

Camden Crossing
Rochester Hills



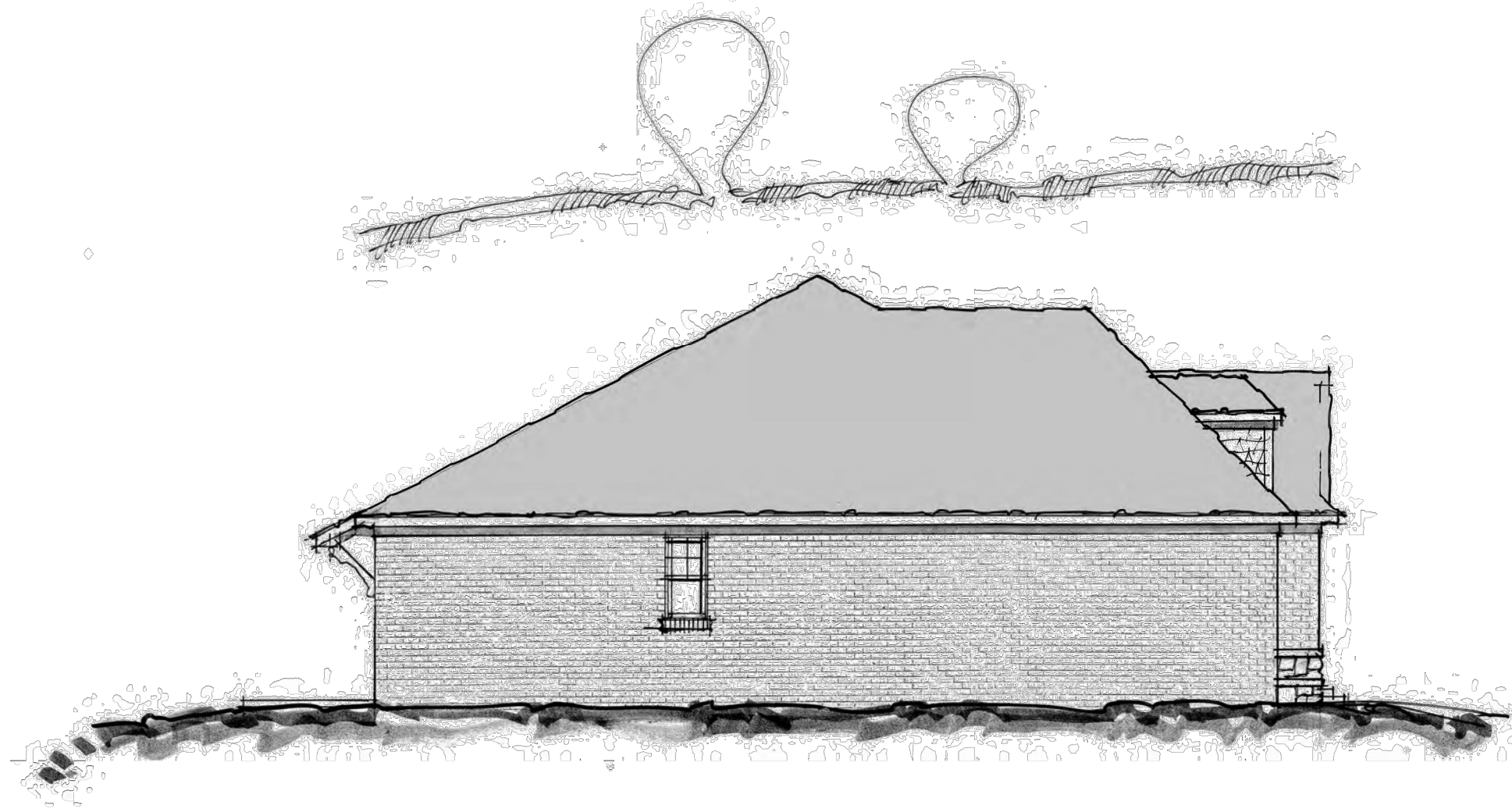
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



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21059 Camden Crossing v.4 03/25/21

Camden Crossing
Rochester Hills



LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



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Rochester Hills



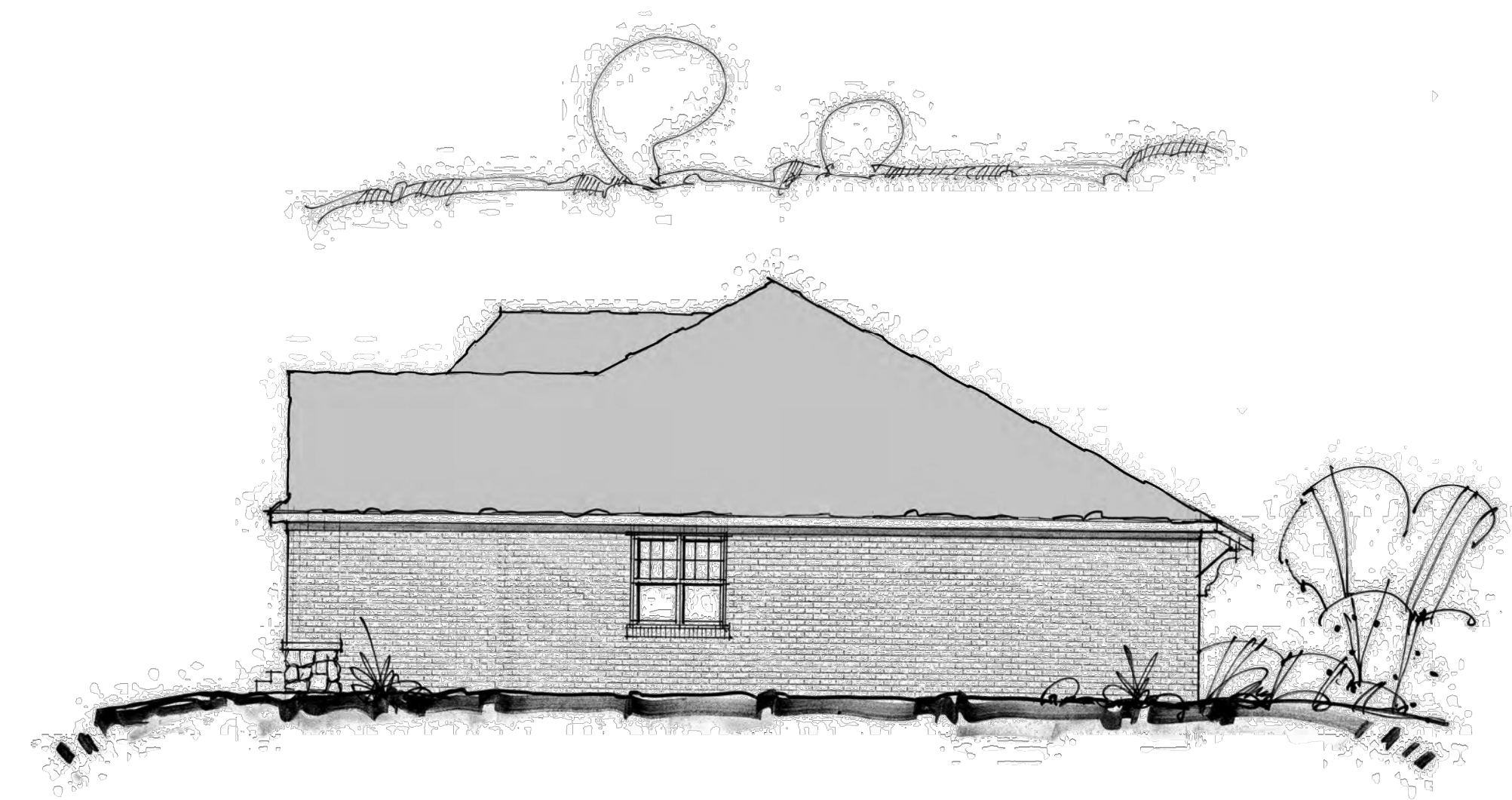
REAR ELEVATION
SCALE: 1/4" = 1'-0"



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RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



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THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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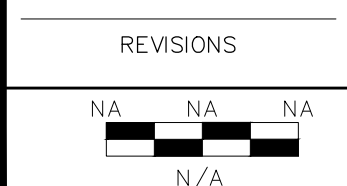
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SOUTHFIELD, MI 48076
248.447.2600

SECTION 22
TOWN 3 NORTH, RANGE 11 EAST
CITY OF ROCHESTER HILLS
OAKLAND COUNTY, MICHIGAN

M2JL, LLC
CAMDEN CROSSING
PRELIMINARY SITE PLAN
ARCHITECTURAL DRAWINGS

DATE	AUG. 16, 2019
2020-06-15 PER CITY	
2021-01-21 PER CITY	
2021-07-02 PER CITY	
2021-08-23 PER CITY	

REVISIONS



DRAWN BY:	KS
CHECKED BY:	JA
P.M.:	JACKERMAN
JOB #:	18001982
FILE CODE:	-
SHEET NO.:	C-09

CITY FILE #19-031
SECTION #22

NOT FOR CONSTRUCTION

K:\18001982\DWG\PLAN SETS\SITE - PRELIMINARY\18001982_C-09_ARCH.DWG 8/20/2021 4:44 PM KEVIN SULLIVAN

CAD FILE: 18001982_C-09_ARCH.DWG



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SECTION 22
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2021-08-23 PER CITY

