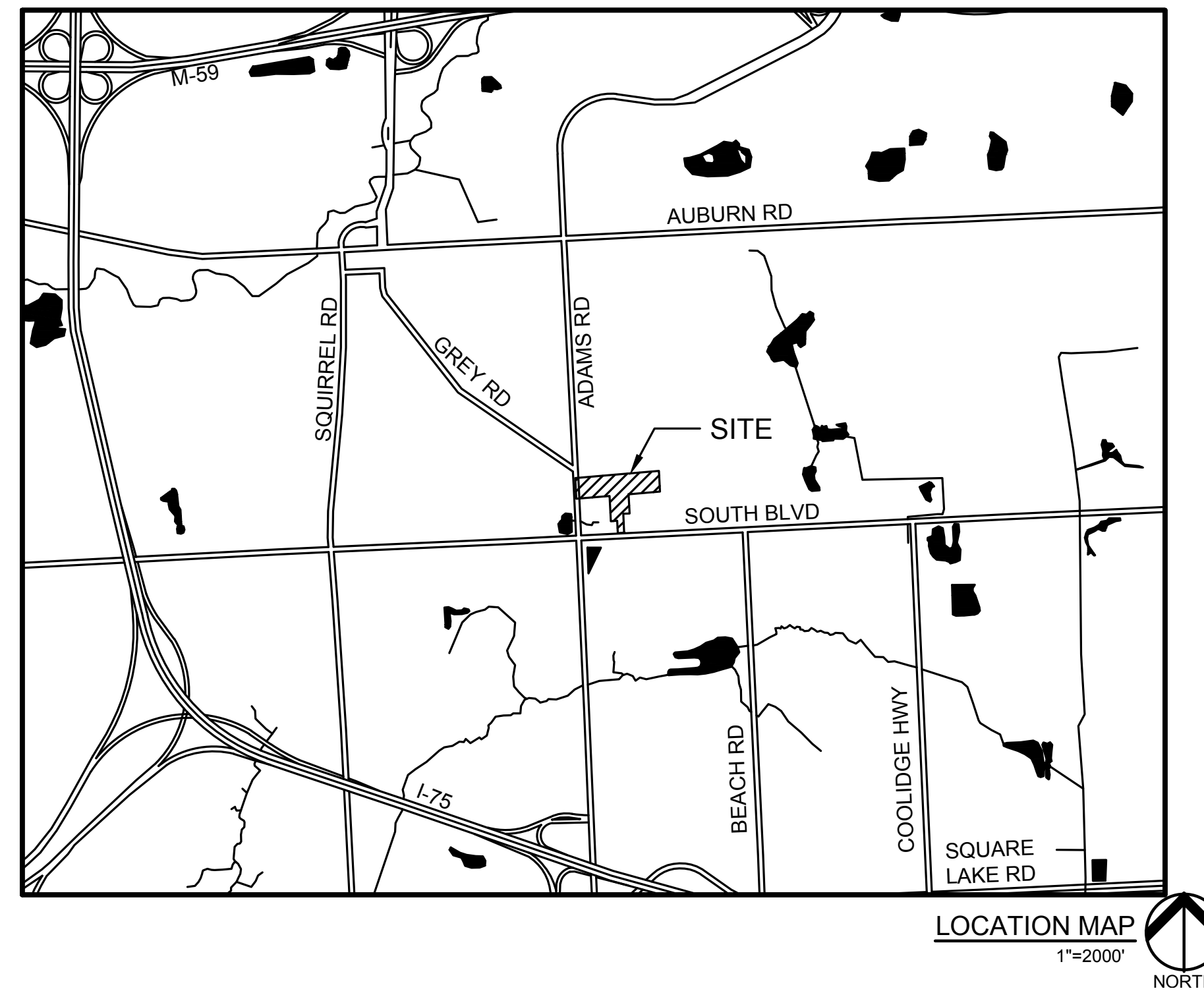


PRELIMINARY SITE PLANS

PRIYA SENIOR LIVING CAMPUS

PART OF THE SE 1/4 OF SECTION 31, T.3N., R.11E.
ROCHESTER HILLS, MICHIGAN 48309



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0.0	COVER SHEET
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2 OF 2	ALTA/NSPS LAND TITLE SURVEY
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C-1.2	ENLARGED TOPOGRAPHIC SURVEY 2
C-1.3	ENLARGED TOPOGRAPHIC SURVEY 3
C-1.4	ENLARGED TOPOGRAPHIC SURVEY 4
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C-3.0	OVERALL PAVING AND DIMENSION PLAN
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C-3.2	ENLARGED PAVING AND DIMENSION PLAN 2
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C-5.0	PRELIMINARY UTILITY PLAN
C-6.0	PRELIMINARY DRAINAGE AREA MAP AND CALCULATIONS
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SL-1.1	PHOTOMETRIC PLAN
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L-1.0	OVERALL LANDSCAPE PLAN
L-1.1	ENLARGED LANDSCAPE PLAN 1
L-1.2	ENLARGED LANDSCAPE PLAN 2
L-1.3	ENLARGED LANDSCAPE PLAN 3
L-1.4	ENLARGED LANDSCAPE PLAN 4
L-1.5	ENLARGED LANDSCAPE PLAN 5
L-2.0	LANDSCAPE DETAILS
L-2.1	LANDSCAPE DETAILS
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T-1.2	TREE PRESERVATION PLAN
T-1.3	TREE PRESERVATION PLAN
T-1.4	TREE PRESERVATION LIST
T-1.5	TREE PRESERVATION LIST
T-1.6	TREE PRESERVATION LIST
T-1.7	TREE PRESERVATION LIST
T-1.8	TREE PRESERVATION LIST
T-1.9	TREE PRESERVATION LIST
T-2.0	TREE PRESERVATION LIST

DESIGN TEAM

OWNER/APPLICANT/DEVELOPER	CIVIL ENGINEER
PRIYA LIVING CONTACT: LOGAN BAILEY-PERKINS VICE PRESIDENT, ACQUISITIONS PHONE: 312.532.6479 EMAIL: LOGAN@PRIYALIVING.COM CONTACT: CURT WAGNER VICE PRESIDENT, DEVELOPMENT PHONE: 847.489.2324 EMAIL: CURT@PRIYALIVING.COM	PEA GROUP 45 W. GRAND RIVER AVE., STE 501 DETROIT, MI 48226 CONTACT: EMIL S. BUNEK III, PE PHONE: 248.571.8033 EMAIL: EBUNEK@PEAGROUP.COM
ARCHITECT	LANDSCAPE ARCHITECT
PERKINS EASTMAN THE ROOKERY 209 SOUTH LaSALLE STREET, STE. 400 CHICAGO, IL 60604 CONTACT: L. RAMU RAMACHANDRAN, AIA, LEED AP PHONE: 312.873.6262 EMAIL: R.RAMACHANDRAN@PERKINSEASTMAN.COM	PEA GROUP 45 W. GRAND RIVER AVE., STE. 501 DETROIT, MI 48226 CONTACT: KIMBERLY DIETZEL, RLA PHONE: 844.813.2949 EMAIL: KDIEZTEL@PEAGROUP.COM



REVISIONS	
DESCRIPTION	DATE
ORIGINAL ISSUE DATE	1/6/2021
SPA RESUBMITTAL	4/16/2021
SPA RESUBMITTAL	6/15/2021
SPA RESUBMITTAL	7/20/2021
SPA RESUBMITTAL	8/31/2021



ZONING INFORMATION

According to the Zoning Report prepared by Partner Engineering & Science, Inc.; Dated: July 15, 2020; Project No: 20-285736.2; "Area Regulations Status: CONFORMING AS TO EXISTING HISTORIC HOUSE AND VACANT LAND".

FLOOD ZONE

The field survey was not conducted to determine the Flood Zone Areas. By graphic scaling only we determined that according to the current FEMA's Flood Insurance Rate Map No. 26125C0527F, dated September 29, 2006, subject property is located in Flood Zone X and is outside of the 0.2% annual chance floodplain. An Elevation Certificate may be needed to verify this determination.

MISCELLANEOUS NOTES

- (N1) Title Description of Parcel 1 does not close by 0.19', it overlaps with Tax Description of parcel to the North by up to 1.93' and there is a gap of up to 2.42' with Title Description of Parcel 2. Also, description of Parcel 1 does not match found field evidence. As-Surveyed Description was prepared. To keep Parcel 1 and 2 geometrically matching the Point of Commencement was moved to be the Southwest corner of Section 31, matching the Point of Commencement of Parcel 2. The bearings are also based on the Title Description of Parcel 2.
- (N2) The bearing of N89°58'28"E being the South line of Section 31 as contained in record description for Parcel 2 was used as the basis of bearings.
- (N3) The address of the property is per record documents and was NOT confirmed in the field (there is no a street number on the building, mail box or the sign).
- (N4) Parcel 1 has direct access to S Adams Rd., a public street.
- (N5) Parcel 2 has direct access to W South Blvd., a public street.
- (N6) Parcel 1:
The distance to the nearest streets intersection, S Adams Rd. with S Grey Rd. is +/-100' North.
- (N7) Parcel 2:
The distance to the nearest streets intersection, W South Blvd. with Limerick Ln. is +/-330' East.
- (N8) Surveyor did not observe evidence of current earth moving work, building construction or building additions.
- (N9) Surveyor is unaware of proposed changes in street right of way lines. Surveyor did not observe evidence of recent street or sidewalk construction or repairs.
- (N10) Surveyor was not provided with documents relating to locations and did not observe evidence of cemeteries, gravesites and burial grounds.
- (N11) Ownership of fences, if any, was not determined under the scope of this survey.

PARKINGS

There are no striped parking spaces on the subject property.

PARCEL AREA

PARCEL 1 = 10.0240 acres (436,646 sf)
 PARCEL 2 = 2.9766 acres (129,663 sf)
 TOTAL = 13.0006 acres (466,309 sf)

UTILITY NOTE

The survey shows the location of utilities existing on or serving the surveyed property as determined by observed evidence collected pursuant to ALTA Section 5 E IV.

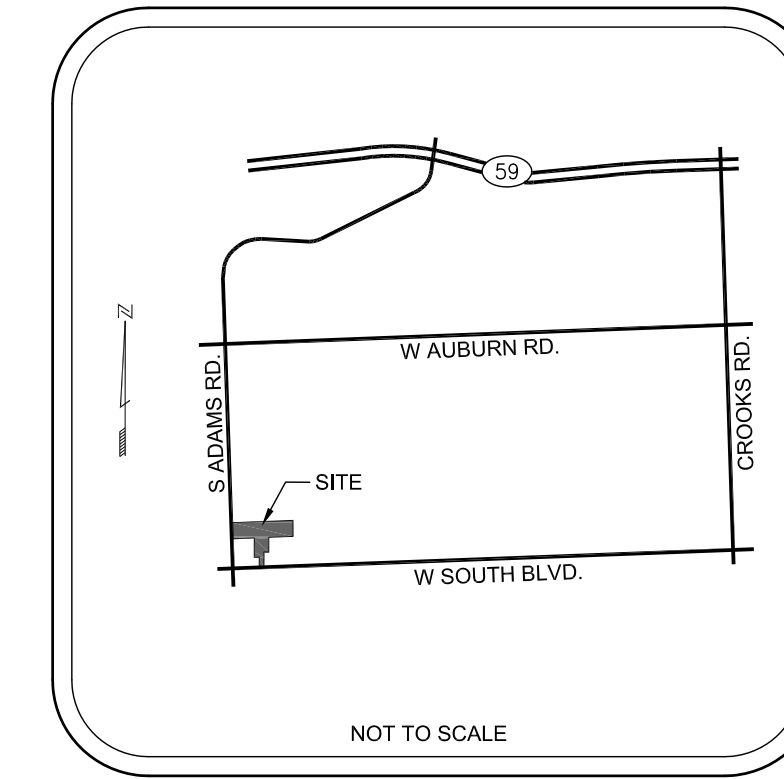
POSSIBLE ENCROACHMENTS

The following list of encroachments is only the opinion of this surveyor and should not be interpreted as complete listing.

- E1 Cross access without the benefit of an easement.
- E2 Line of fence posts up to 0.4' South of property line.
- E3 Line of fence posts up to 0.8' West of property line.

SURVEY RELATED ITEMS CORRESPONDING TO SCHEDULE B-II TITLE COMMITMENT

- 14. Right of Way in favor of The Detroit Edison Company as disclosed in Deeds
Recording Date: June 19, 1950 and November 20, 1956
Recording No.: Liber 2592, Page 692 (as to Lot 8)
and Liber 3621, Page 17 (as to Lot 6)
(Parcel 2)
Item located as shown hereon.
- 15. Terms, Covenants, and Conditions of Affidavit of Ordinance as set forth below:
Recording No: Liber 7292, Page 604.
(as to Parcel 1)
Covers entire Parcel 1. Shown.
- 16. Right(s) of Way and/or Easement(s) and rights incidental thereto as set forth in a document:
In favor of: County of Oakland
Recording No: Liber 7343, Page 638.
(as to Parcel 1)
Item located as shown hereon.
- 17. Right(s) of Way and/or Easement(s) and rights incidental thereto as set forth in a document:
In favor of: County of Oakland
Recording No: Liber 10830, Page 182.
(as to Parcel 1)
Item located as shown hereon.



VICINITY MAP

AS-SURVEYED DESCRIPTION

- (N1) Title Description of Parcel 1 does not close by 0.19', it overlaps with Tax Description of parcel to the North by up to 1.93' and there is a gap of up to 2.42' with Title Description of Parcel 2. Also, description of Parcel 1 does not match found field evidence. As-Surveyed Description was prepared. To keep Parcel 1 and 2 geometrically matching the Point of Commencement was moved to be the Southwest corner of Section 31, which is the Point of Commencement of Parcel 2. The bearings are also based on the Title Description of Parcel 2.

