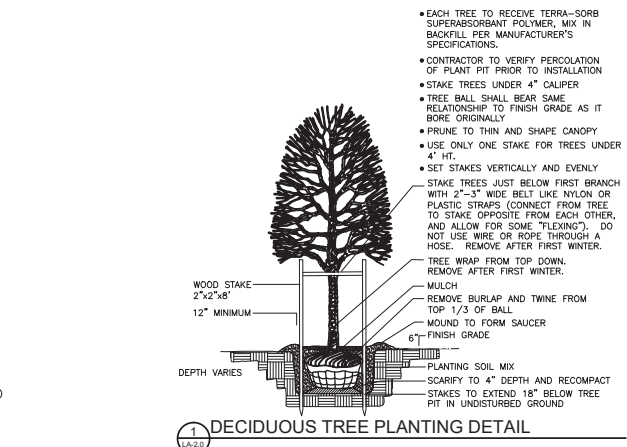
- BACKFILL DIRECTLY BEHIND ALL CURBS AND ALONG SIDEWALKS AND COMPACT TO THE TOP OF CURB OR WALK TO SUPPORT VEHICLE AND PEDESTRIAN WEIGHT WITHOUT SETTLING.

- ALL LANDSCAPE AREAS, SPECIAL PARKING LOT ISLANDS AND LANDSCAPE BEDS NEXT TO BUILDINGS SHALL BE EXCAVATED OF ALL BUILDING MATERIALS AND POOR SOILS TO A DEPTH OF 12"-18" AND BACK-FILLED WITH GOOD, MEDIUM TEXTURED PLANTING SOIL (LOAM OR LIGHT YELLOW CLAY). ADD 4"-6" OF TOPSOIL OVERFILL MATERIAL AND CROWN A MINIMUM OF 6" ABOVE TOP OF CURBS AND/OR WALKS AFTER EARTH SETTling UNLESS OTHERWISE NOTED ON THE LANDSCAPE PLAN.

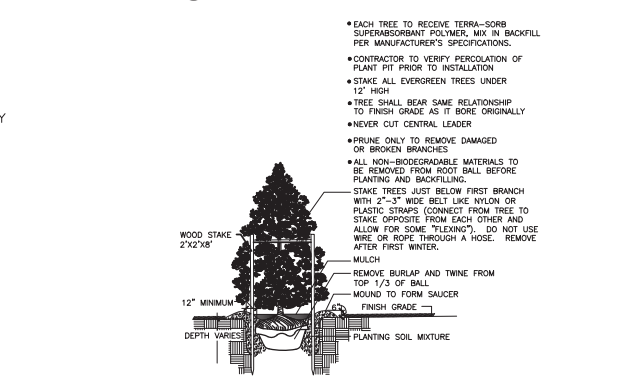
- CONVERSION OF ALL ASPHALT AND GRAVEL AREAS TO LANDSCAPE SHALL BE DONE IN THE FOLLOWING MANNER:
 - REMOVE ALL ASPHALT, GRAVEL AND COMPACTED EARTH TO A DEPTH OF 6"-18" DEPENDING ON THE DEPTH OF THE SUB-BASE AND DISPOSE OF OFF SITE.
 - REPLACE EXCAVATED MATERIAL WITH GOOD, MEDIUM TEXTURES PLANTING SOIL (LOAM OR LIGHT YELLOW CLAY) TO A MINIMUM OF 2" ABOVE TOP F CURB AND SIDEWALK, ADD 4"-6" OF TOPSOIL AND CROWN TO A MINIMUM OF 6" ABOVE ADJACENT CURB AND WALK AFTER EARTH SETTling UNLESS OTHERWISE NOTED ON THE LANDSCAPE PLAN.

- IF CONVERSION TO LANDSCAPE OCCURS IN AN EXISTING (OR BETWEEN) LANDSCAPE AREA(S), REPLACE EXCAVATED MATERIAL TO 4"-6" BELOW ADJACENT EXISTING GRADES WITH GOOD MEDIUM TEXTURED PLANTING SOIL (LOAM OR LIGHT YELLOW CLAY) AND ADD 4"-6" OF TOPSOIL TO MEET EXISTING GRADES AFTER EARTH SETTling.