NO.	DATE	REVISIONS

DRAWN BY: KS
CHECKED BY: JA
P.M.: JACKERMAN
JOB #: 18001982
FILE CODE: -
SHEET NO. C-10

Camden Crossing Rochester Hills



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

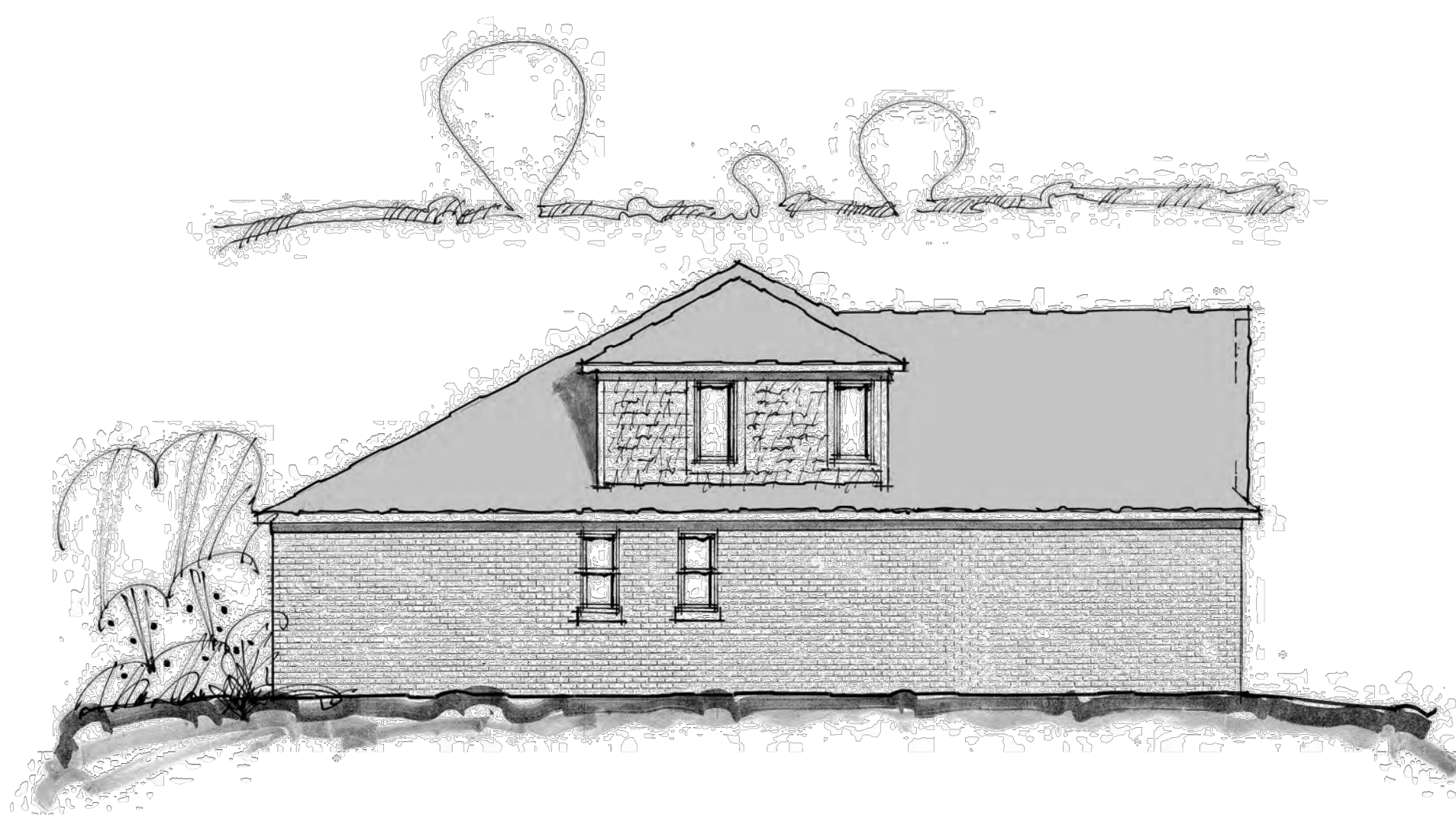


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Camden Crossing Rochester Hills



LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



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REAR ELEVATION
SCALE: 1/4" = 1'-0"

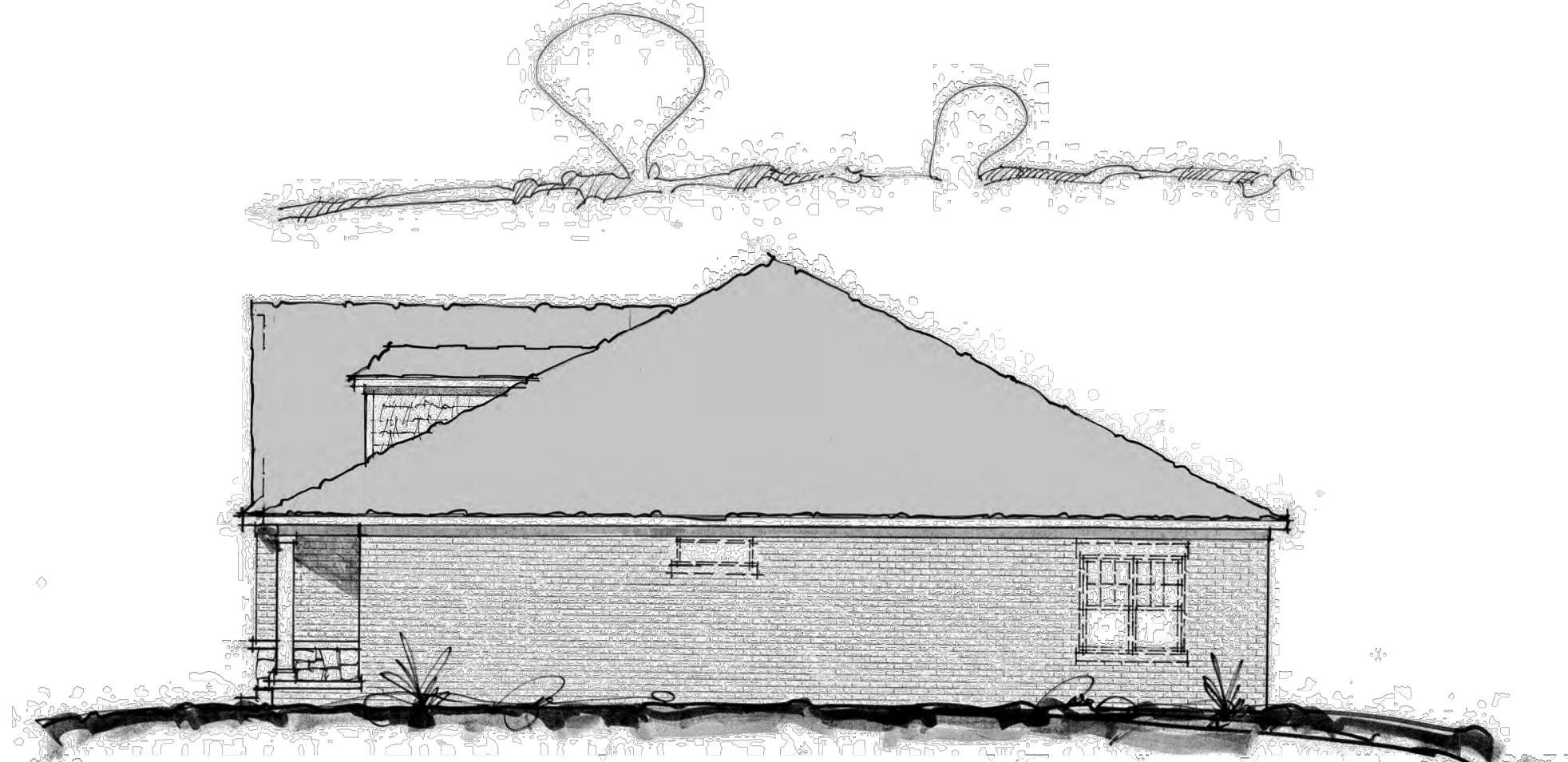


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21059 Camden Crossing v.4 03/25/21