Parcel 1:
Part of the West 1/2 of the Southwest 1/4 of Section 31, Town 3 North, Range 11 East, City of Rochester Hills, Oakland County, Michigan, described as follows:
Commencing at the Southwest corner of Section 31;
thence North 00°00'06" East 632.54 feet, along the West line of Section 31, to the Point of Beginning;
thence North 00°00'06" East 329.54 feet;
thence North 87°57'35" East 1327.62 feet;
thence the following 2 courses along the West line of Continuum Care Campus Condominium, OCCSP No: 2004, as recorded in Liber 42345, Page 179, Oakland County Records:
1. South 00°13'32" East 141.76 feet;
2. South 00°13'25" East 186.54 feet;
thence South 87°54'29" West 1328.96 feet to the Point of Beginning.

The property described in this Survey is the same property as described in the Commitment for Title Insurance upon which this survey is based.

TITLE LEGAL DESCRIPTION

Parcel 1:
Part of the West 1/2 of the Southwest fractional 1/4 of Section 31, Town 3 North, Range 11 East, City of Rochester Hills, Oakland County, Michigan, described as follows:
Beginning at a point on the West line of the Southwest fractional 1/4 of said Section 31 located South 1420.68 from the West 1/4 corner of said Section 31;
Thence North 87°52'30" East 1329.09 feet to the East line of said West 1/2;
Thence South 00°09'30" East 327.82 feet to the Northeast corner of Pon-Avon Farms, recorded in Liber 59 of Plats, Page 23, Oakland County Records;
Thence South 87°52'30" West along the North line of said subdivision, 1330.00 feet to the Northwest corner of said subdivision;
Thence North along the Section line, 327.66 feet to the Point of Beginning.

3861 South Adams Rd., Rochester Hills, MI 48309-3909
PID: 70-15-31-301-011

Parcel 2:
Part of Lot 6, all of Lot 7 and part of Lot 8, Pon-Avon Farms, according to the plat thereof recorded in Liber 59 of Plats, Page 23, Oakland County Records, all described as follows:
Beginning at a point distant North 89°58'28" East 629.16 feet and North 00°00'21" West 60.00 feet from the Southwest corner of Section 31, Town 3 North, Range 11 East, City of Rochester Hills, Oakland County, Michigan;
Thence North 00°00'21" West 195.54 feet;
Thence South 87°53'43" West 100.04 feet;
Thence North 00°00'13" East 399.72 feet;
Thence North 87°54'29" East 299.91 feet;
Thence South 00°01'27" East 302.44 feet;
Thence South 89°58'28" West 99.95 feet;
Thence South 00°00'54" East 300.00 feet;
Thence South 89°58'28" West 100.00 feet to the Point of Beginning.

3880 South Blvd. W., Rochester Hills, MI 48309-3909
PID: 70-15-31-351-017

The property described in this Survey is the same property as described in the Commitment for Title Insurance upon which this survey is based.

ALTA/NSPS LAND TITLE SURVEY

for ROCHESTER HILLS PROPERTY

PARTNER PROJECT NUMBER 20-285736.1
3861 S Adams Rd. & 3880 W South Blvd.
Rochester Hills, MI 48309
County of Oakland

Based upon the Commitment for Title Insurance issued by
Fidelity National Title Insurance Company; Commitment No: A0751707;
Commitment Date: May 18, 2020 at 08:00 AM.

Surveyor's Certification

To:
- Fidelity National Title Insurance Company;

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 6b, 7a, 7b1, 7c, 8, 9, 13, 14, 16, 17 & 20 of Table A thereto.

The field work was completed on June 30, 2020.
Date of plat or map: July 28, 2020.

Derek Kosicki

Derek Kosicki, PS
License No. 43058 MI

SURVEY PREPARED BY:

MICHIGAN SURVEYING, INC.
20836 Hall Rd., Suite 108, Clinton Twp., MI 48038
tel. (734) 542-9088
www.MichiganSurveying.com
Derek.K@MichiganSurveying.com

MSI JOB No. 20-146

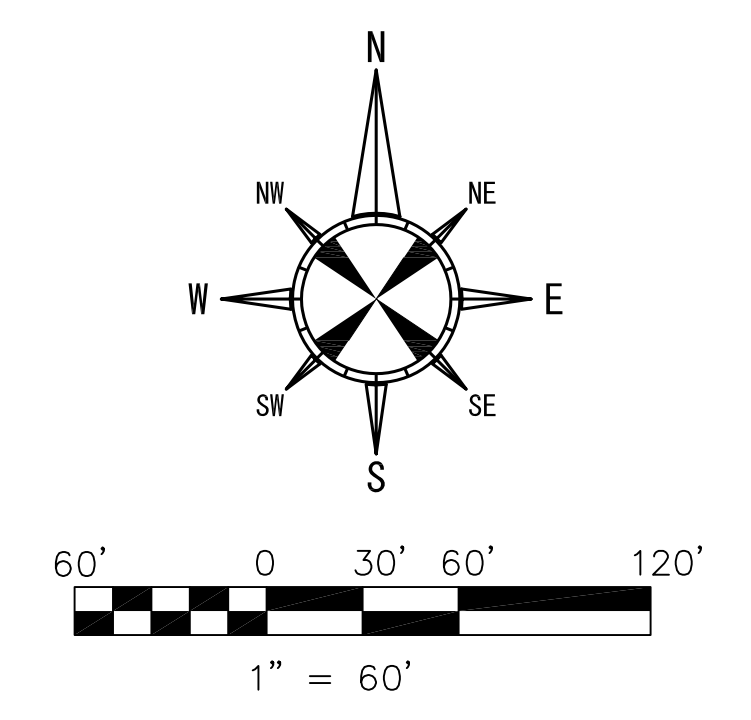
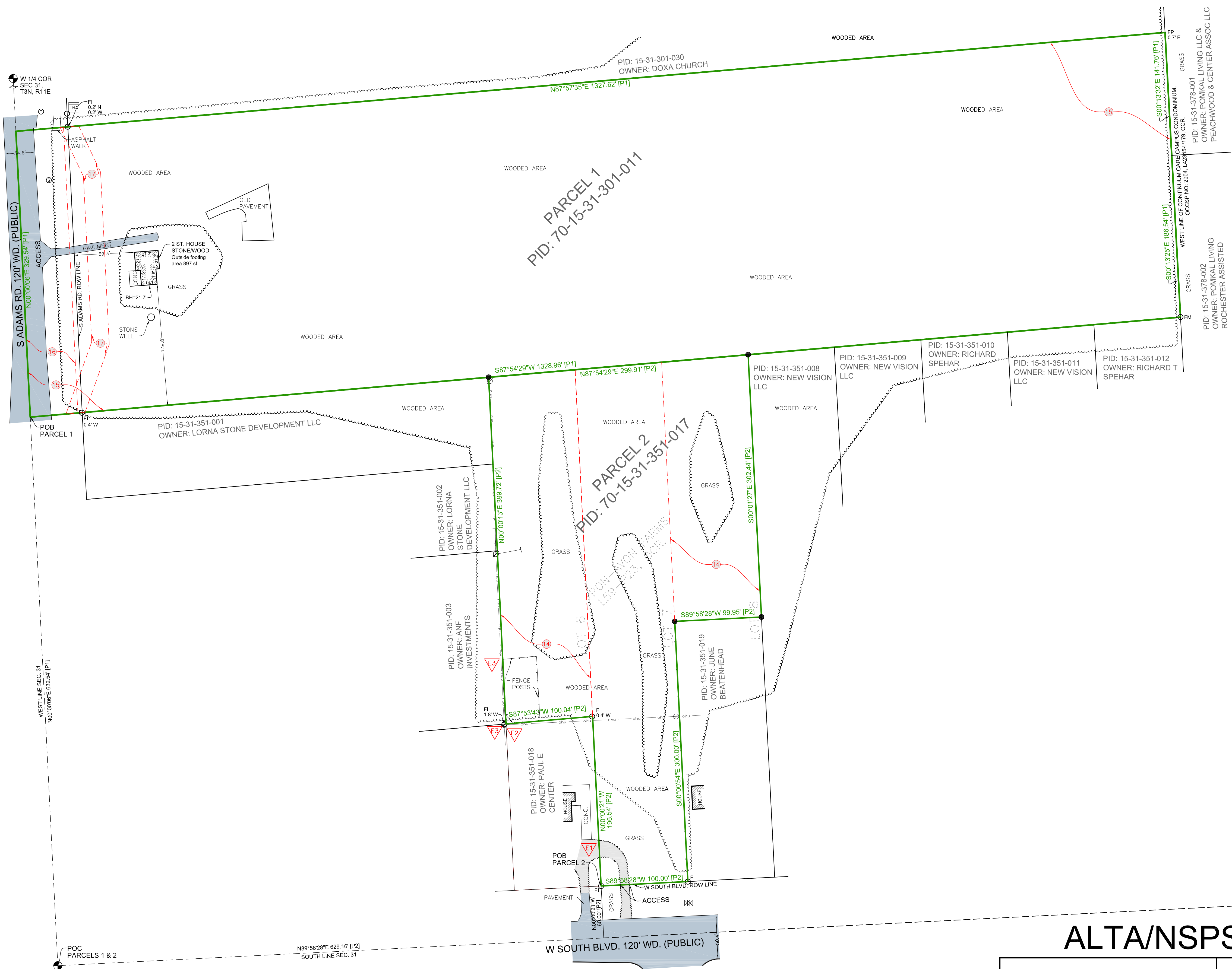


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BY STATE LICENSE ENGINEERING

REVISIONS		
NO.	DATE	DESCRIPTION
1	07/28/20	MISC

PARTNER
Engineering and Science, Inc.®

CAXTON BUILDING
812 HURON RD. SUITE 690
CLEVELAND, OHIO 44115
T 440-987-1001
jdavenport@partneresi.com
http://www.partneresi.com



LEGEND	
	PROPERTY LINE
	SET IRON W/CAP43058
	FOUND IRON PIPE/MON/NAIL (F/FP/FM/FN)
	SECTION CORNER
	EASEMENTS
	ENCROACHMENTS
	BH BUILDING HEIGHT
	L/S LANDSCAPING
	REGULAR PARKING SPACES
	HANDICAP PARKING SPACES
	SANITARY CLEAN OUT, MANHOLE
	STORM END SECTION, MANHOLE
	CATCH BASIN SQUARE, ROUND,
	HYDRANT, GATE VALVE
	WATER KEY, SHUT-OFF, WATER METER
	FIRE DEPARTMENT CONNECTION
	UNKNOWN MANHOLE, COMBINED MANHOLE
	GAS KEY, GAS METER, GAS VALVE
	LIGHT POLE
	ELECTRIC METER/PEDESTAL
	TRANSFORMER
	UTILITY LINE O/H, POLE, GUY WIRE
	UTILITY PEDESTAL
	FLAGPOLE
	FENCE
	WALL
	GRAVEL
	PAVEMENT

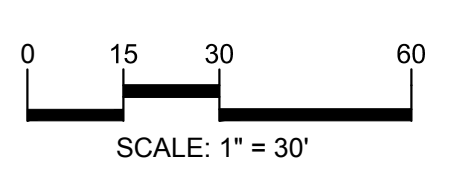
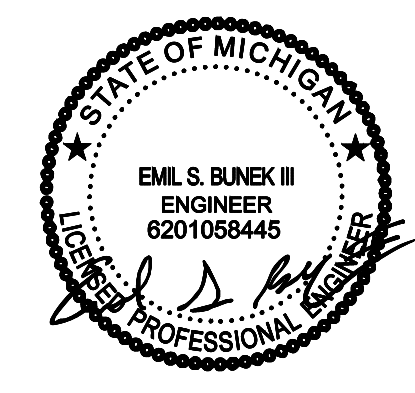
ALTA/NSPS LAND TITLE SURVEY

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 tel. (734) 542-9088
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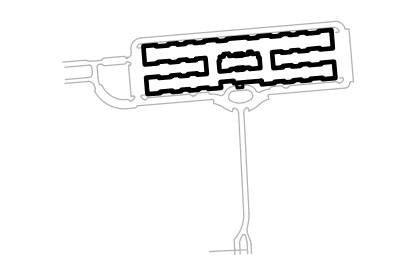
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 Engineering and Science, Inc.[®]

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 CLEVELAND, OHIO 44115
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 jdavenport@partneresi.com
 http://www.partneresi.com

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PROJECT TITLE
PRIYA SENIOR LIVING CAMPUS
 PART OF THE SW 1/4 OF SECTION 31,
 T.3N., R.11E,
 ROCHESTER HILLS, MICHIGAN