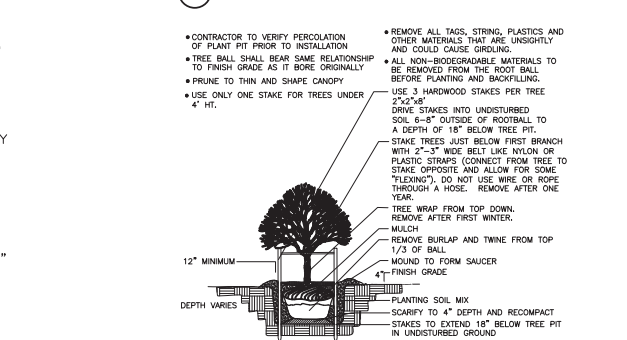
- ALL PLANT MATERIAL TO RECEIVE TERRA-SORB SUPER ABSORBENT POLYMER OR APPROVED EQUAL BY LANDSCAPE ARCHITECT, FOLLOW MANUFACTURER'S SPECIFICATIONS.



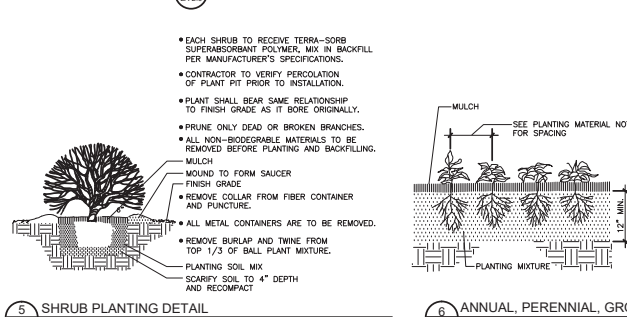
1 DECIDUOUS TREE PLANTING DETAIL



2 EVERGREEN TREE PLANTING DETAIL



3 ORNAMENTAL TREE PLANTING DETAIL



5 SHRUB PLANTING DETAIL



6 ANNUAL, PERENNIAL, GROUND COVER PLANTING DETAIL

CONTRACTOR'S NOTE

The locations of existing underground utilities are shown in an approximate way only. The contractor shall determine the exact location of all existing utilities before commencing work. He agrees to be fully responsible for any and all damages which might be occasioned by his failure to exactly locate and preserve any and all underground utilities.

3 WORKING DAYS
BEFORE YOU DIG
CALL MISS DIG
1-800-482-7171
(TOLL FREE) for the location
of underground utilities

The contractor shall be responsible for adhering to all applicable local, state, and federal standards, specifications, and guidelines for construction.

SPECIFICATIONS & DETAILS



DesignTeam +

975 E. Maple Road, Suite 210
Birmingham, Michigan 48009

P: 248. 559. 1000

info@designteamplus.com

SSRP PROPERTIES INC.

2665 W. Hickory Grove Rd,
Bloomfield Hills,
48302

"The Goddard School"

820 East Auburn Road
Rochester Hills,
Oakland County, MI
48307

Designed/Drawn: RLN/ BC

Checked/Approved: RLN

Job #

File:

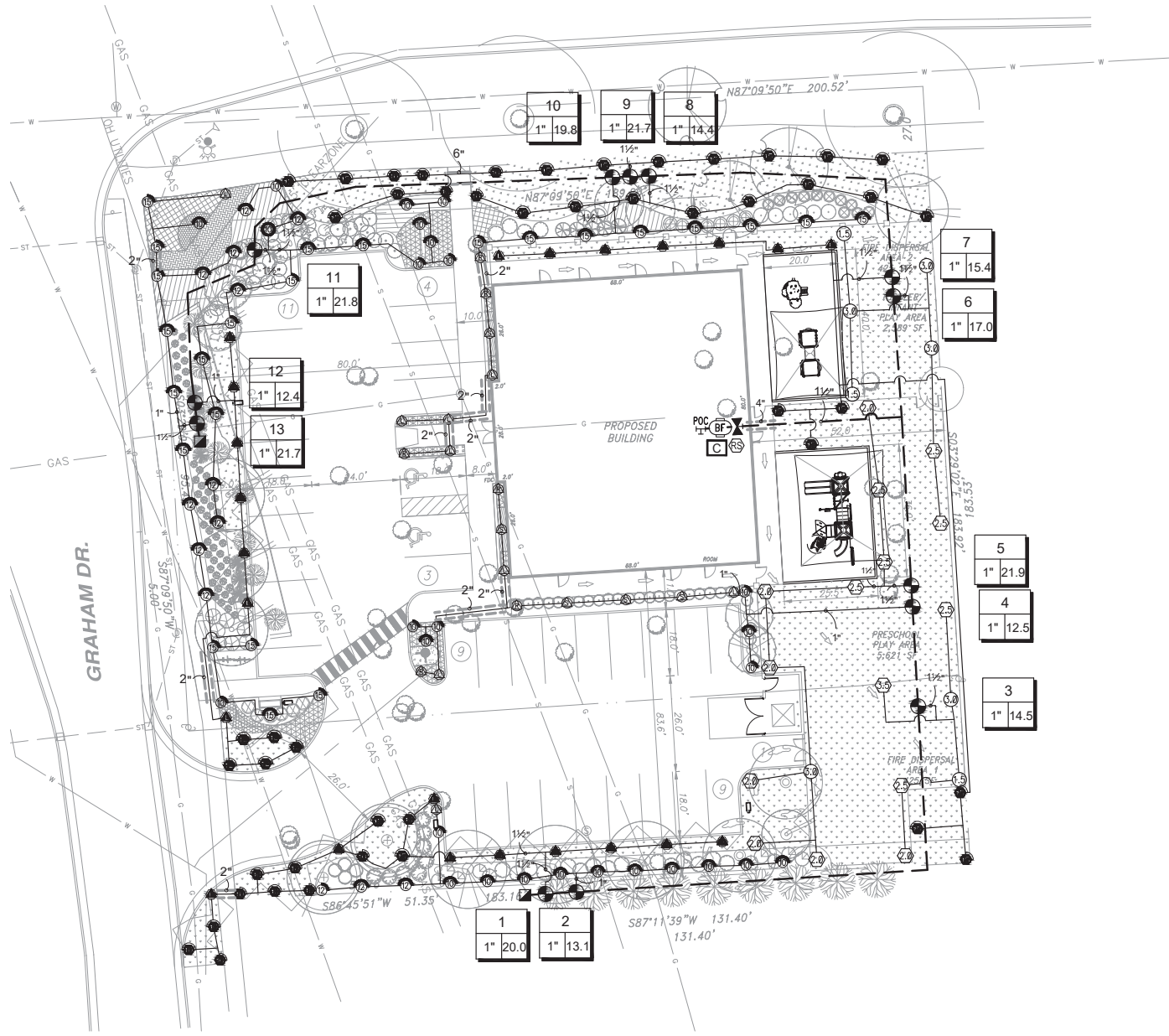
Date/Revisions Issued For

9-18-2015 DESIGN CONCEPT

11-24-2015 PRELIMINARY & FINAL REVIEW

PLAN SUBMITTED FOR DESIGN REVIEW - NOT FOR CONSTRUCTION.

DCPT/2015 2015
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CITY FILE # 15-018

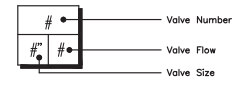


IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL	QTY
	Hunter PROS-04 5' strip spray	23
	Hunter PROS-04 10' radius	16
	Hunter PROS-04 12' radius	5
	Hunter PROS-04 15' radius	23
	Hunter PROS-12 5' strip spray	20
	Hunter PROS-12 10' radius	28
	Hunter PROS-12 12' radius	13
	Hunter PROS-12 15' radius	24

SYMBOL	MANUFACTURER/MODEL	QTY
	Hunter PGP-04-LA	5
	Hunter PGP-04-LA	6
	Hunter PGP-04-LA	2
	Hunter PGP-04	3
	Hunter PGP-04	6

SYMBOL	MANUFACTURER/MODEL	QTY
	Hunter PGV-101G 1"	13
	Hunter HQ-SRC 1"	2
	Isolation Valve Mainline Size	1
	Febco 765 1"	1
	Hunter PC-400 with (03) PCM-300	1
	Hunter Solar-Sync	1
	POC	1
	Irrigation Lateral Line: Polyethylene Pipe 100 PSI 1"	2,407 l.f.
	Irrigation Lateral Line: Polyethylene Pipe 100 PSI 1 1/2"	150.4 l.f.
	Irrigation Mainline: PVC Class 160 SDR 26 1 1/2"	585.3 l.f.
	Pipe Sleeve: PVC Class 160 SDR 26 2"	105.3 l.f.
	Pipe Sleeve: PVC Class 160 SDR 26 6"	6.1 l.f.