Camden Crossing Rochester Hills



RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



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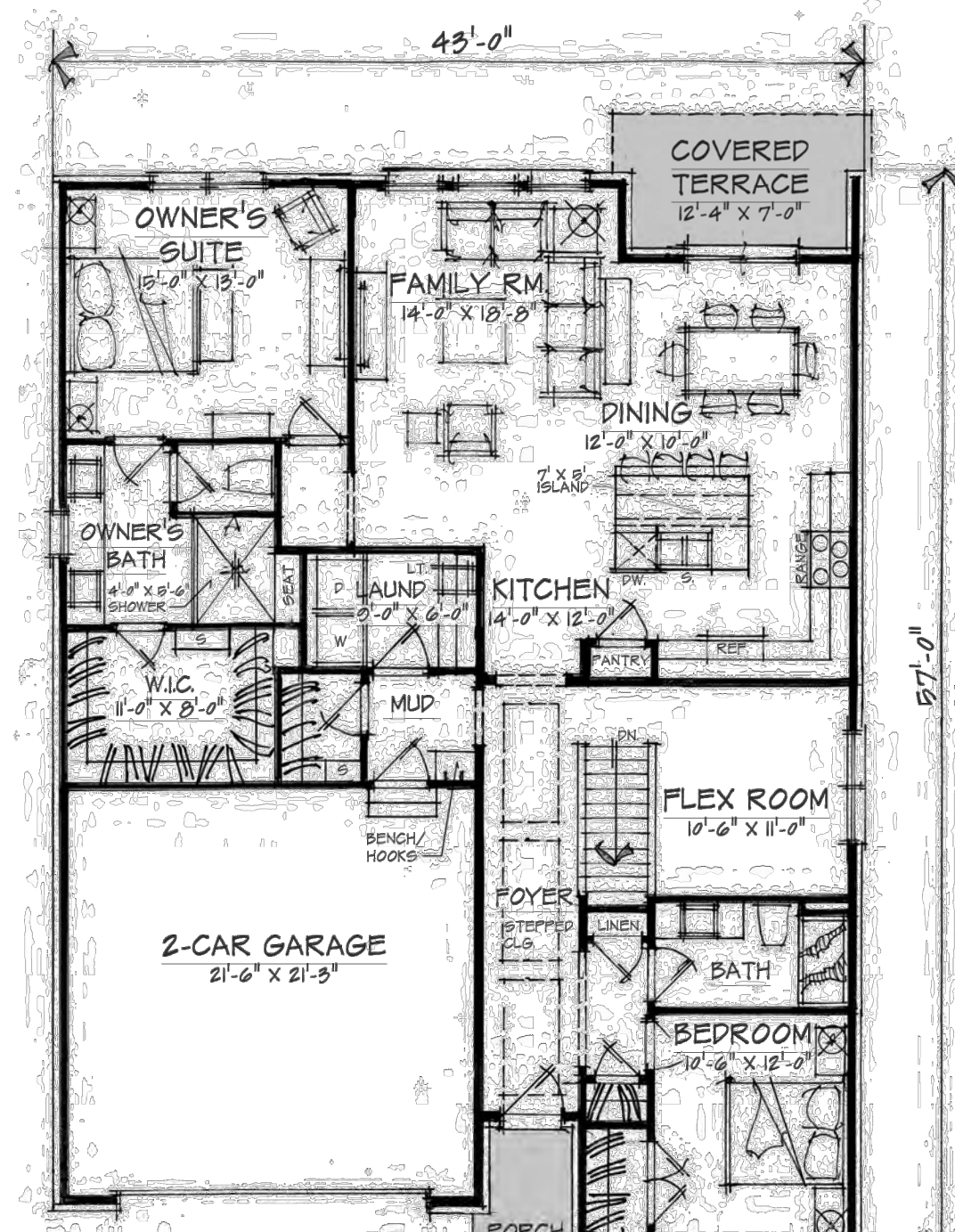
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CITY FILE #19-031
SECTION #22

NOT FOR CONSTRUCTION

Camden Crossing Rochester Hills



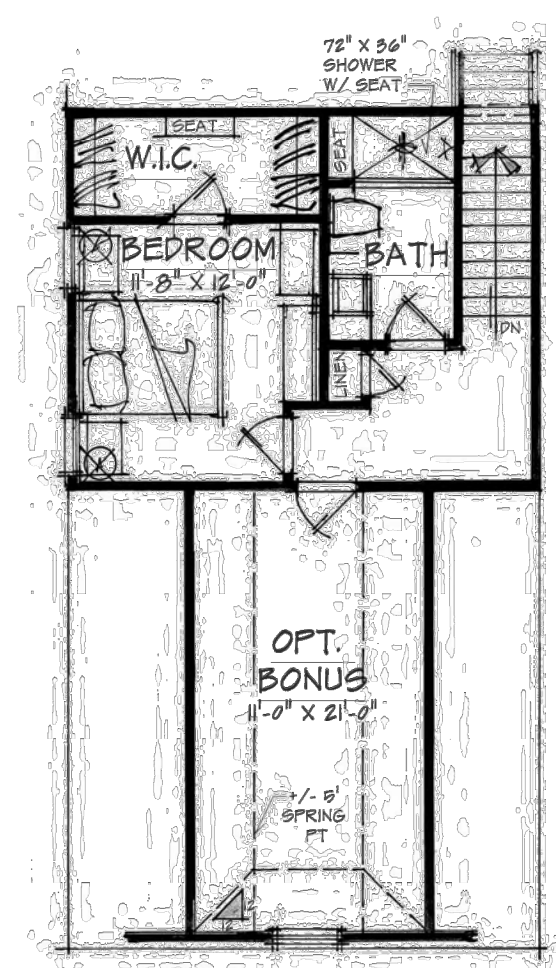
FIRST FLOOR - PLAN 'A'
SCALE: 1/4" = 1'-0"
FIRST FLOOR: 1,826 SQ. FT.
FRONT PORCH: 33 SQ. FT.

NOTE: THE PLANS MUST BE CONSTRUCTED TO MEET THE 2015 BUILDING CODE

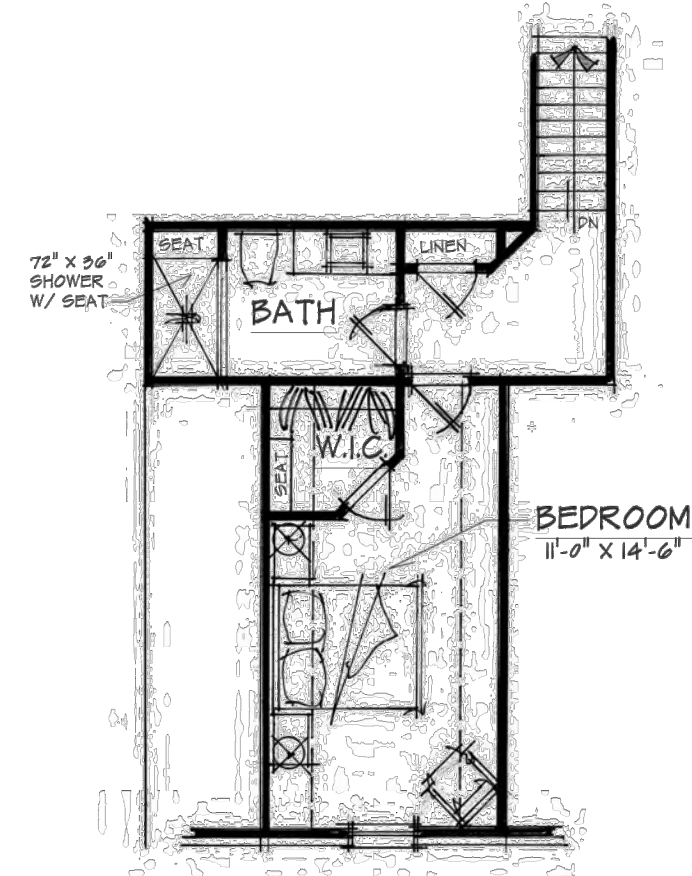


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Camden Crossing Rochester Hills



SECOND FLOOR PLAN - OPTION A
SCALE: 1/4" = 1'-0"
SECOND FLOOR: 366 SQ. FT.
OPT. BONUS: 253 SQ. FT.