REVISIONS	

SPA RESUBMITTAL	08/31/2021
SPA RESUBMITTAL	07/20/2021
SPA RESUBMITTAL	06/15/2021
SPA RESUBMITTAL	04/18/2021

ORIGINAL ISSUE DATE:
 JANUARY 6, 2021

DRAWING TITLE
ENLARGED TOPOGRAPHIC SURVEY 1

PEA JOB NO.	2020-0340
P.M.	ESB
DN.	ESB
DES.	ESB

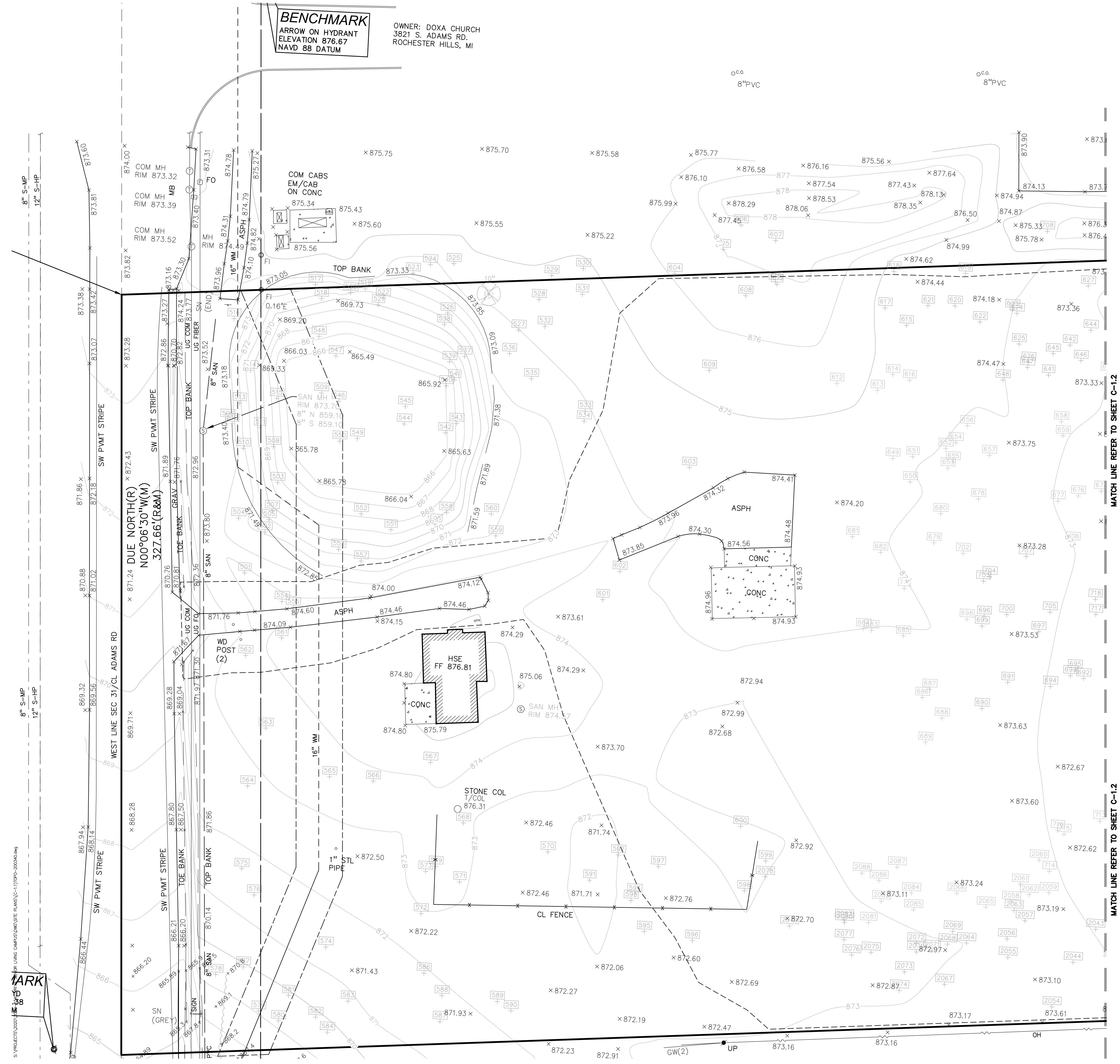
DRAWING NUMBER:
C-1.1

LEGEND

● IRON FOUND	⊗ BRASS PLUG SET	⊙ SEC. CORNER FOUND
⊗ IRON SET	⊗ MONUMENT FOUND	⊙ RECORDED
⊗ NAIL FOUND	⊗ MONUMENT SET	⊙ MEASURED
⊗ NAIL & CAP SET		⊙ CALCULATED

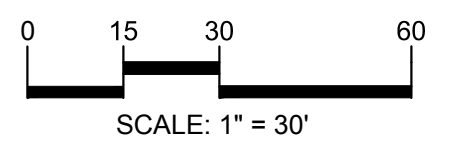
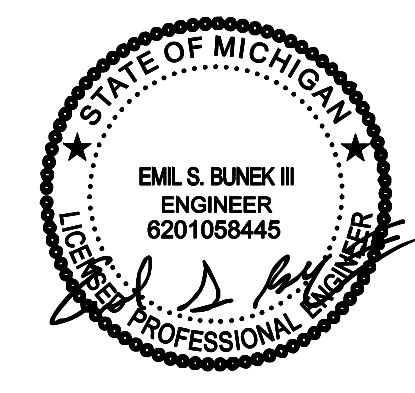
EXISTING

—OH—ELEC—W—	ELEC. PHONE OR CABLE TV O.H. LINE, POLE & GUY WIRE
—UG—CATV—	UNDERGROUND CABLE TV, CATV PEDESTAL
—UG—PHONE—	TELEPHONE U.G. CABLE, PEDESTAL & MANHOLE
—UG—ELEC—	ELECTRIC U.G. CABLE, MANHOLE, METER & HANDHOLE
—GAS—	GAS MAIN, VALVE & GAS LINE MARKER
—WATER—	WATERMAIN, HYD., GATE VALVE, TAPPING RLEEVE & VALVE
—SEWER—	SANITARY SEWER, CLEANOUT & MANHOLE
—CS—	STORM SEWER, CLEANOUT & MANHOLE
—COMB—	COMBINED SEWER & MANHOLE
—SQUARE, ROUND & BEEHIVE CATCH BASIN, YARD DRAIN	
—POST INDICATOR VALVE	
—WATER VALVE BODY/HYDRANT VALVE BOX, SERVICE SHUTOFF	
—MARB. TRANSFORMER, IRRIGATION CONTROL VALVE	
—UNIDENTIFIED STRUCTURE	
—SPOT ELEVATION	
—CONTOUR LINE	
—FENCE	
—GUARD RAIL	
—STREET LIGHT	
—SIGN	
—CONC.	CONCRETE
—ASPH.	ASPHALT
—GRAVEL	GRAVEL SHOULDER
—WETLAND	WETLAND

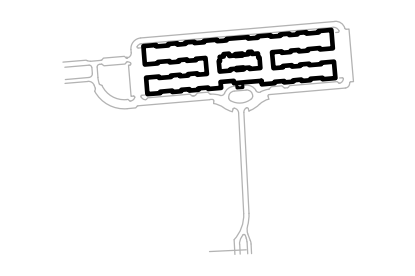


CITY FILE #21-001, SECTION #31
NOT TO BE USED AS CONSTRUCTION DRAWINGS

FOR LIVING CAMPUS/WHITE PLANS (C-1) TOPO-2020-0340.dwg
 1/6/21
 MARK



CAUTION!
 THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



PROJECT TITLE
PRIYA SENIOR LIVING CAMPUS
 PART OF THE SW 1/4 OF SECTION 31,
 T.3N., R.11E,
 ROCHESTER HILLS, MICHIGAN

REVISIONS	

SPA RESUBMITTAL	08/31/2021
SPA RESUBMITTAL	07/20/2021
SPA RESUBMITTAL	06/15/2021
SPA RESUBMITTAL	04/16/2021

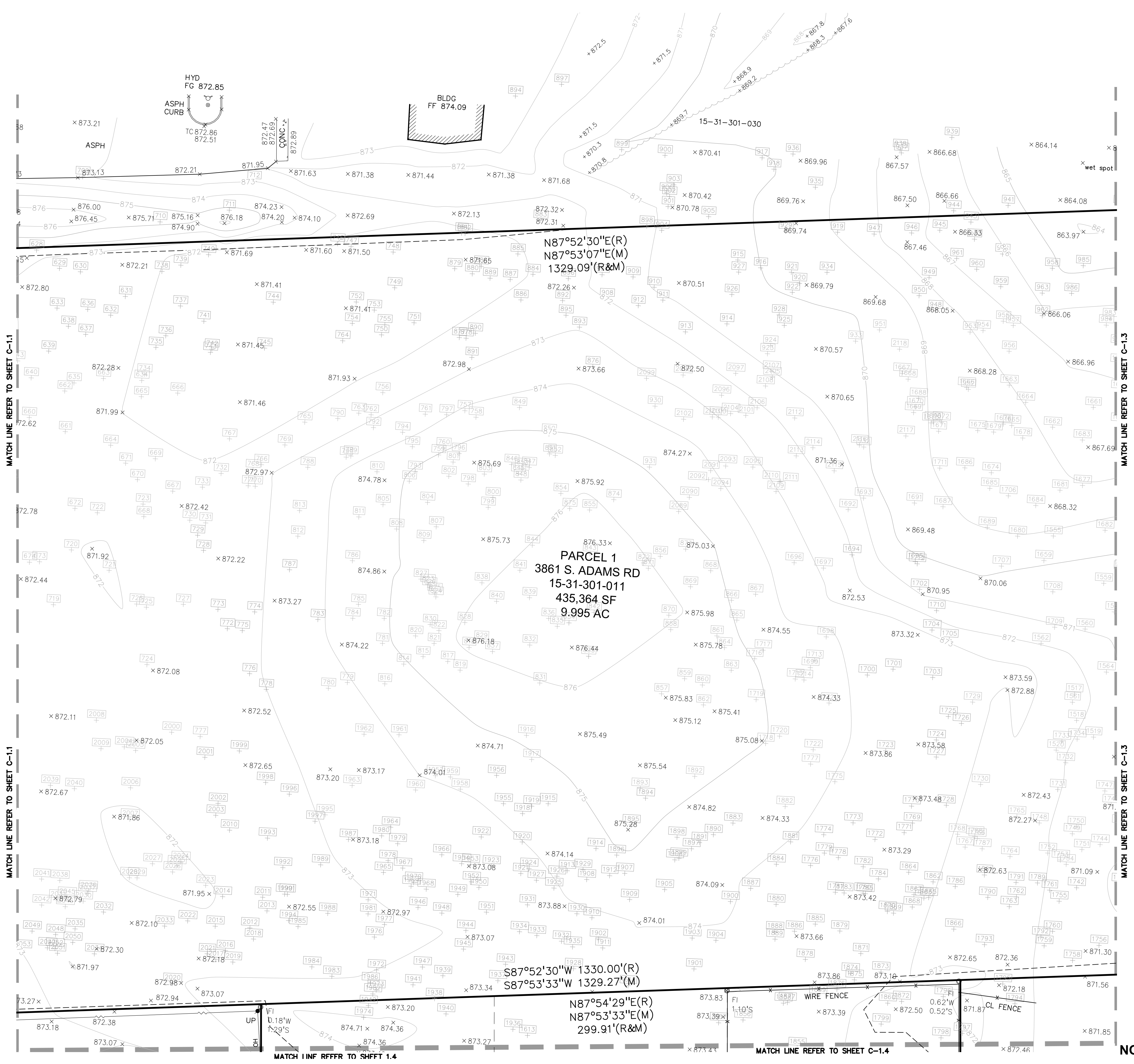
ORIGINAL ISSUE DATE:
 JANUARY 6, 2021

DRAWING TITLE
ENLARGED TOPOGRAPHIC SURVEY 2

PEA JOB NO.	2020-0340
P.M.	ESB
DN.	ESB
DES.	ESB
DRAWING NUMBER:	

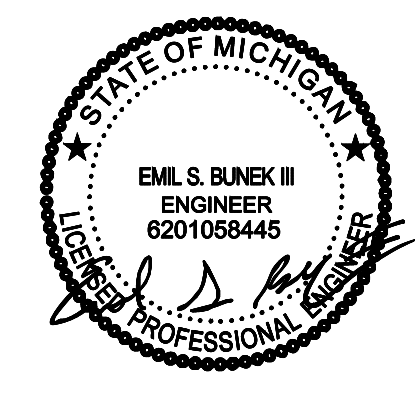
C-1.2

- LEGEND**
- IRON FOUND
 - ⊗ IRON SET
 - NAIL FOUND
 - ⊗ NAIL & CAP SET
 - BRASS PLUG SET
 - ⊗ MONUMENT FOUND
 - ⊗ MONUMENT SET
 - SEC. CORNER FOUND
 - R. RECORDED
 - M. MEASURED
 - C. CALCULATED
- EXISTING**
- OH-ELEC—W—W— ELEC. PHONE OR CABLE TV O.H. LINE, POLE & GUY WIRE
 - UG-CATV— UG. CABLE, PEDESTAL & MANHOLE
 - UG-PHONE— UG. PHONE, PEDESTAL & MANHOLE
 - UG-ELEC—ELEC. U.G. CABLE, MANHOLE, METER & HANDHOLE
 - GAS VALVE & GAS LINE MARKER
 - WATERMAN, HYD., GATE VALVE, TAPPING BREECH & VALVE
 - SANITARY SEWER, CLEANOUT & MANHOLE
 - STORM SEWER, CLEANOUT & MANHOLE
 - COMBINED SEWER & MANHOLE
 - SQUARE, ROUND & BEEHIVE CATCH BASIN, YARD DRAIN
 - POST INDICATOR VALVE
 - WATER VALVE BODY/DRYANT VALVE BOX, SERVICE SHUTOFF
 - MARB. TRANSFORMER, IRRIGATION CONTROL VALVE
 - UNIDENTIFIED STRUCTURE
 - SPOT ELEVATION
 - CONTOUR LINE
 - FENCE
 - GUARD RAIL
 - STREET LIGHT
 - SIGN
 - CONC.— CONCRETE
 - ASPH.— ASPHALT
 - GRAVEL— GRAVEL SHOULDER
 - WETLAND

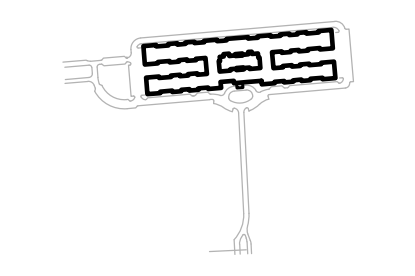


CITY FILE #21-001, SECTION #31
NOT TO BE USED AS CONSTRUCTION DRAWINGS

S:\PROJECTS\2020-0340 PRIYA SENIOR LIVING CAMPUS\DWG\SITE PLANS\01-1\TOPO-2020-0340.dwg



CAUTION!
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PROJECT TITLE
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SPA RESUBMITTAL	08/31/2021
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SPA RESUBMITTAL	06/15/2021
SPA RESUBMITTAL	04/18/2021