IRRIGATION SPECIFICATIONS

- IRRIGATION SYSTEM DESIGN BASED ON 22 GPM AT 55 PSI.
- IRRIGATION DESIGN IS FROM THE POINT OF CONNECTION(POC) ONLY. THE DESIGN IS BASED ON GALLONS PER MINUTE(GPM) AND POUNDS PER SQUARE INCH(PHI) FURNISHED BY OTHERS.
- IRRIGATION CONTRACTOR IS TO VERIFY POINT OF CONNECTION IN THE FIELD. INSTALLER IS TO CONFIRM THE MINIMUM DISCHARGE REQUIREMENTS OF THE POINT OF CONNECTION AS INDICATED ON THE LEGEND PRIOR TO INSTALLATION.
- THE PRESSURE REQUIREMENT AT THE POINT OF CONNECTION IS BASED ON NO MORE THAN 5 FEET OF ELEVATION CHANGE IN THE AREAS OF IRRIGATION.
- ALL PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND ACCORDING TO LOCAL BUILDING, ELECTRICAL, AND PLUMBING CODES.
- IRRIGATION CONTRACTOR WILL ARRANGE INSPECTIONS REQUIRED BY LOCAL AGENCIES AND ORDINANCES DURING THE COURSE OF CONSTRUCTION AS REQUIRED. ALL WIRING TO BE PER LOCAL CODE. BACKFLOW PREVENTION TO BE PER LOCAL CODE.
- LOCATION OF IRRIGATION COMPONENTS SHOWN ON DRAWING IS APPROXIMATE. ACTUAL PLACEMENT MAY VARY SLIGHTLY AS REQUIRED TO ACHIEVE FULL, EVEN COVERAGE.
- ALL SPRINKLER HEADS SHALL BE INSTALLED PERPENDICULAR TO FINISH GRADES. EXCEPT AS OTHERWISE INDICATED.
- INSTALL IRRIGATION MAINS WITH A MINIMUM 18" OF COVER BASED ON FINISH GRADES. INSTALL IRRIGATION LATERALS WITH MINIMUM 12" OF COVER BASED ON FINISH GRADES.
- PIPE LOCATIONS ARE DIAGRAMMATIC. VALVES AND MAINLINE SHOWN IN PAVED AREAS ARE FOR GRAPHIC CLARITY ONLY.
- THE IRRIGATION CONTRACTOR SHALL COMPLY WITH PIPE SIZES AS INDICATED.
- ALL WIRE SPLICES OR CONNECTIONS SHALL BE MADE WITH APPROVED WATERPROOF WIRE CONNECTIONS AND BE IN A VALVE OR SPLICE BOX.
- ALL CONTROL WIRING DOWNSTREAM OF THE CONTROLLER IS TO BE 14 AWG, UL APPROVED DIRECT BURY.
- THE DESIGN IS BASED ON THE SITE INFORMATION AND/OR DRAWING SUPPLIED WITH THE DESIGN CRITERIA BEING SET (AREA TO BE IRRIGATED, EQUIPMENT MANUFACTURER AND MODEL TO BE USED, WATER SOURCE INFORMATION, ELECTRICAL POWER AVAILABILITY, ETC...). SITEONE LANDSCAPE SUPPLY BEARS NO RESPONSIBILITY OR LIABILITY FOR ANY ERRORS IN DESIGN OR INSTALLATION THAT ARISE DUE TO INACCURACIES IN THE ABOVE REFERENCED INFORMATION SUPPLIED TO SITEONE LANDSCAPE SUPPLY LANDSCAPES IN RELATION TO THIS PROJECT, UNLESS OTHERWISE NOTED.



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Project Name:
THE GODDARD SCHOOL
ROCHESTER HILLS, MI, 48308

Customer Name:

Design Date: 11/26/15

Drawn By: J. LOVELL

REVISIONS

Description	Date

Drawing Title:
IRRIGATION DESIGN

Drawing Scale: 1" = 20'

Project Services Number: 89497

Sheet Number:

IR-1