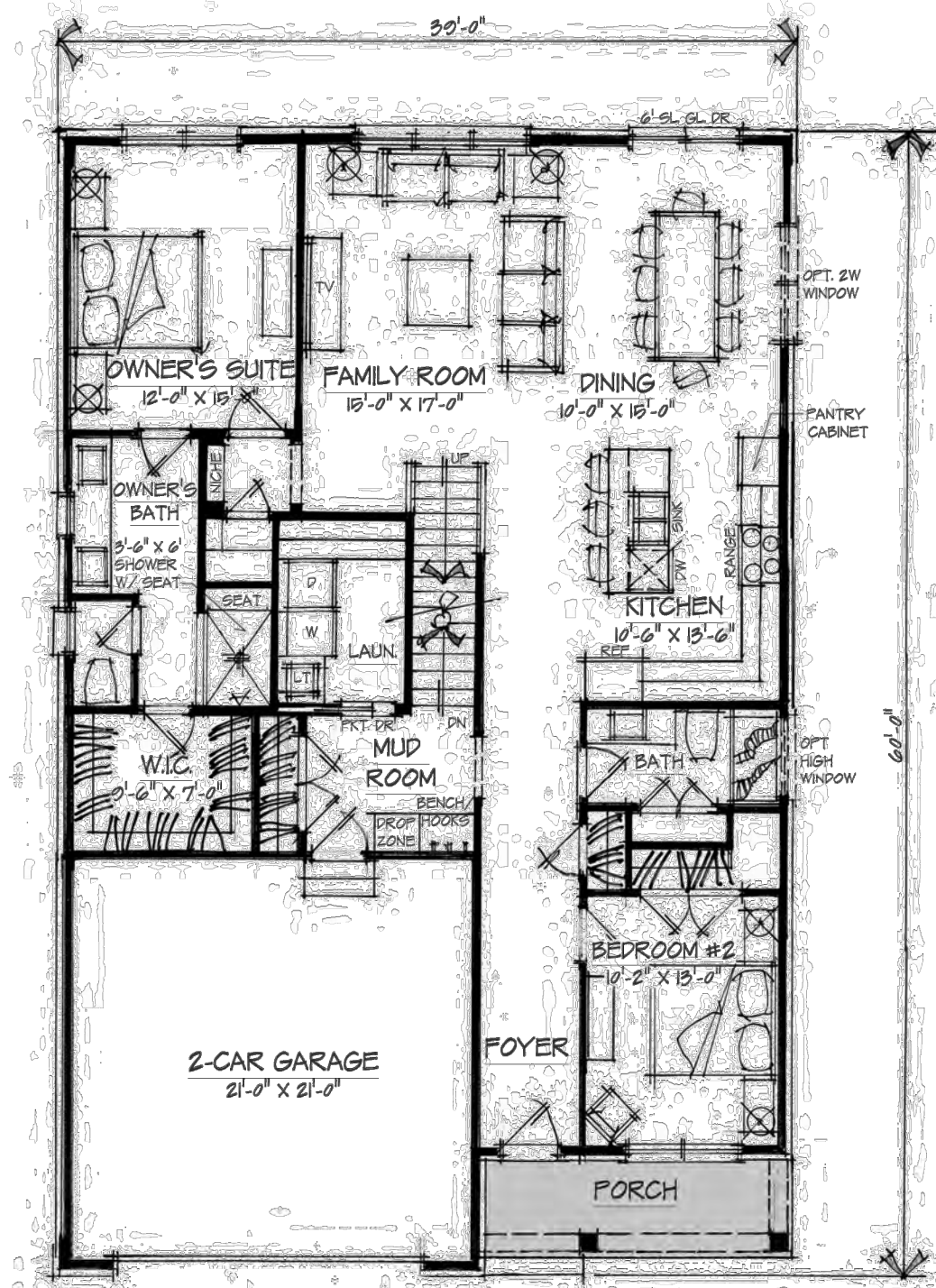


SECOND FLOOR PLAN - OPTION B
SCALE: 1/4" = 1'-0"
SECOND FLOOR: 426 SQ. FT.



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Camden Crossing Rochester Hills



FIRST FLOOR - PLAN 'B'
SCALE: 1/4" = 1'-0"
FIRST FLOOR: 1,694 SQ. FT.
FRONT PORCH: 80 SQ. FT.

NOTE: THE PLANS MUST BE CONSTRUCTED TO MEET THE 2015 BUILDING CODE



21059 Camden Crossing v.4 03/25/21

No more than 25% of garage doors may be located at or in the front of the front building wall. All other garage doors must be located at least 10 feet behind the front building wall of the unit or face the side or rear of the unit. The Planning Commission may modify this standard if it finds another standard would be more reasonable due to existing site or neighborhood conditions. In making a determination that a modification is warranted, the Planning Commission shall review the proposed development against the standards for approving a conditional use listed in Section 138-2.302 of the Zoning Ordinance.

SECTION 22

TOWN 3 NORTH, RANGE 11 EAST
CITY OF ROCHESTER HILLS
OAKLAND COUNTY, MICHIGAN

M2J1, LLC
CAMDEN CROSSING
PRELIMINARY SITE PLAN
ARCHITECTURAL
DRAWINGS

DATE
AUG. 16, 2019
2020-06-15 PER CITY
2021-01-21 PER CITY
2021-07-02 PER CITY
2021-08-23 PER CITY

REVISIONS
NA NA NA
N/A

DRAWN BY: KS
CHECKED BY: JA
P.M.: JACKERMAN
JOB #: 18001982
FILE CODE: -
SHEET NO. C-11

CITY FILE #19-031
SECTION #22

NOT FOR CONSTRUCTION

CAMDEN CROSSING

Submitted for Site Plan Review
9.36 ACRE DEVELOPMENT
Rochester Hills, Oakland County, Michigan

SECTION 22
TOWN 3 NORTH, RANGE 11 EAST

Site Data

THE CURRENT ZONING CLASSIFICATION IS R-3 WITH MIXED RESIDENTIAL OVERLAY
GROSS AREA 9.36 AC. NET AREA 9.36 AC.

LOT DENSITY

AREA = 9.36 AC
UNITS - 26 SINGLE FAMILY DETACHED CONDOMINIUMS
COVERAGE - 26/9.36 = 2.69 UNITS PER ACRE

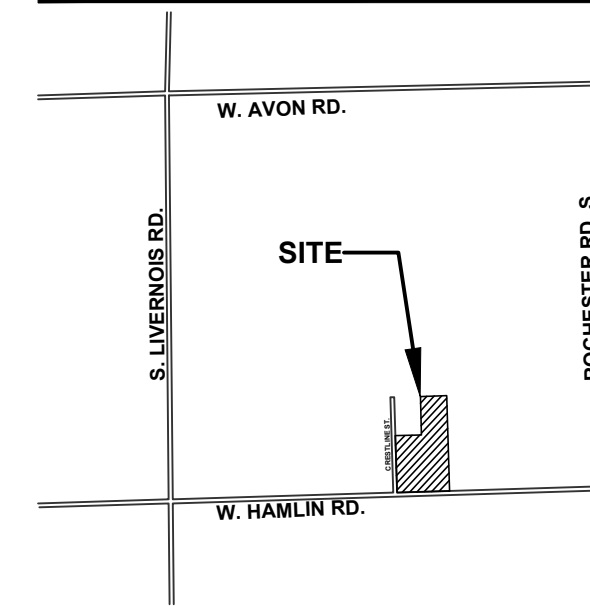
SETBACKS

MR ZONING OVERLAY

FRONT: 35' FROM PROPERTY LINE
SIDE: 15' FROM PROPERTY LINE
REAR: 60' FROM PROPERTY LINE

SIDEWALK PROVIDED
ROADS ARE TO BE PRIVATE

LOCATION MAP



LOCATION MAP

LEGAL DESCRIPTION

15-22-451-029 LOT 15 EXCEPT THE NORTH 420.00 FT. OF "HAMLIN PLACE FARMS" A SUBDIVISION OF PART OF THE S.E. 1/4 OF SEC. 22 AND PART OF THE S.W. 1/4 OF SEC. 23, T.3N., R.11E., CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN AS RECORDED IN L.15 OF PLATS, P.34, OAKLAND COUNTY RECORDS.

15-22-451-002 LOT 14 OF "HAMLIN PLACE FARMS" A SUBDIVISION OF PART OF THE S.E. 1/4 OF SEC. 22 AND PART OF THE S.W. 1/4 OF SEC. 23, T.3N., R.11E., CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN AS RECORDED IN L.15 OF PLATS, P.34, OAKLAND COUNTY RECORDS.

PART OF 15-22-451-022 THE NORTH 404.00 FT. OF LOT 13 OF "HAMLIN PLACE FARMS" A SUBDIVISION OF PART OF THE S.E. 1/4 OF SEC. 22 AND PART OF THE S.W. 1/4 OF SEC. 23, T.3N., R.11E., CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN AS RECORDED IN L.15 OF PLATS, P.34, OAKLAND COUNTY RECORDS.

SHEET INDEX

GENERAL
G-1.0 Cover

ENGINEERING SHEET INDEX
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C-02 SITE LAYOUT PLAN
C-03 GRADING PLAN
C-04 UTILITY PLAN
C-05 OVERALL DRAINAGE AREA PLAN
C-06 FIRE PROTECTION PLAN
C-07 DETAIL SHEET
C-08 DETAIL SHEET
C-09 ARCHITECTURAL DRAWINGS
C-10 ARCHITECTURAL DRAWINGS
C-11 ARCHITECTURAL DRAWINGS

LANDSCAPE SHEET INDEX
T-1.0 TREE PROTECTION PLAN
LA-1.0 LANDSCAPE CONCEPT & REQUIREMENTS
LA-1.1 LANDSCAPE PLANTING PLAN
LA-1.2 PATHWAY SIGHTLINE, CLEAR ZONE & PLANTING SETBACKS
LA-1.3 CAMDEN CROSSING PARKETTE
LA-1.4 AMENITIES
LA-1.5 SEEDING PLAN
LA-2.0 LANDSCAPE PLANTING DETAILS AND NOTES
LA-2.1 ADDITIONAL SPECS
IR-1.0 IRRIGATION PLAN

PROJECT TEAM

CLIENT / APPLICANT
M2J1, LLC.
JIM POLYZOIS
14955 Technology Dr.
SHELBY TWP, MICHIGAN 48315
PHONE: (586) 421-5729

PROJECT LANDSCAPE ARCHITECT/PLANNER
NÚÑEZDESIGN, INC.
RALPH L. NÚÑEZ, RLA, CLARB, ASLA, GRP
249 PARK ST.
TROY, MICHIGAN 48083
PHONE: (248) 224-5933

CIVIL ENGINEER
ATWELL, LLC
ERIC LORD, P.E.
TWO TOWN SQUARE, SUITE 700
SOUTHFIELD, MICHIGAN 48076
PHONE: (248) 447-2000

SURVEYOR
REICHERT SURVEYING INC.
GEORGE H. REICHERT, P.S.
140 FLUMERFELT LANE
ROCHESTER, MICHIGAN 48306
PHONE: (248) 651-0592