ORIGINAL ISSUE DATE:
 JANUARY 6, 2021

DRAWING TITLE
ENLARGED TOPOGRAPHIC SURVEY 3

PEA JOB NO.	2020-0340
P.M.	ESB
DN.	ESB
DES.	ESB
DRAWING NUMBER:	

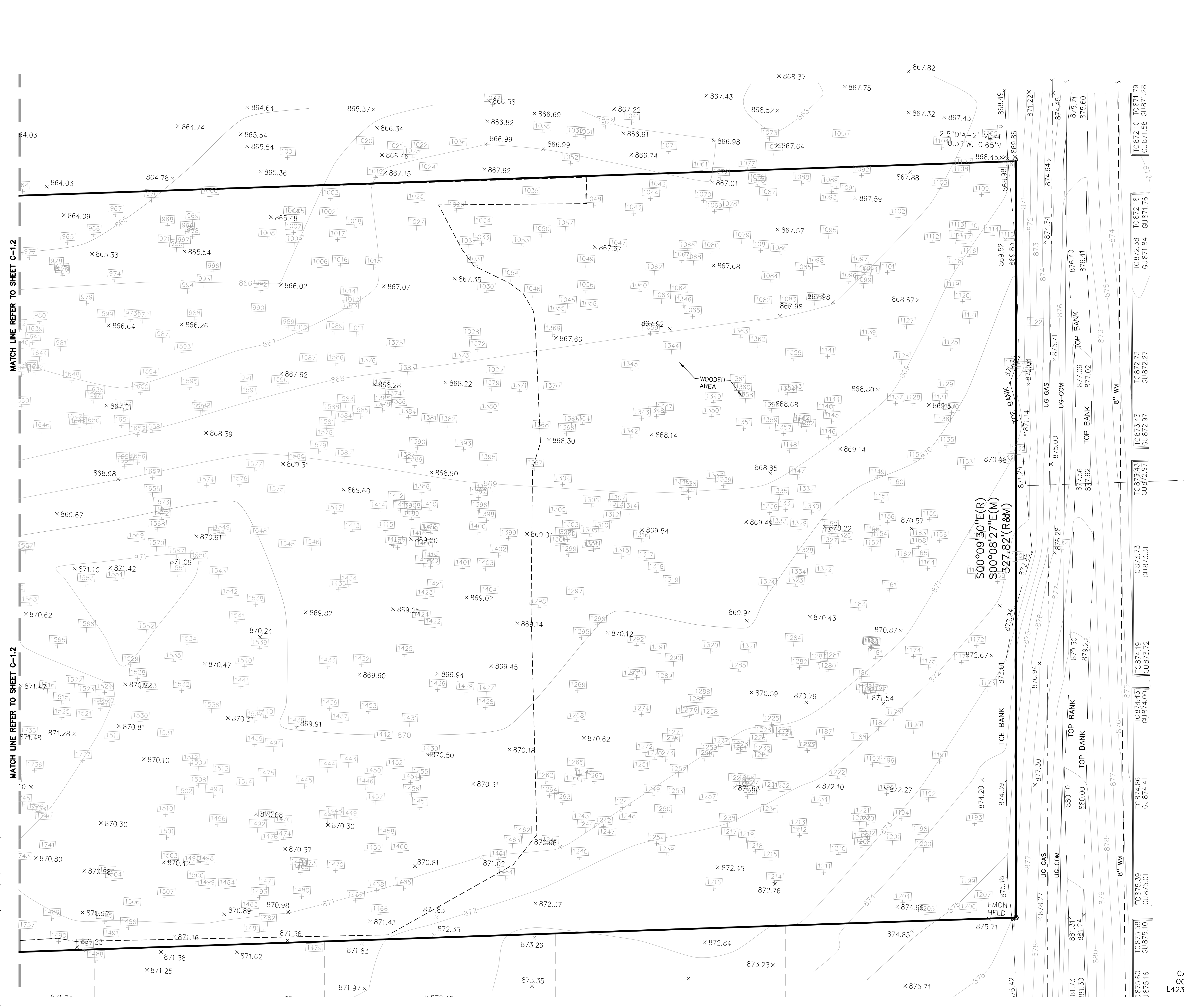
C-1.3

LEGEND

● IRON FOUND	⊗ BRASS PLUG SET	⊙ SEC. CORNER FOUND
⊗ IRON SET	⊙ MONUMENT FOUND	⊙ R. RECORDED
⊗ NAIL FOUND	⊙ NAIL & CAP SET	⊙ M. MEASURED
⊗	⊙	⊙ C. CALCULATED

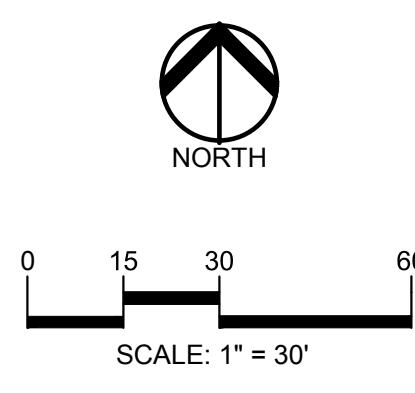
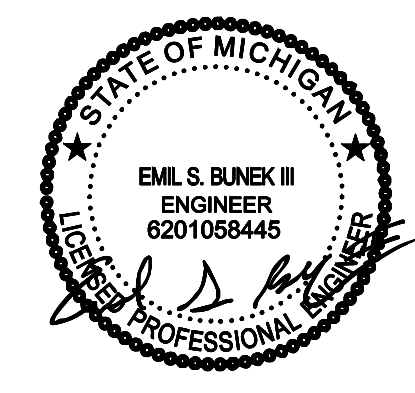
EXISTING

—OH-ELEC—	ELEC. PHONE OR CABLE TV O.H. LINE, POLE & GUY WIRE
—UG-CATV—	UNDERGROUND CABLE TV, CATV PEDESTAL
—UG-PHONE—	TELEPHONE U.G. CABLE, PEDESTAL & MANHOLE
—UG-ELEC—	ELECTRIC U.G. CABLE, MANHOLE, METER & HANDHOLE
—GAS—	GAS MAIN, VALVE & GAS LINE MARKER
—WATER—	WATERMAIN, HYD. GATE VALVE, TAPPING BLEWIE & VALVE
—SEWER—	SANITARY SEWER, CLEANOUT & MANHOLE
—STORM—	STORM SEWER, CLEANOUT & MANHOLE
—COMB.—	COMBINED SEWER & MANHOLE
—SQUARE—	SQUARE, ROUND & BEEHIVE CATCH BASIN, YARD DRAIN
—POST—	POST INDICATOR VALVE
—WATER VALVE—	WATER VALVE BOX/HYDRANT VALVE BOX, SERVICE SHUTOFF
—MARB.—	MARB. TRANSFORMER, IRRIGATION CONTROL VALVE
—UNIDENT.—	UNIDENTIFIED STRUCTURE
—SPOT—	SPOT ELEVATION
—CONTOUR—	CONTOUR LINE
—FENCE—	FENCE
—GUARD RAIL—	GUARD RAIL
—STREET LIGHT—	STREET LIGHT
—SIGN—	SIGN
—CONC.—	CONCRETE
—ASPH.—	ASPHALT
—GRAVEL—	GRAVEL SHOULDER
—WETLAND—	WETLAND

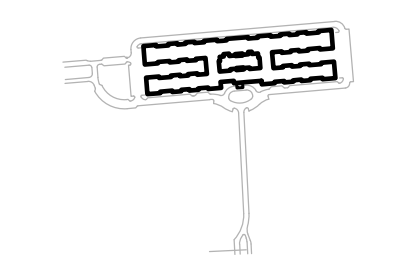


**CITY FILE #21-001, SECTION #31
 NOT TO BE USED AS CONSTRUCTION DRAWINGS**

S:\PROJECTS\2020-0340 PRIYA SENIOR LIVING CAMPUS\DWG\SITE PLANS\C-1\TOPO-2020-0340.dwg



CAUTION!
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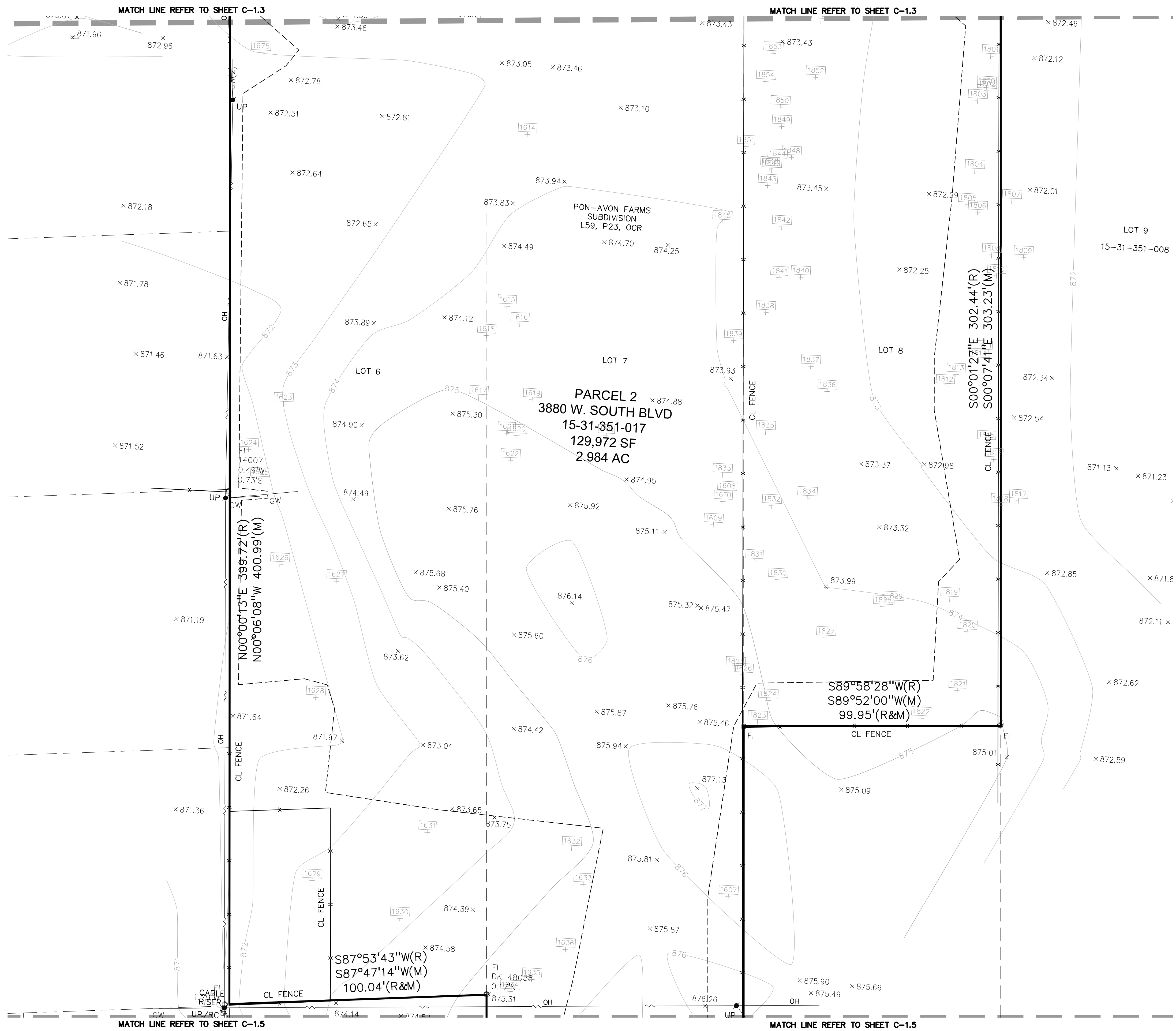


LEGEND

● IRON FOUND	⊕ BRASS PLUG SET	⊙ SEC. CORNER FOUND
⊗ IRON SET	⊕ MONUMENT FOUND	Ⓜ RECORDED
⊙ NAIL FOUND	⊕ MONUMENT SET	Ⓜ MEASURED
⊙ NAIL & CAP SET		Ⓜ CALCULATED

EXISTING

—OH—ELEC—W—O—	ELEC. PHONE OR CABLE TV O.H. LINE, POLE & GUY WIRE
—UG—CATV—	UNDERGROUND CABLE TV, CATV PEDESTAL
—UG—PHONE—	TELEPHONE U.G. CABLE, PEDESTAL & MANHOLE
—UG—ELEC—	ELECTRIC U.G. CABLE, MANHOLE, METER & HANDHOLE
—GAS VAL. VALVE & GAS LINE MARKER	GAS VALVE, VALVE & GAS LINE MARKER
—WATERMAN. HYD. GATE VALVE, TAPPING BLEEVE & VALVE	WATERMAN. HYD. GATE VALVE, TAPPING BLEEVE & VALVE
—SANITARY SEWER, CLEANOUT & MANHOLE	SANITARY SEWER, CLEANOUT & MANHOLE
—STORM SEWER, CLEANOUT & MANHOLE	STORM SEWER, CLEANOUT & MANHOLE
—COMBINED SEWER & MANHOLE	COMBINED SEWER & MANHOLE
—SQUARE, ROUND & BEEHIVE CATCH BASIN, YARD DRAIN	SQUARE, ROUND & BEEHIVE CATCH BASIN, YARD DRAIN
—POST INDICATOR VALVE	POST INDICATOR VALVE
—WATER VALVE BODY/HYDRANT VALVE BOX, SERVICE SHUTOFF	WATER VALVE BODY/HYDRANT VALVE BOX, SERVICE SHUTOFF
—MARB. TRANSFORMER, IRRIGATION CONTROL VALVE	MARB. TRANSFORMER, IRRIGATION CONTROL VALVE
—UNIDENTIFIED STRUCTURE	UNIDENTIFIED STRUCTURE
—SPOT ELEVATION	SPOT ELEVATION
—CONTOUR LINE	CONTOUR LINE
—FENCE	FENCE
—GUARD RAIL	GUARD RAIL
—STREET LIGHT	STREET LIGHT
—SIGN	SIGN
—CONC.	CONCRETE
—ASPH.	ASPHALT
—GRAVEL	GRAVEL SHOULDER
—WETLAND	WETLAND