CAMDEN CROSSING
HAMLIN RD.
SECTION 22, TOWN 3 NORTH, RANGE 11 EAST
ROCHESTER HILLS, MI

M2J1, LLC
Jim Polyzois
14955 Technology Drive,
Shelby Twp., MI 48315
Phone: (586)-421-5729

Date/Revisions
Date: 7/18/19 Preliminary Site Plan
1/15/2020 PC Submittal
1/7/2021 PC Submittal
7/19/2021 PC Submittal - Preliminary Site Review #3
8/23/2021 PC Submittal - Preliminary & Final

NÚÑEZ DESIGN
LANDSCAPE ARCHITECTURE • URBAN DESIGN
249 Park Street
Troy, Michigan 48083
P: 248.224.5933
nunezdesigninc@gmail.com

Designed/Drawn: RN / JN
Checked/Approved: JN / JN
Job #: N-01-38
N-01-38 LA Drawings Amenities + Specs.dwg



CITY REFERENCE NUMBER

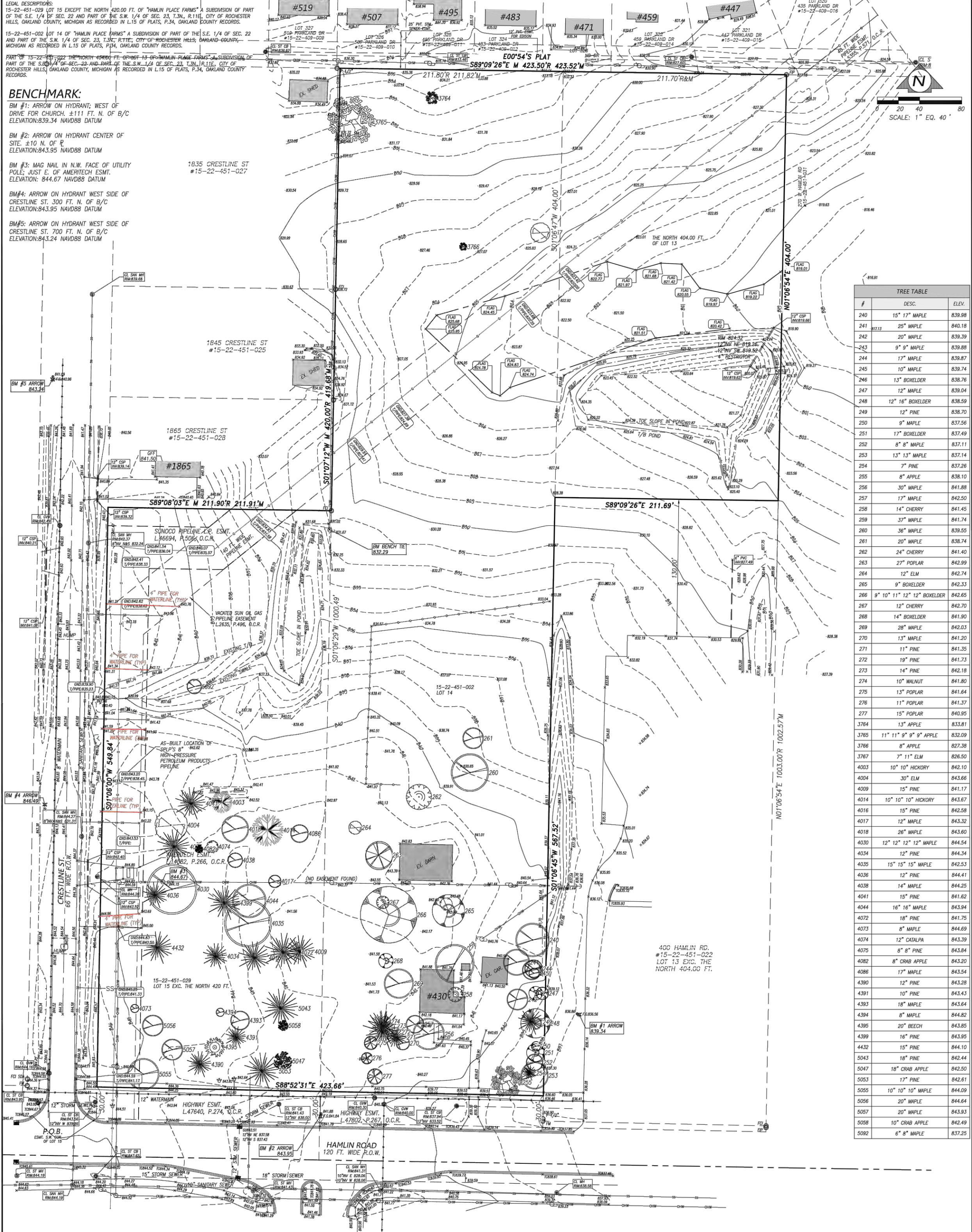
City File: #19-031 Section #: 22

COVER G-1.0

SHEET: 1
CITY FILE: #19-031
SECTION #: 22

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TOPOGRAPHICAL SURVEY



LEGEND:

- EXISTING CONCRETE
- EXISTING ASPHALT
- EXISTING LANDSCAPED AREA
- EXISTING FENCE
- EXISTING MAJOR CONTOURS
- EXISTING MINOR CONTOURS
- EXISTING UTILITY POLE
- EXISTING WATER SHUT OFF
- EXISTING GATE VALVE
- EXISTING HYDRANT
- EXISTING WELL
- EXISTING GAS SHUT OFF
- EXISTING SANITARY STRUCTURE
- EXISTING STORM STRUCTURE
- EXISTING DOWN SPURT
- EXISTING UTILITY PEDESTAL
- EXISTING BOULDER RET. WALL
- EXISTING GRADE
- PROPOSED CONCRETE
- PROPOSED BUILDING
- PROPOSED SILT FENCE
- PROP. DRAINAGE ARROW
- PROP. MAJOR CONTOURS
- PROP. MINOR CONTOURS

DATE: 4-19-19 SCALE: 1"=40' DRAWN: B.G.R.
JOB # 602-009 SHEET: 1 OF 1 CHECK: G.H.R.

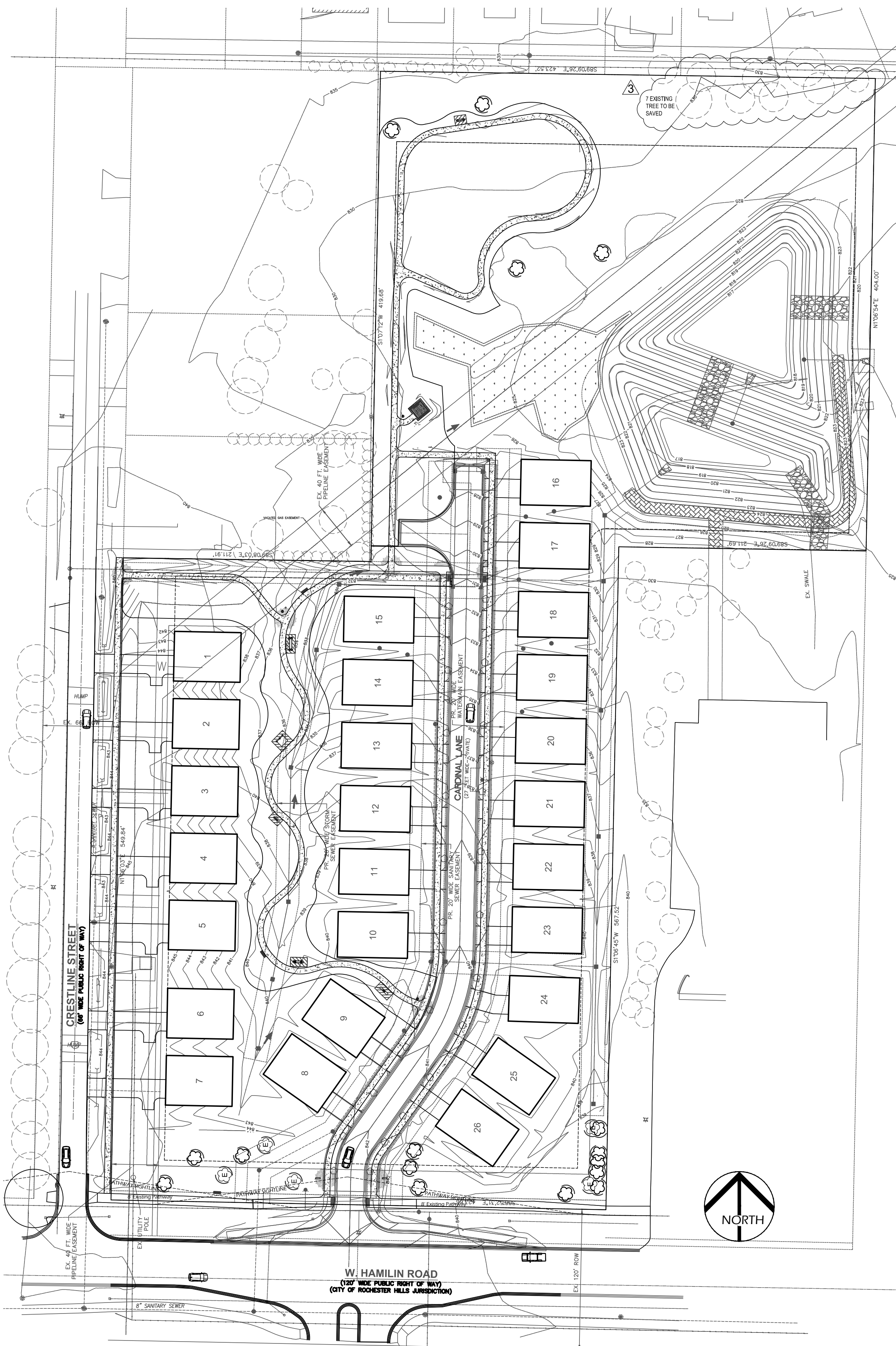
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1-800-452-7171 www.mississippi.gov

PREPARED FOR:
CRESTLINE HAMLIN LLC
140 FLUMERFELT LANE
ROCHESTER, MI 48306
(248) 651-7077

REICHERT SURVEYING INC.
P. 248.651.0592
F. 248.650.7069
Mail@ReichertSurveying.com
140 Flumerfelt Lane
Rochester, MI 48306

GEORGE H. REICHERT
PROFESSIONAL SURVEYOR
No. 00812



THE SITE WAS SUBMITTED PRIOR TO THE ADOPTION OF THE LATEST TREE PRESERVATION ORDINANCE

TREE SYMBOL LEGEND:

- Deciduous Tree - Saved Tree Protection Fencing
- Evergreen Tree - Saved Tree Protection Fencing
- Existing Trees - Located from aerial

The City's tree conservation ordinance was updated and adopted in October of 2019 and the city has been willing to work with applications that were in already in review during the time of consideration and adoption of that ordinance. This, however, was not intended to grandfather in projects that have been put on hold or vest projects indefinitely. The city's policy will be that any project that does not have preliminary approval by October 31 of this year will have to meet the current tree ordinance requirements. This would include 40% tree preservation for all trees outside of the building envelope and replacement of all regulated trees (>6" dbh)

TREE PRESERVATION: LIST OF TREES SAVED ON SITE

#	Description
248	12" 16" Boxelder
249	12" Pine
250	9" Maple
251	17" Boxelder
252	8" 8" Maple
253	13" 13" Maple
254	7" Pine
255	8" Apple
275	13" Poplar
276	11" Poplar
277	15" Poplar
3764	13" Apple
3765	11" 11" 9" 9" 9" Apple
3766	8" Apple
3767	7" 11" Elm
4390	12" Pine
4391	10" Pine
4395	20" Beech
5053	17" Pine
5055	10" 10" 10" Maple
5057	20" Maple



CAMDEN CROSSING
HAMLIN RD.
SECTION 22, TOWN 3 NORTH, RANGE 11 EAST
ROCHESTER HILLS, MI

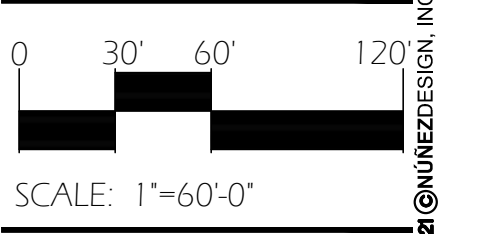
PLAN SUBMITTED FOR SITE PLAN REVIEW - NOT FOR CONSTRUCTION.

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14955 Technology Drive,
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Phone: (586)-421-5729