PROJECT TITLE
PRIYA SENIOR LIVING CAMPUS
 PART OF THE SW 1/4 OF SECTION 31,
 T.3N., R.11E,
 ROCHESTER HILLS, MICHIGAN

REVISIONS

NO.	DESCRIPTION	DATE

SPA RESUBMITTAL	08/31/2021
SPA RESUBMITTAL	07/20/2021
SPA RESUBMITTAL	06/15/2021
SPA RESUBMITTAL	04/18/2021

ORIGINAL ISSUE DATE:
 JANUARY 6, 2021

DRAWING TITLE
ENLARGED TOPOGRAPHIC SURVEY 4

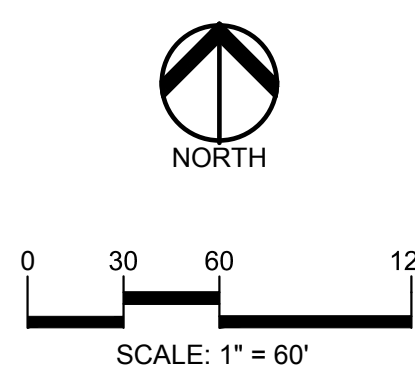
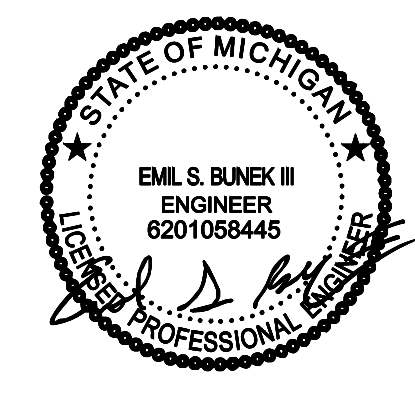
PEA JOB NO.	2020-0340
P.M.	ESB
DN.	ESB
DES.	ESB

DRAWING NUMBER:

**CITY FILE #21-001, SECTION #31
 NOT TO BE USED AS CONSTRUCTION DRAWINGS**

C-1.4

S:\PROJECTS\2020-0340-PRIYA SENIOR LIVING CAMPUS\DWG\SITE PLANS\C-1\TOPO-2020-0340.dwg



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LEGEND

● IRON FOUND	⊗ BRASS PLUG SET	⊙ SEC. CORNER FOUND
⊙ IRON SET	⊙ MONUMENT FOUND	R RECORDED
⊙ NAIL FOUND	⊙ MONUMENT SET	M MEASURED
⊙ NAIL & CAP SET		C CALCULATED

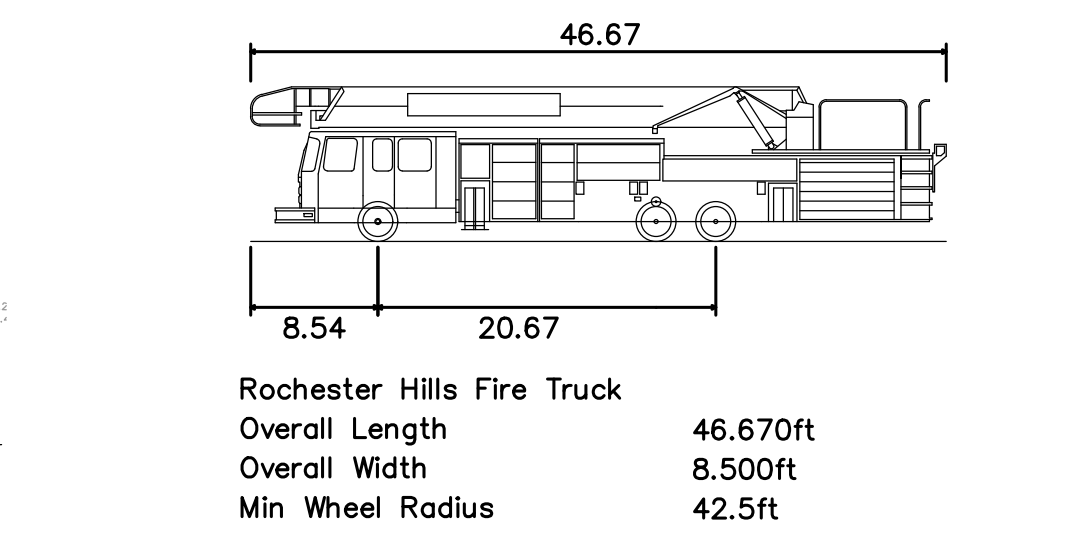
EXISTING

- OH-ELEC— ELEC. PHONE OR CABLE TV O.H. LINE, POLE & GUY WIRE
- UG-CATV— UNDERGROUND CABLE TV, CATV PEDESTAL
- ⊙-PHONE- TELEPHONE U.G. CABLE, PEDESTAL & MANHOLE
- UG-ELEC— ELECTRIC U.G. CABLE, MANHOLE, METER & HANDHOLE
- ⊙ GAS VALVE & GAS LINE MANHOLE
- ⊙ WATERMAN, HYD., GATE VALVE, TAPPING SLEEVE & VALVE
- ⊙ SANITARY SEWER, CLEANOUT & MANHOLE
- ⊙ STORM SEWER, CLEANOUT & MANHOLE
- ⊙ COMBINED SEWER & MANHOLE
- ⊙ SQUARE, ROUND & BEEHIVE CATCH BASIN, YARD DRAIN
- ⊙ POST INDICATOR VALVE
- ⊙ WATER VALVE BOX/HYDRANT VALVE BOX, SERVICE SHUTOFF
- ⊙ MAILBOX, TRANSFORMER, IRRIGATION CONTROL VALVE
- ⊙ UNIDENTIFIED STRUCTURE
- ⊙ SPOT ELEVATION
- 670— CONTOUR LINE
- X— FENCE
- X— GUARD RAIL
- X— STREET LIGHT
- X— SIGN
- CONC. CONCRETE
- ASPH. ASPHALT
- GRAVEL GRAVEL SHOULDER
- WETLAND

PROPOSED

- ⊙ 310 HEAVY FLOW DUTY ONLY
- ⊙ 310 HEAVY FLOW DUTY STRENGTH

BUILDING NOTES:
 BUILDING TYPE V-A, FULLY SPRINKLERED, OCCUPANCY CLASSIFICATION R-2 AND A-2.
 AWNING HEIGHT TO MAINTAIN MINIMUM 14' GROUND CLEARANCE.
 TOTAL 219,000 SF.



FIRE DEPARTMENT NOTES:
 FIRE LANES SHALL BE DESIGNATED BY THE FIRE CODE OFFICIAL, AND SHALL BE CONSPICUOUSLY POSTED ON BOTH SIDES OF THE FIRE LANE. FIRE LANE SIGNS SHALL BE SPACED NOT MORE THAN 100 FEET APART, AND SHALL READ "NO STOPPING, STANDING, PARKING, FIRE LANE" IN CONFORMANCE WITH THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
 —FIRE PREVENTION ORDINANCE CHAPTER 58, SECTION 503.
 CONSTRUCTION SITES SHALL BE SAFEGUARDED IN ACCORDANCE WITH IFC CHAPTER 14.
 OPEN BURNING IS NOT PERMITTED, INCLUDING THE BURNING OF TRASH, DEBRIS, OR LAND CLEARING MATERIALS. OPEN BURNING FOR WARMING OF SAND AND/OR WATER FOR THE PREPARATION OF MORTAR SHALL BE WITHIN CITY OF ROCHESTER HILLS BURN PERMIT GUIDELINES. CONTACT ROCHESTER HILLS FIRE DEPARTMENT FOR PERMIT INFORMATION.
 —FIRE PREVENTION ORDINANCE CHAPTER 58, SECTION 307.6.2 & 307.6.2.3
 A KNOX KEY SYSTEM SHALL BE INSTALLED AT EACH BUILDING IN A LOCATION APPROVED BY THE FIRE CODE OFFICIAL. ORDERING INFORMATION IS AVAILABLE KNOXBOX.COM. IFC 2006 SEC. 506
 THE PROPOSED UNDERGROUND DETENTION/RETENTION SYSTEMS SHALL BE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS.

GENERAL NOTES:
 THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT.
 1. ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, FACE OF SIDEWALK, OUTSIDE FACE OF BUILDING, PROPERTY LINE, CENTER OF MANHOLE/CATCH BASIN OR CENTERLINE OF PIPE UNLESS OTHERWISE NOTED.
 2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF ROCHESTER HILLS CURRENT STANDARDS AND REGULATIONS.
 3. THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.
 4. ANY WORK WITHIN THE STREET OR HIGHWAY RIGHT-OF-WAYS SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AGENCIES HAVING JURISDICTION AND SHALL NOT BEGIN UNTIL ALL NECESSARY PERMITS HAVE BEEN ISSUED FOR THE WORK.

SIGN LEGEND:

'NO STOPPING STANDING PARKING FIRE LANE' SIGN	2
'BARRIER FREE PARKING' SIGN	3
'VAN ACCESSIBLE' SIGN	4

REFER TO LATEST MDOT R-28 STANDARD DETAILS FOR ADDITIONAL SIGN DETAILS

PROJECT TITLE
PRIYA SENIOR LIVING CAMPUS
 PART OF THE SW 1/4 OF SECTION 31, T.3N., R.11E, ROCHESTER HILLS, MICHIGAN

REVISIONS

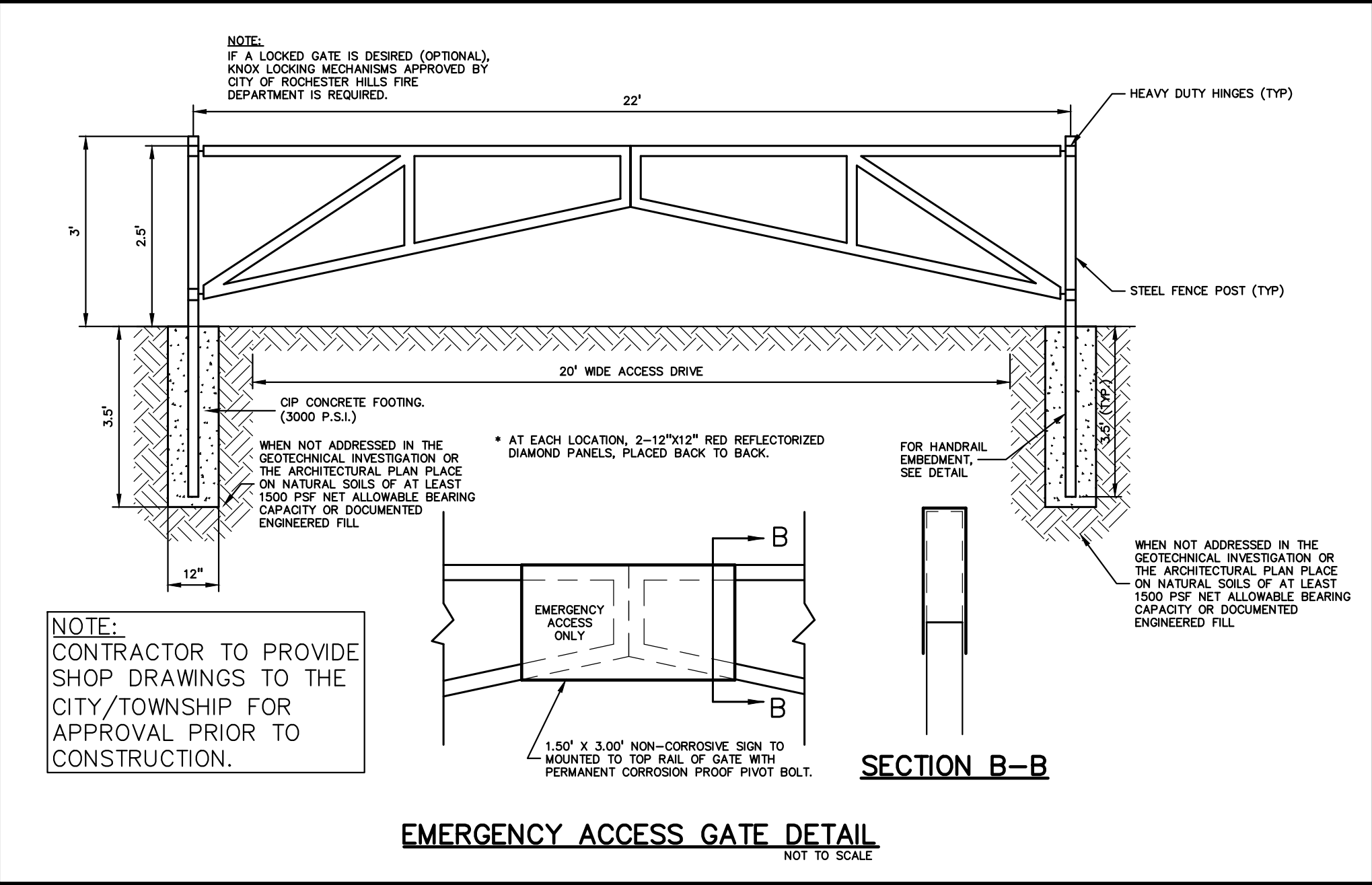
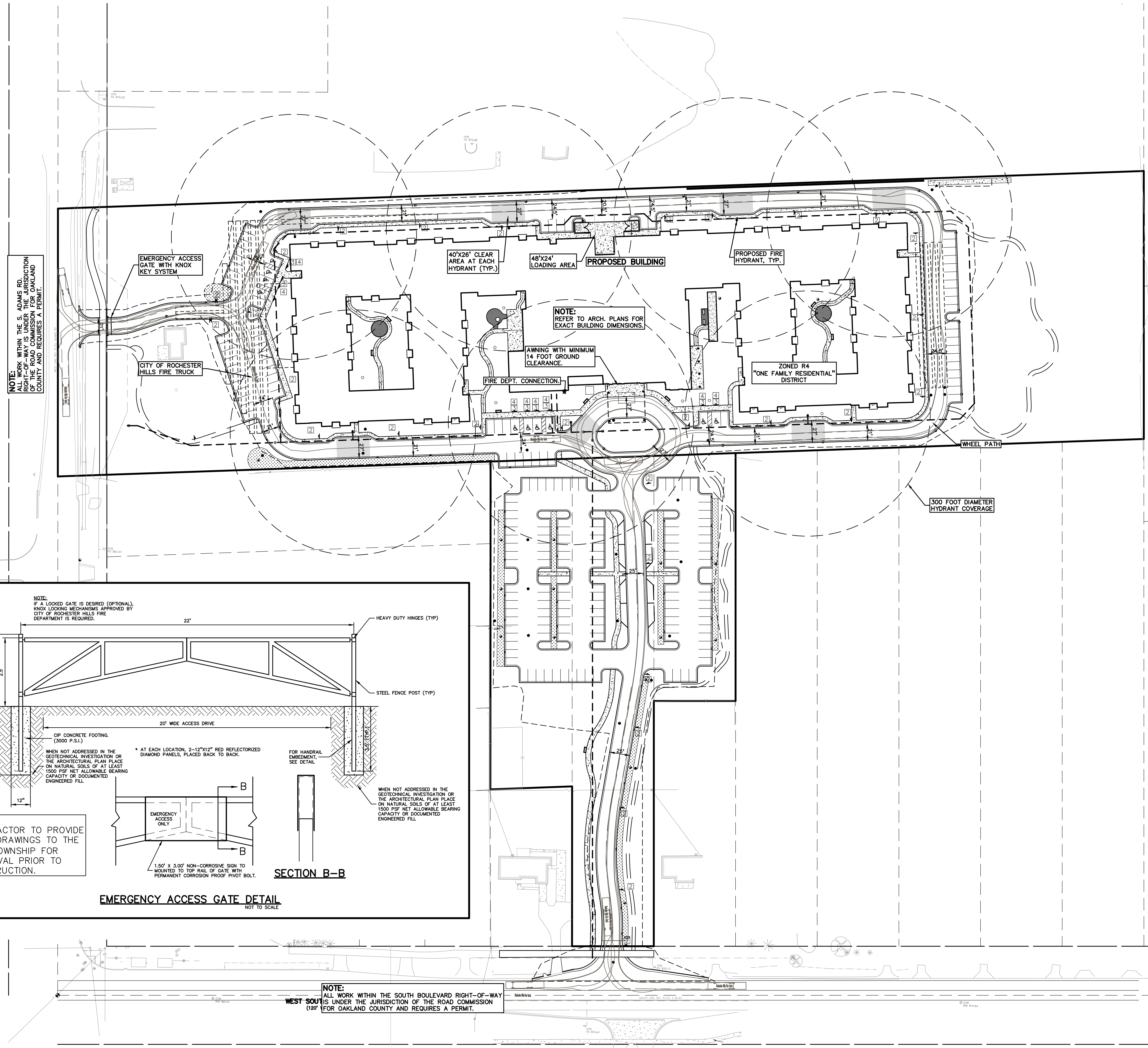
SPA RESUBMITTAL	08/31/2021
SPA RESUBMITTAL	07/20/2021
SPA RESUBMITTAL	06/15/2021
SPA RESUBMITTAL	04/16/2021

ORIGINAL ISSUE DATE:
 JANUARY 6, 2021

DRAWING TITLE
FIRE PROTECTION PLAN

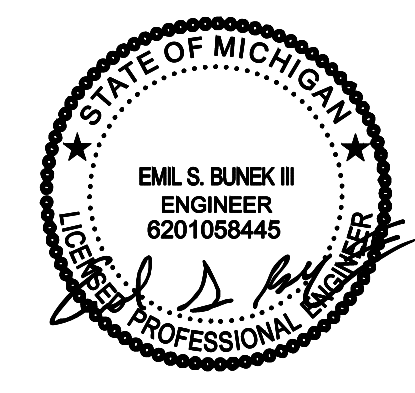
PEA JOB NO.	2020-0340
P.M.	ESB
DN.	ESB
DES.	ESB

DRAWING NUMBER:



NOTE:
 ALL WORK WITHIN THE SOUTH BOULEVARD RIGHT-OF-WAY IS UNDER THE JURISDICTION OF THE ROAD COMMISSION FOR OAKLAND COUNTY AND REQUIRES A PERMIT.

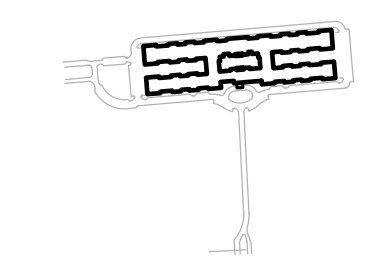
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0 15 30 60
 SCALE: 1" = 30'



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PROJECT TITLE
PRIYA SENIOR LIVING CAMPUS
 PART OF THE SW 1/4 OF SECTION 31,
 T.3N., R.11E,
 ROCHESTER HILLS, MICHIGAN

REVISIONS	

SPA RESUBMITTAL	08/31/2021
SPA RESUBMITTAL	07/20/2021
SPA RESUBMITTAL	06/15/2021
SPA RESUBMITTAL	04/16/2021

ORIGINAL ISSUE DATE:
 JANUARY 6, 2021

DRAWING TITLE
ENLARGED PAVING AND DIMENSION PLAN 1

PEA JOB NO.	2020-0340
P.M.	ESB
DN.	ESB
DES.	ESB

DRAWING NUMBER:
C-3.1

SIDEWALK RAMP LEGEND:
 SIDEWALK RAMP 'TYPE R' (R)
 SIDEWALK RAMP 'TYPE F' (F)
 SIDEWALK RAMP 'TYPE P' (P)
 SIDEWALK RAMP 'TYPE C' (C)
 SIDEWALK RAMP 'TYPE D' (D)
 CURB DROP ONLY (X)
 REFER TO LATEST MDOOT R-28 STANDARD RAMP AND DETECTABLE WARNING DETAILS

LEGEND

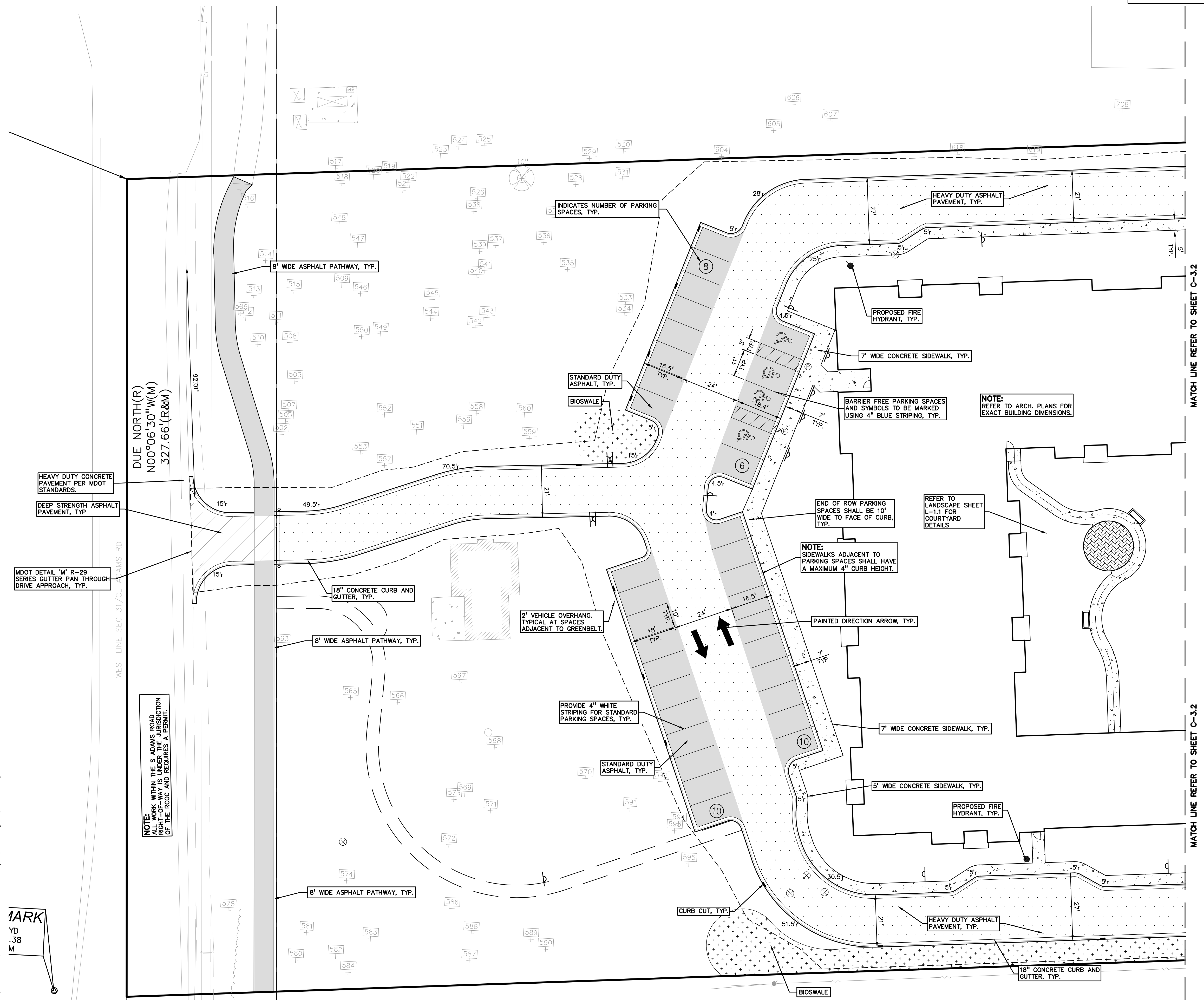
● IRON FOUND	⊗ BRASS PLUG SET	⊙ SEC. CORNER FOUND
⊗ IRON SET	⊗ MONUMENT FOUND	R RECORDED
⊗ NAIL FOUND	⊗ NAIL & CAP SET	M MEASURED
⊗ NAIL & CAP SET		C CALCULATED

EXISTING

- OH-ELEC: WIRE, POLE & GUY WIRE
- UG-CATV: UNDERGROUND CABLE TV, CATV PEDESTAL
- UG-PHONE: TELEPHONE U.G. CABLE, PEDESTAL & MANHOLE
- UG-ELEC: ELECTRIC U.G. CABLE, MANHOLE, METER & HANDHOLE
- GAS VALVE & GAS LINE MARKER
- WATERMAN, HYD., GATE VALVE, TAPPING BLEED & VALVE
- SANITARY SEWER, CLEANOUT & MANHOLE
- STORM SEWER, CLEANOUT & MANHOLE
- COMBINED SEWER & MANHOLE
- SQUARE, ROUND & BEEHIVE CATCH BASIN, YARD DRAIN
- POST INDICATOR VALVE
- WATER VALVE BODY/HYDRANT VALVE BOX, SERVICE SHUTOFF
- MALBOX, TRANSFORMER, IRRIGATION CONTROL VALVE
- UNIDENTIFIED STRUCTURE
- SPOT ELEVATION
- CONTOUR LINE
- FENCE
- GUARD RAIL
- STREET LIGHT
- SIEN

PROPOSED

- CONC. CONCRETE
- ASPH. ASPHALT
- GRAVEL SHOULDER
- WETLAND
- 310 HEAVY FLOW DUTY ONLY
- 310 HEAVY DEEP DUTY STRENGTH



NOTE:
 ALL WORK WITHIN THE S. ADAMS ROAD RIGHT-OF-WAY IS UNDER THE JURISDICTION OF THE ROCO AND REQUIRES A PERMIT.

MDOOT DETAIL 'M' R-29 SERIES GUTTER PAN THROUGH DRIVE APPROACH, TYP.

HEAVY DUTY CONCRETE PAVEMENT PER MDOOT STANDARDS.
 DEEP STRENGTH ASPHALT PAVEMENT, TYP.

DUE NORTH (R)
 N00°06'30"W (M)
 327.66' (R&M)

8' WIDE ASPHALT PATHWAY, TYP.

INDICATES NUMBER OF PARKING SPACES, TYP.

STANDARD DUTY ASPHALT, TYP.

2" VEHICLE OVERHANG, TYPICAL AT SPACES ADJACENT TO GREENBELT.

PROVIDE 4" WHITE STRIPING FOR STANDARD PARKING SPACES, TYP.

STANDARD DUTY ASPHALT, TYP.

8' WIDE ASPHALT PATHWAY, TYP.

8' WIDE ASPHALT PATHWAY, TYP.

CURB CUT, TYP.

BIOSWALE

PROPOSED FIRE HYDRANT, TYP.

BARRIER FREE PARKING SPACES AND SYMBOLS TO BE MARKED USING 4" BLUE STRIPING, TYP.

NOTE:
 REFER TO ARCH. PLANS FOR EXACT BUILDING DIMENSIONS.

END OF ROW PARKING SPACES SHALL BE 10' WIDE TO FACE OF CURB, TYP.