Date/Revisions

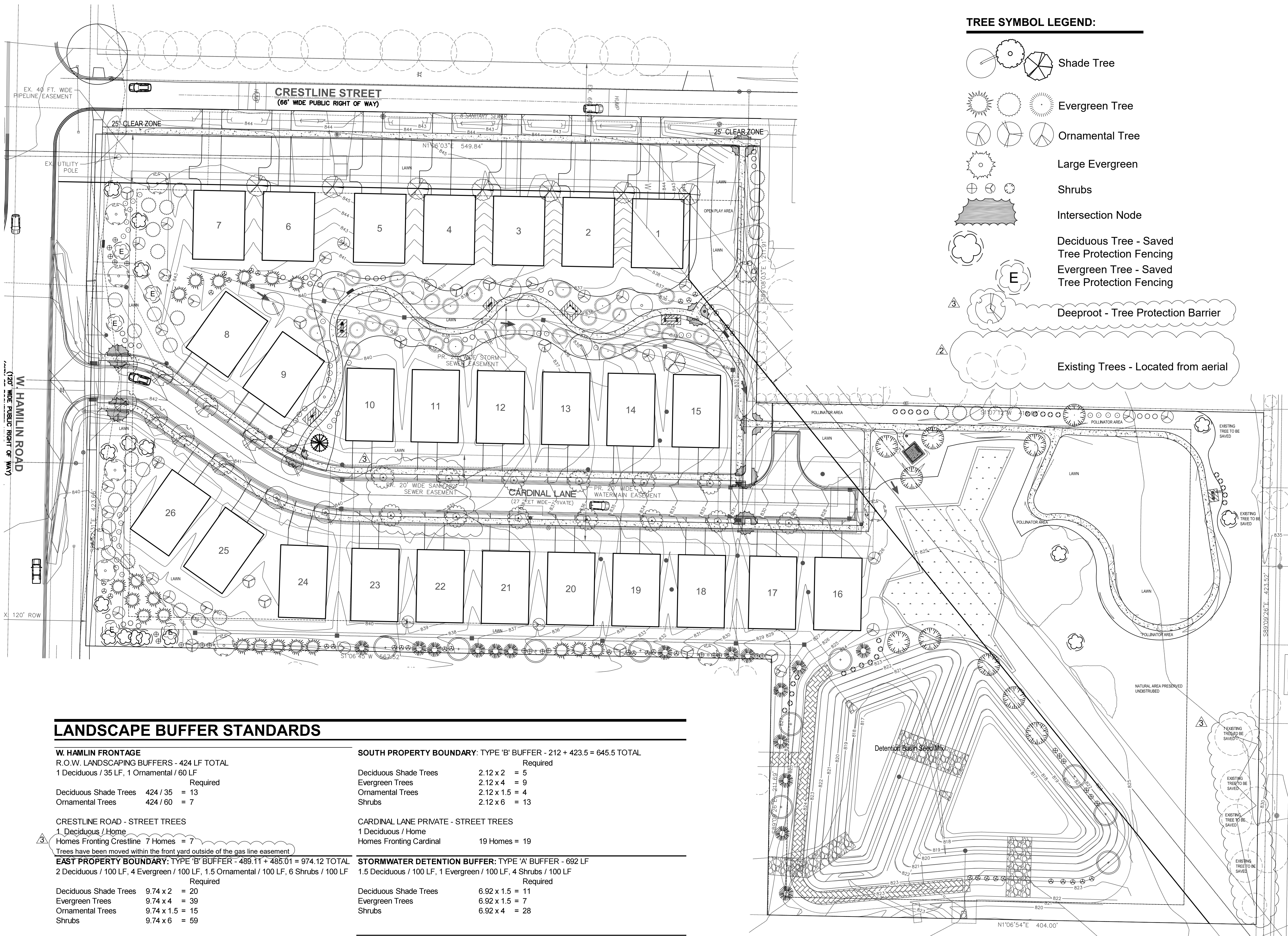
Date: 7/18/19 Preliminary Site Plan

1	6/15/2020	PC Submittal
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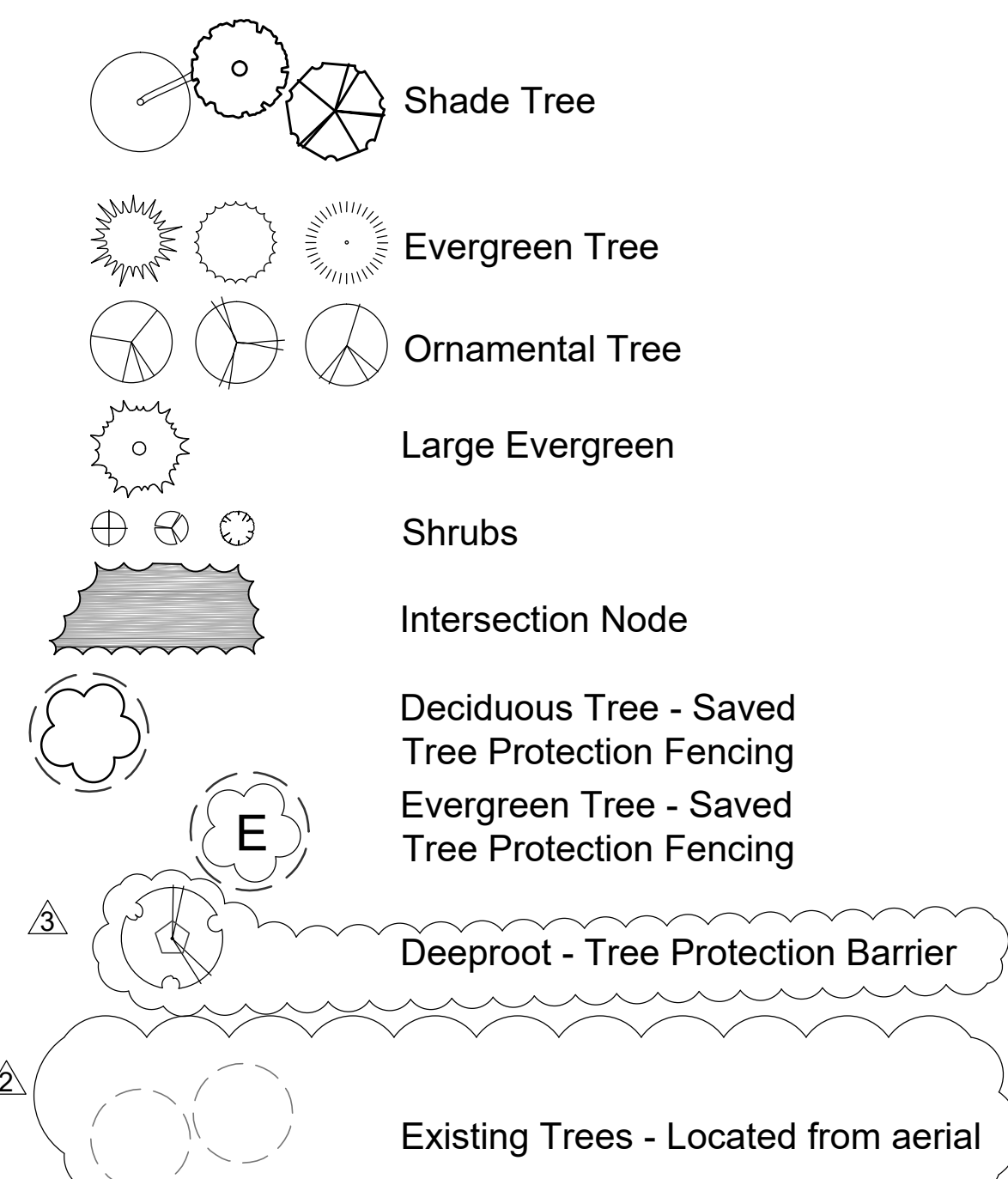


SHEET: T-1.0
CITY FILE: #19-031
SECTION #: 22

TREE PROTECTION PLAN



TREE SYMBOL LEGEND:



OPEN SPACE REQUIRED:

ACTIVE OPEN SPACE = 5% OF GROSS SITE
 AREA 9.36 AC. = 407,721.6 S.F. x 5%
 Required = 20,386 S.F

ACTIVE SPACE AREA

Provided = 65,333 S.F. 1.5 ACRES 16%

**CITY OF ROCHESTER HILLS
 PLANT MATERIAL REQUIREMENTS:**

PLANTS	REQUIRED
DECIDUOUS SHADE TREES	3 CALIPER INCHES
EVERGREEN TREES	10' HEIGHT AND 5' SPREAD
ORNAMENTAL TREES	2 CALIPER INCHES OR 6" OVERALL HT.
SHRUBS	30" HEIGHT, 24" SPREAD
	When used for screening or buffering purposes, 3 GALLON CONTAINED SIZE WHEN USED FOR OTHER PURPOSES
SHRUBS	
GROUNDCOVERS	SHALL BE FROM FLATS



DECIDUOUS TREES AND SHRUBS MINIMUM DISTANCE FROM PUBLIC WALK IS 5 FEET
 EVERGREEN TREES AND ORNAMENTAL TREES MINIMUM DISTANCE FROM PUBLIC WALK IS 10 FEET

FOUNDATION LANDSCAPE DESIGN WILL BE PROVIDED BY THE HOME BUYER

COST ESTIMATE AND IRRIGATION PLANS ARE PROVIDED

IF REQUIRED TREES CANNOT BE PLANTED DUE TO INFRASTRUCTURE CONFLICTS, A PAYMENT IN LIEU OF MAY BE MADE TO THE CITY'S TREE FUND AT A RATE OF \$304.00 PER TREE

PRIOR TO THE RELEASE OF THE PERFORMANCE BOND, THE CITY OF ROCHESTER HILLS MUST INSPECT ALL LANDSCAPE PLANTINGS

AN AUTOMATIC IRRIGATION SYSTEM IS INCLUDED FOR ALL LANDSCAPE AREAS AS REQUIRED BY THE CITY OF ROCHESTER HILLS

ALL LAWN AND PLANT BED AREAS TO BE IRRIGATED BETWEEN THE HOURS OF 12 AM AND 5 AM ONLY

IRRIGATION OVSERSPRAY SHALL NOT BROADCAST ONTO THE CITY PATHWAY

TREE REPLACEMENT QUALIFICATIONS

THE SITE WAS SUBMITTED PRIOR TO THE ADOPTION OF THE LATEST TREE PRESERVATION ORDINANCE

LANDSCAPE BUFFER STANDARDS

W. HAMLIN FRONTAGE
 R.O.W. LANDSCAPING BUFFERS - 424 LF TOTAL
 1 Deciduous / 35 LF, 1 Ornamental / 60 LF

Required
 Deciduous Shade Trees 424 / 35 = 13
 Ornamental Trees 424 / 60 = 7

CRESTLINE ROAD - STREET TREES
 1 Deciduous / Home
 Homes Fronting Crestline 7 Homes = 7
 Trees have been moved within the front yard outside of the gas line easement

EAST PROPERTY BOUNDARY: TYPE 'B' BUFFER - 489.11 + 485.01 = 974.12 TOTAL
 2 Deciduous / 100 LF, 4 Evergreen / 100 LF, 1.5 Ornamental / 100 LF, 6 Shrubs / 100 LF

Required
 Deciduous Shade Trees 9.74 x 2 = 20
 Evergreen Trees 9.74 x 4 = 39
 Ornamental Trees 9.74 x 1.5 = 15
 Shrubs 9.74 x 6 = 59

NORTH PROPERTY BOUNDARY: TYPE 'B' BUFFER - 212 + 423.5 = 645.5 TOTAL

Required
 Deciduous Shade Trees 6.45 x 2 = 13
 Evergreen Trees 6.45 x 4 = 26
 Ornamental Trees 6.45 x 1.5 = 10
 Shrubs 6.45 x 6 = 29

WEST PROPERTY BOUNDARY: TYPE 'B' BUFFER - 420 TOTAL

Required
 Deciduous Shade Trees 4.2 x 2 = 9
 Evergreen Trees 4.2 x 4 = 17
 Ornamental Trees 4.2 x 1.5 = 7
 Shrubs 4.2 x 6 = 26

SOUTH PROPERTY BOUNDARY: TYPE 'B' BUFFER - 212 + 423.5 = 645.5 TOTAL

Required
 Deciduous Shade Trees 2.12 x 2 = 5
 Evergreen Trees 2.12 x 4 = 9
 Ornamental Trees 2.12 x 1.5 = 4
 Shrubs 2.12 x 6 = 13

CARDINAL LANE PRIVATE - STREET TREES
 1 Deciduous / Home
 Homes Fronting Cardinal 19 Homes = 19

STORMWATER DETENTION BUFFER: TYPE 'A' BUFFER - 692 LF
 1.5 Deciduous / 100 LF, 1 Evergreen / 100 LF, 4 Shrubs / 100 LF

Required
 Deciduous Shade Trees 6.92 x 1.5 = 11
 Evergreen Trees 6.92 x 1.5 = 7
 Shrubs 6.92 x 4 = 28

TREE VERIFICATION QUANTITIES:

	Required	Existing Trees	Proposed Trees	Totals On Plan (Existing + Proposed)
TOTAL Deciduous Shade Trees	97	16	84	100
TOTAL Evergreen Trees	98	5	94	99
TOTAL Ornamental Trees	43	-	43	43
TOTAL Shrubs	155	-	155	155

CAMDEN CROSSING
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 SECTION 22, TOWN 3 NORTH, RANGE 11 EAST
 ROCHESTER HILLS, MI

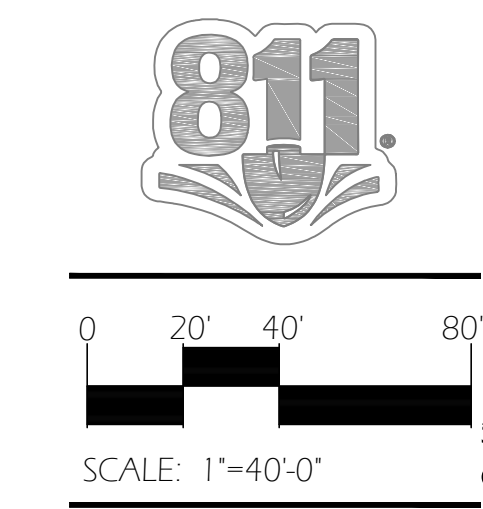
M2J1, LLC
 Jim Polyzois
 14955 Technology Drive,
 Shelby Twp., MI 48315
 Phone: (586)-421-5729

Date/Revisions

Date: 7/18/19 Preliminary Site Plan
1/15/2020 PC Submittal
1/17/2021 PC Submittal
7/19/2021 PC Submittal - Preliminary Site Review #3
8/23/2021 PC Submittal - Preliminary #5 Final

NÚÑEZ DESIGN
 LANDSCAPE ARCHITECTURE • URBAN DESIGN
 249 Park Street
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 nunezdesigninc@gmail.com

Designed/Drawn: RN / JN
 Checked/Approved: JN / RN
 Job #: N-01-38
 N-01-38 LA Prelim Revision 4 Site Plan/UD



SCALE: 1"=40'-0"

SHEET: LA -1.0

CITY FILE: #19-031
 SECTION #: 22

PLAN SUBMITTED FOR SITE PLAN REVIEW - NOT FOR CONSTRUCTION.



CAMDEN CROSSING
 HAMLIN RD.
 SECTION 22, TOWN 3 NORTH, RANGE 11 EAST
 ROCHESTER HILLS, MI

M2J1, LLC
 Jim Polyzois
 14955 Technology Drive,
 Shelby Twp., MI 48315
 Phone: (586)-421-5729

Date/Revisions
7/18/19 Preliminary Site Plan
9/15/2020 PC Submittal
1/7/2021 PC Submittal
7/19/2021 PC Submittal - Preliminary Site Review #3
9/23/2021 PC Submittal - Preliminary & Final

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Designed/Drawn: RN / JN
 Checked/Approved: JN / RN
 Job #: N-01-38
 N-01-38 LA Prelim Revision 4 Site Planting

811 logo
 SCALE: 1"=40'-0"
 SHEET: LA -1.1
 CITY FILE: #19-031 SECTION #: 22

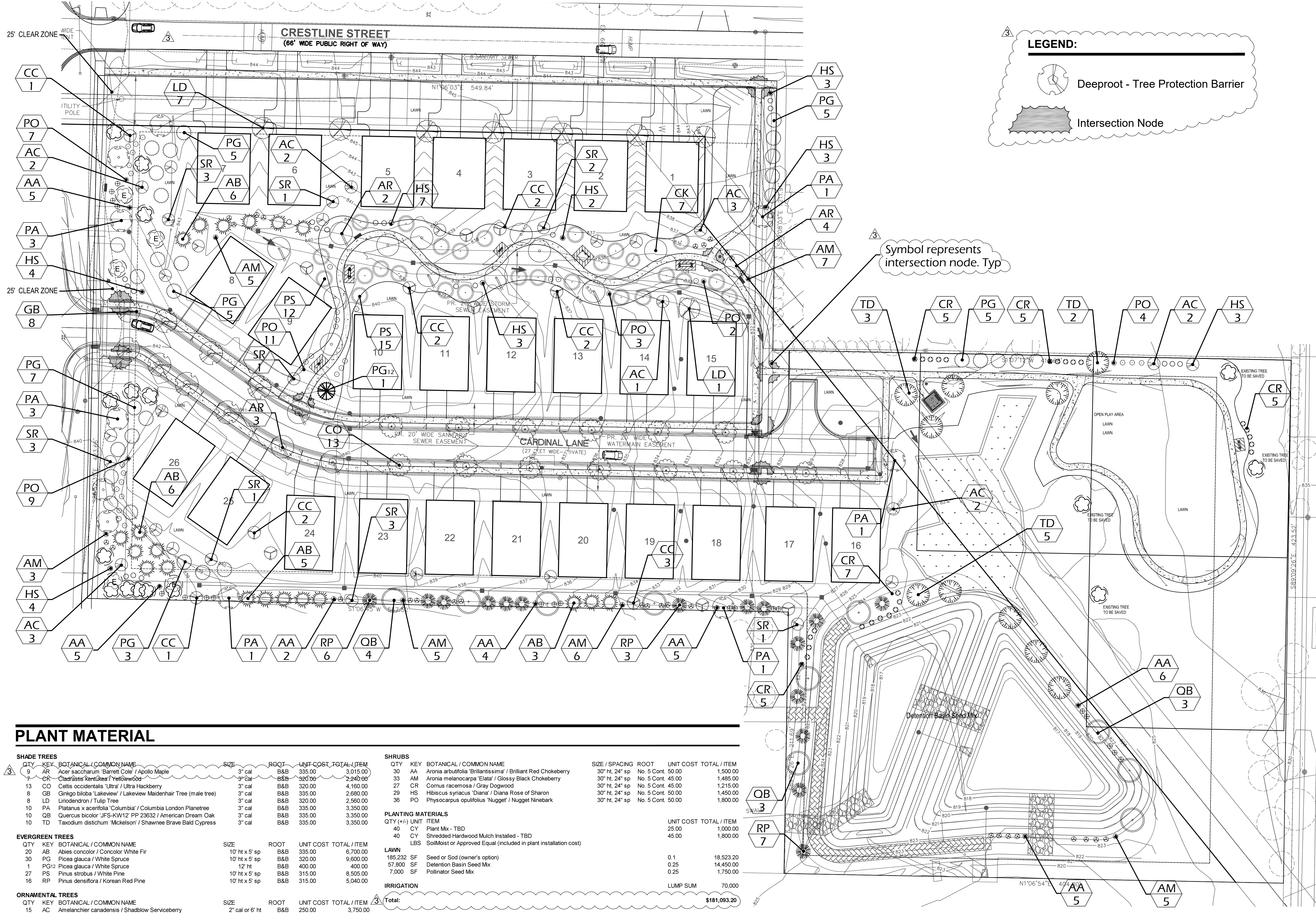
**CITY OF ROCHESTER HILLS
 PLANT MATERIAL REQUIREMENTS:**

PLANTS	REQUIRED
DECIDUOUS SHADE TREES	3 CALIPER INCHES
EVERGREEN TREES	10' HEIGHT AND 5' SPREAD
ORNAMENTAL TREES	2 CALIPER INCHES OR 6' OVERALL HT.
SHRUBS	30" HEIGHT, 24" SPREAD
SHRUBS	When used for screening or buffering purposes, 3 GALLON CONTAINED SIZE WHEN USED FOR OTHER PURPOSES
GROUNDCOVERS	SHALL BE FROM FLATS

LEGEND:

- Deeproot - Tree Protection Barrier
- Intersection Node

Symbol represents intersection node. Typ



PLANT MATERIAL

QTY	KEY	BOTANICAL / COMMON NAME	SIZE	ROOT	UNIT COST	TOTAL / ITEM	
9	AR	Acer saccharum / Barrott Cole / Apollo Maple	3" cal	B&B	335.00	3,015.00	
7	CR	Quercus laevis / Yellow Oak	3" cal	B&B	320.00	2,240.00	
13	CO	Celtis occidentalis / Ultra Hackberry	3" cal	B&B	320.00	4,160.00	
8	GB	Ginkgo biloba / Lakeview / Lakeview Maidenhair Tree (male tree)	3" cal	B&B	335.00	2,680.00	
8	LD	Liriodendron / Tulip Tree	3" cal	B&B	320.00	2,560.00	
10	PA	Platanus x acerifolia / Columbia / Columbia London Planetree	3" cal	B&B	335.00	3,350.00	
10	QB	Quercus bicolor / FS-KW12 PP 23632 / American Dream Oak	3" cal	B&B	335.00	3,350.00	
10	TD	Taxodium distichum / Mckelison / Shawnee Brave Bald Cypress	3" cal	B&B	335.00	3,350.00	
20	AB	Abies concolor / Concolor White Fir	10' ht x 5' sp	B&B	335.00	6,700.00	
30	PG	Picea glauca / White Spruce	10' ht x 5' sp	B&B	320.00	9,600.00	
1	PG12	Picea glauca / White Spruce	12' ht	B&B	400.00	400.00	
27	PS	Pinus strobus / White Pine	10' ht x 5' sp	B&B	315.00	8,505.00	
16	RP	Pinus densiflora / Korean Red Pine	10' ht x 5' sp	B&B	315.00	5,040.00	
30	AA	Aronia arbutifolia / Brilliantissima / Brilliant Red Chokeberry	30" ht, 24" sp	No. 5 Cont.	50.00	1,500.00	
33	AM	Aronia melanocarpa / Estate / Glossy Black Chokeberry	30" ht, 24" sp	No. 5 Cont.	45.00	1,485.00	
27	CR	Cornus racemosa / Gray Dogwood	30" ht, 24" sp	No. 5 Cont.	45.00	1,215.00	
29	HS	Hibiscus syriacus / Diana / Diana Rose of Sharon	30" ht, 24" sp	No. 5 Cont.	50.00	1,450.00	
36	PO	Physocarpus opulifolius / Nugget / Nugget Ninebark	30" ht, 24" sp	No. 5 Cont.	50.00	1,800.00	
40	CY	Plant Mx - TBD			25.00	1,000.00	
40	CY	Shredded Hardwood Mulch Installed - TBD			45.00	1,800.00	
185,232	SF	Seed or Sod (owner's option)			0.1	18,523.20	
57,800	SF	Detention Basin Seed Mx			0.25	14,450.00	
7,000	SF	Pollinator Seed Mx			0.25	1,750.00	
IRRIGATION						LUMP SUM	70,000
Total:						\$181,093.20	

LANDSCAPE PLANTING PLAN