NOTE:
 SIDEWALKS ADJACENT TO PARKING SPACES SHALL HAVE A MAXIMUM 4" CURB HEIGHT.

PAINTED DIRECTION ARROW, TYP.

7' WIDE CONCRETE SIDEWALK, TYP.

5' WIDE CONCRETE SIDEWALK, TYP.

PROPOSED FIRE HYDRANT, TYP.

HEAVY DUTY ASPHALT PAVEMENT, TYP.

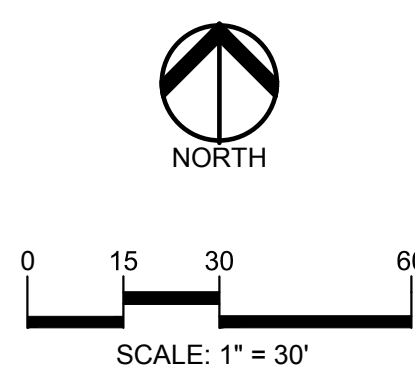
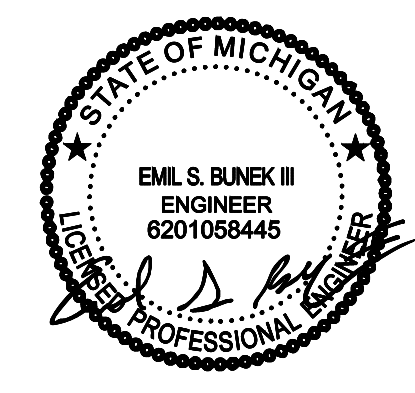
18" CONCRETE CURB AND GUTTER, TYP.

MATCH LINE REFER TO SHEET C-3.1

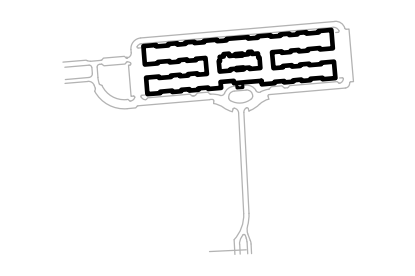
MATCH LINE REFER TO SHEET C-3.2

S:\PROJECTS\2020\0340 PRIYA SENIOR LIVING CAMPUS\DWG\SITE PLANS\C-3.1.DWG - 20200404.dwg

MARK
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PROJECT TITLE
PRIA SENIOR LIVING CAMPUS
 PART OF THE SW 1/4 OF SECTION 31,
 T.3N., R.11E,
 ROCHESTER HILLS, MICHIGAN

REVISIONS

NO.	DATE	DESCRIPTION

ORIGINAL ISSUE DATE:
 JANUARY 6, 2021

DRAWING TITLE
ENLARGED PAVING AND DIMENSION PLAN 2

PEA JOB NO.	2020-0340
P.M.	ESB
DN.	ESB
DES.	ESB
DRAWING NUMBER:	

C-3.2

LEGEND

● IRON FOUND	⊗ BRASS PLUG SET	⊙ SEC. CORNER FOUND
⊗ IRON SET	⊗ MONUMENT FOUND	R RECORDED
⊗ NAIL FOUND	⊗ NAIL & CAP SET	M MEASURED
⊗ NAIL & CAP SET		C CALCULATED

EXISTING

- OH-ELEC—V—O— ELEC. PHONE OR CABLE TV O.H. LINE, POLE & GUY WIRE
- UG-CATV— UG. CABLE, PEDESTAL & MANHOLE
- UG-PHONE— UG. PHONE U.G. CABLE, PEDESTAL & MANHOLE
- UG-ELEC—ELEC. U.G. CABLE, MANHOLE, METER & HANDHOLE
- GAS VALVE & GAS LINE MANHOLE
- WATERMAN, HYD. GATE VALVE, TAPPING BLEWIE & VALVE
- SANITARY SEWER, CLEANOUT & MANHOLE
- STORM SEWER, CLEANOUT & MANHOLE
- COMBINED SEWER & MANHOLE
- SQUARE, ROUND & BEEHIVE CATCH BASIN, YARD DRAIN
- POST INDICATOR VALVE
- WATER VALVE BOX/HYDRANT VALVE BOX, SERVICE SHUTOFF
- MARB. TRANSFORMER, IRRIGATION CONTROL VALVE
- UNIDENTIFIED STRUCTURE
- SPOT ELEVATION
- CONTOUR LINE
- FENCE
- GUARDRAIL
- STREET LIGHT
- SIGN

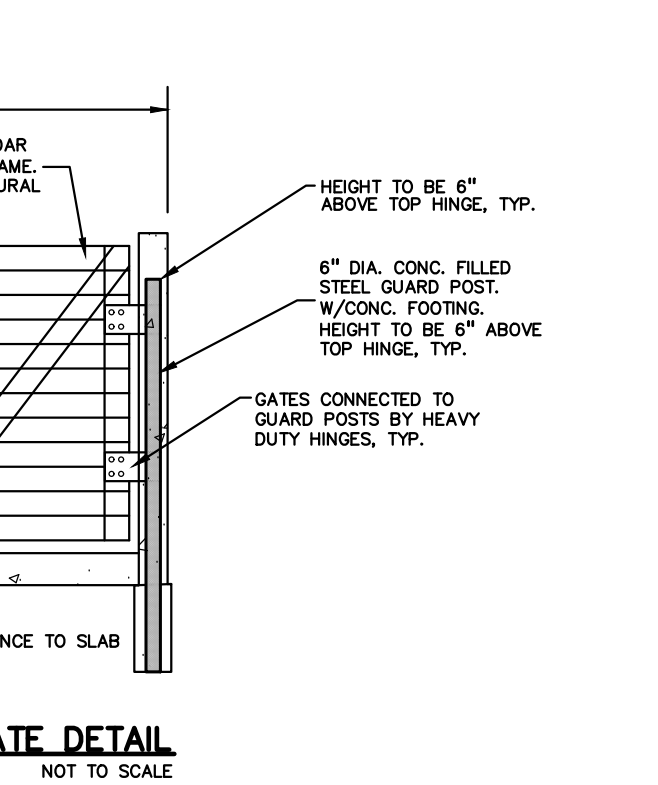
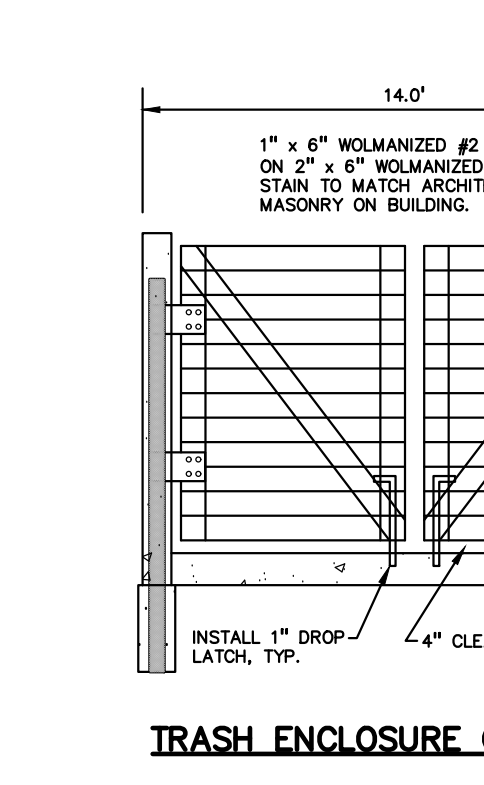
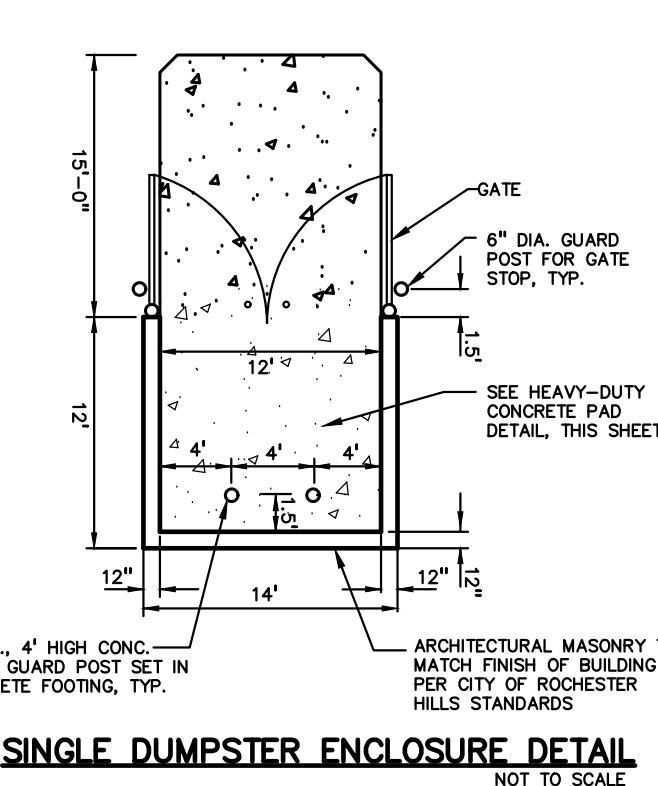
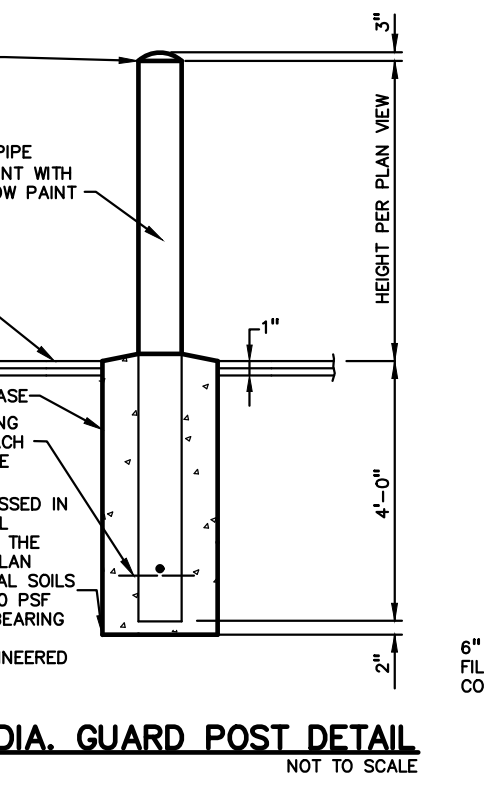
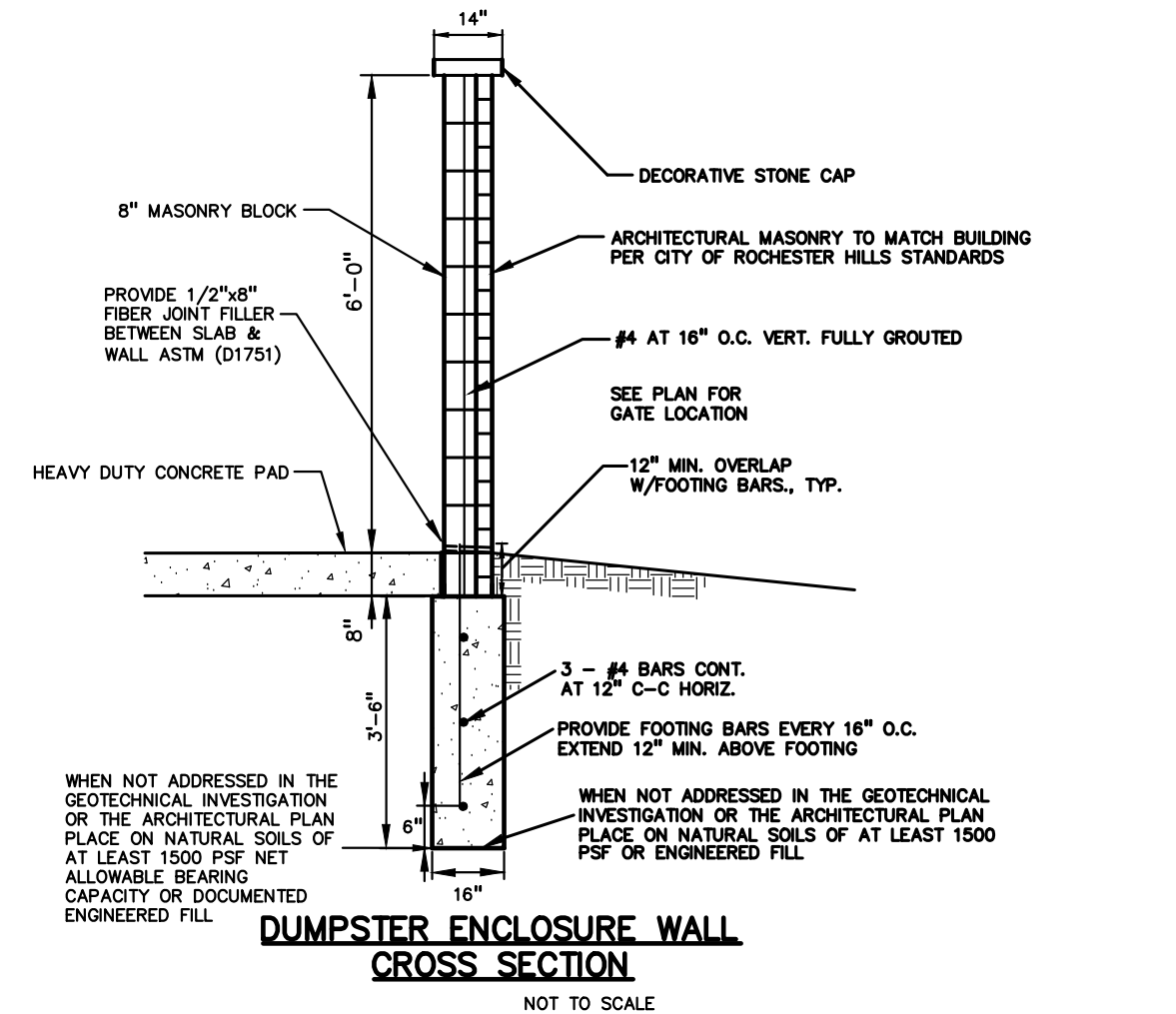
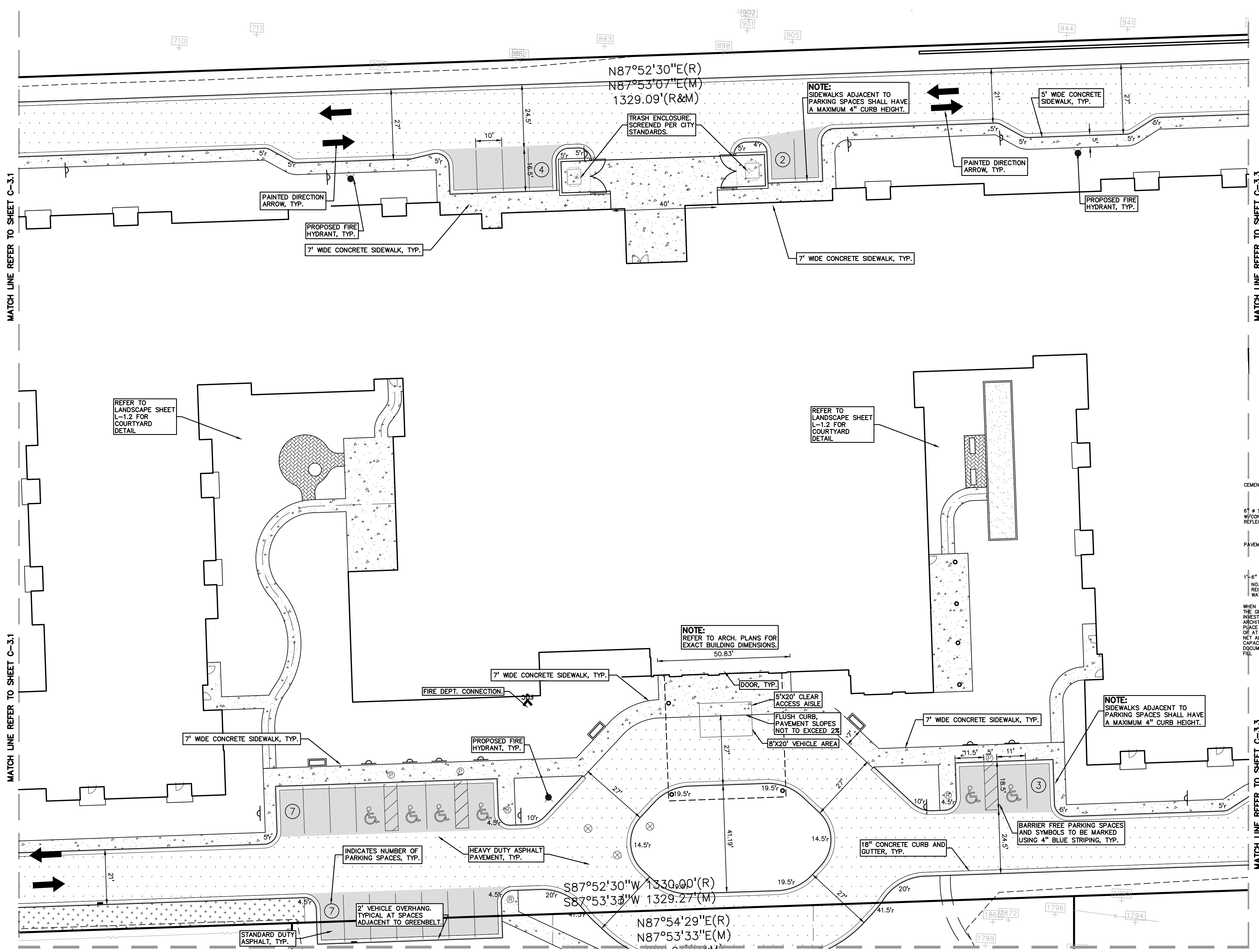
PROPOSED

- CONC.— CONCRETE
- ASPH.— ASPHALT
- GRAVEL— GRAVEL SHOULDER
- WETLAND— WETLAND
- STD. HEAVY DUTY— STD. HEAVY DUTY ONLY
- STD. HEAVY DUTY STRENGTH— STD. HEAVY DUTY STRENGTH

SIDEWALK RAMP LEGEND:

- ⊙ SIDEWALK RAMP 'TYPE R'
- ⊙ SIDEWALK RAMP 'TYPE F'
- ⊙ SIDEWALK RAMP 'TYPE P'
- ⊙ SIDEWALK RAMP 'TYPE C'
- ⊙ SIDEWALK RAMP 'TYPE D'
- ⊙ CURB DROP ONLY

REFER TO LATEST MDOT R-28 STANDARD RAMP AND DETECTABLE WARNING DETAILS



CITY FILE #21-001, SECTION #31
NOT TO BE USED AS CONSTRUCTION DRAWINGS

MATCH LINE REFER TO SHEET C-3.1

MATCH LINE REFER TO SHEET C-3.1

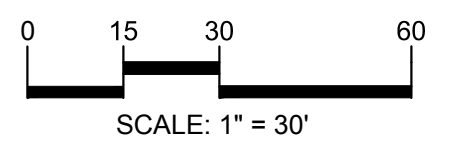
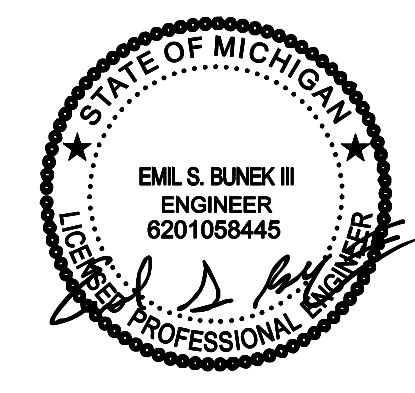
MATCH LINE REFER TO SHEET C-3.3

MATCH LINE REFER TO SHEET C-3.3

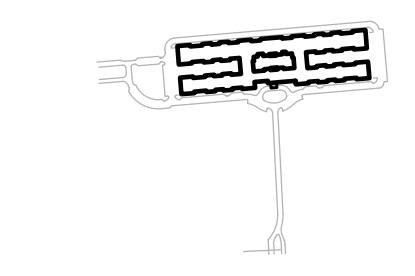
MATCH LINE REFER TO SHEET 3.4

MATCH LINE REFER TO SHEET C-3.4

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PROJECT TITLE
PRIYA SENIOR LIVING CAMPUS
 PART OF THE SW 1/4 OF SECTION 31,
 T.3N., R.11E.
 ROCHESTER HILLS, MICHIGAN

REVISIONS	

SPA RESUBMITTAL	08/31/2021
SPA RESUBMITTAL	07/20/2021
SPA RESUBMITTAL	06/15/2021
SPA RESUBMITTAL	04/16/2021

ORIGINAL ISSUE DATE:
 JANUARY 6, 2021

DRAWING TITLE
ENLARGED PAVING AND DIMENSION PLAN 3

PEA JOB NO.	2020-0340
P.M.	ESB
DN.	ESB
DES.	ESB
DRAWING NUMBER:	

C-3.3

LEGEND

● IRON FOUND	⊗ BRASS PLUG SET	⊙ SEC. CORNER FOUND
⊗ IRON SET	⊙ MONUMENT FOUND	R RECORDED
⊗ NAIL FOUND	⊙ MONUMENT SET	M MEASURED
⊗ NAIL & CAP SET		C CALCULATED

— OH-ELEC—	ELEC. PHONE OR CABLE TV O.H. LINE, POLE & GUY WIRE
— UG-CATV—	UNDERGROUND CABLE TV, CATV PEDESTAL
⊗ UG-PHONE	TELEPHONE U.G. CABLE, PEDESTAL & MANHOLE
⊗ UG-ELEC	ELECTRIC U.G. CABLE, MANHOLE, METER & HANDHOLE
⊗ G.M.V.	GAS MARK, VALVE & GAS LINE MARKER
⊗ W.M.V.	WATERMARK, HYD., GATE VALVE, TAPPING BLEEDIE & VALVE
⊗ S.S.	SANITARY SEWER, CLEANOUT & MANHOLE
⊗ S.S.	STORM SEWER, CLEANOUT & MANHOLE
⊗ C.S.	COMBINED SEWER & MANHOLE
⊗ S.R.	SQUARE, ROUND & BEEHIVE CATCH BASIN, YARD DRAIN
⊗ R.V.	POST INDICATOR VALVE
⊗ W.V.	WATER VALVE BODY/HYDRANT VALVE BOX, SERVICE SHUTOFF
⊗ T.B.	TRANSFORMER, IRRIGATION CONTROL VALVE
⊗ U.S.	UNIDENTIFIED STRUCTURE
⊗ S.E.	SPOT ELEVATION
— 670 —	CONTOUR LINE
— X — X —	FENCE
— X — X —	GUARDRAIL
— X — X —	STREET LIGHT
— X — X —	SIGN
CONC.	CONCRETE
ASPH.	ASPHALT
GRAVEL	GRAVEL SHOULDER
WETLAND	WETLAND

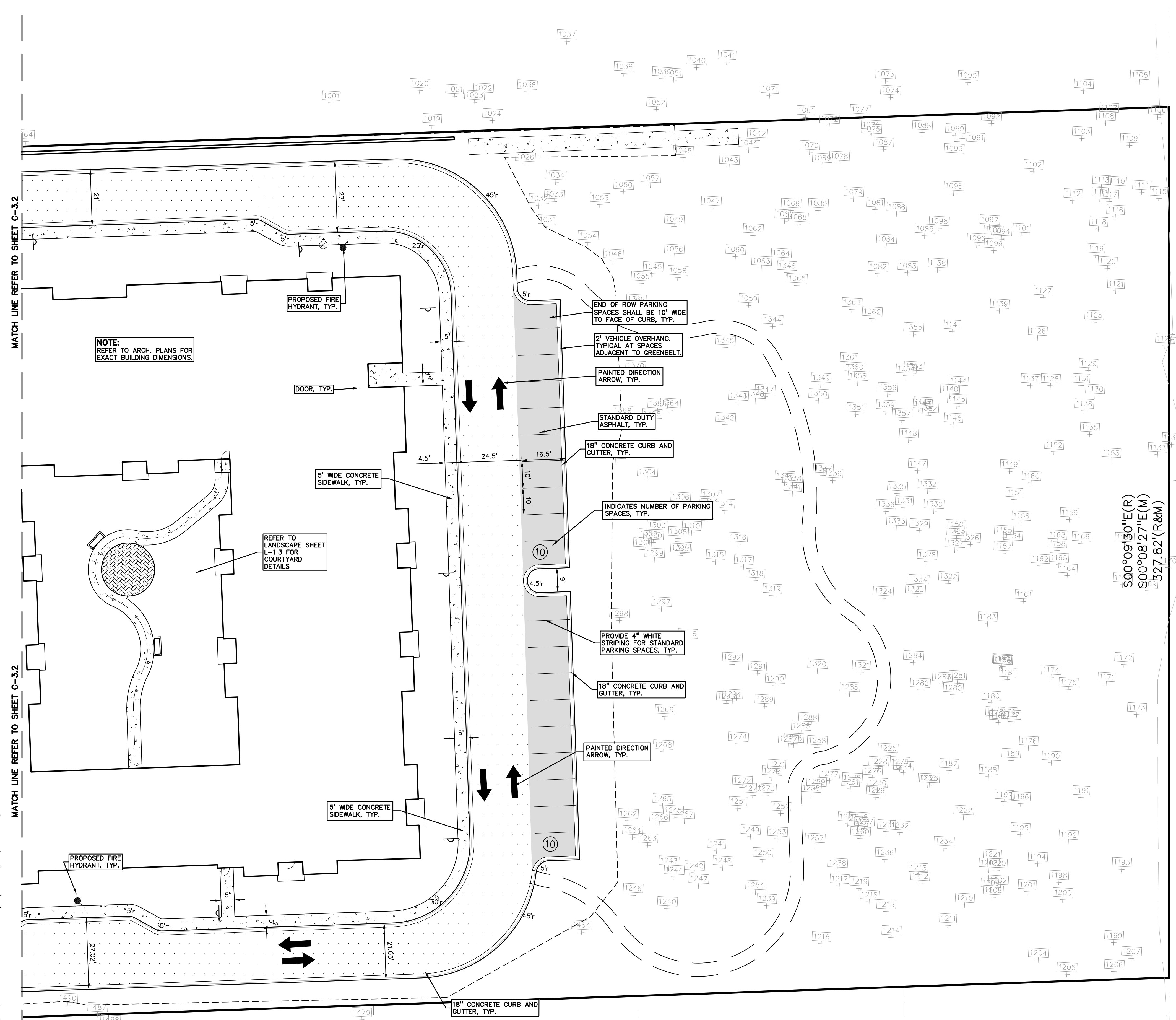
PROPOSED

⊗	310 HEAVY FLOW DUTY ONLY
⊗	310 HEAVY FLOW DUTY STRENGTH

SIDEWALK RAMP LEGEND:

⊗	SIDEWALK RAMP 'TYPE R'
⊗	SIDEWALK RAMP 'TYPE F'
⊗	SIDEWALK RAMP 'TYPE P'
⊗	SIDEWALK RAMP 'TYPE C'
⊗	SIDEWALK RAMP 'TYPE D'
⊗	CURB DROP ONLY

REFER TO LATEST MDOT R-28 STANDARD RAMP AND DETECTABLE WARNING DETAILS



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