

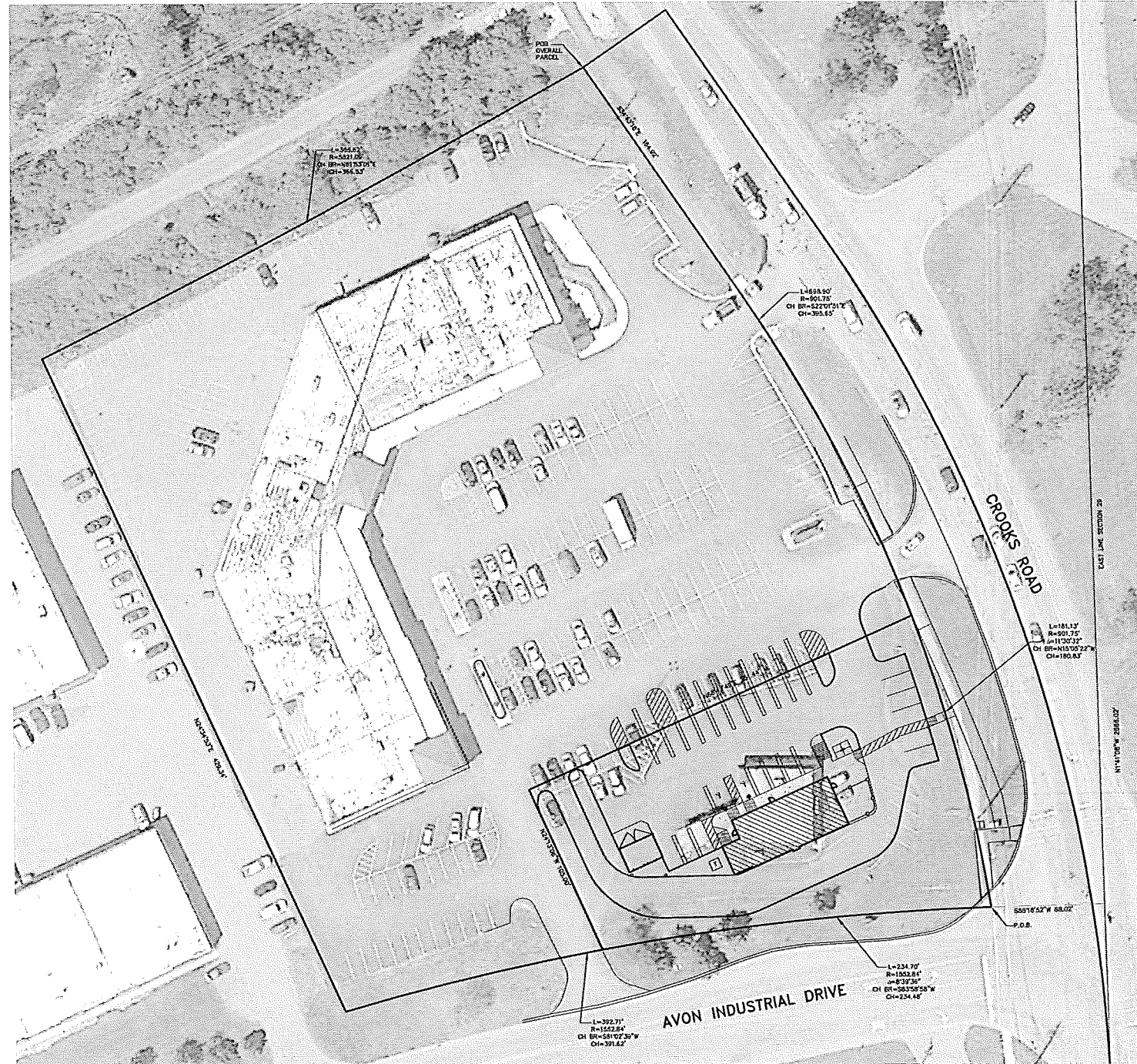
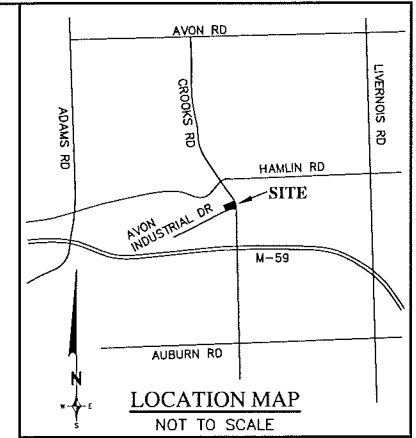
SITE PLAN FOR TIM HORTONS

2258 CROOKS ROAD ROCHESTER HILLS, MICHIGAN

DEVELOPER:
TIM DONUT U.S. LIMITED, INC.
565 EAST GRAND RIVER, SUITE 101
BRIGHTON, MI 48116
PHONE: (810) 844-2747 FAX: (810) 229-3072
CONTACT: MARK KELLENBERGER, AICP
EMAIL: KELLENBERGER_MARK@TIMHORTONS.COM

CIVIL ENGINEER/SURVEYOR:
ZEIMET WOZNAK AND ASSOCIATES, INC.
55800 GRAND RIVER, SUITE 100
NEW HUDSON, MI 48165
PHONE: (248) 437-5099 FAX: (248) 437-5222
CONTACT: SHAWN BLASZCZYK, PE
EMAIL: SBLASZCZYK@ZEIMETWOZNAK.COM

LANDSCAPE ARCHITECT:
ALLEN DESIGN
557 CARPENTER
NORTHVILLE, MI 48167
PHONE: (248) 467-4668 FAX: (248) 349-0559
CONTACT: JIM ALLEN, ASLA
EMAIL: JCA@WIDOPENWEST.COM



SHEET INDEX:

SITE PLANS:

- TH01 COVER SHEET
- TH02 TOPOGRAPHIC SURVEY
- TH03 DEMOLITION PLAN
- TH04 SITE PLAN
- TH05 LANDSCAPE PLAN
- TH06 UTILITY PLAN
- TH07 GRADING AND DRAINAGE PLAN
- TH08 SOIL EROSION CONTROL PLAN
- TH09 SITE DETAILS

ARCHITECTURAL PLANS:

- A1 FLOOR PLAN
- A5 EXTERIOR ELEVATIONS
- AS.1 EXTERIOR ELEVATIONS

LEGAL DESCRIPTION OVERALL PARCEL
(PER FIDELITY NATIONAL TITLE INSURANCE COMPANY, COMMITMENT NO. N-108385)

LAND SITUATED IN THE CITY OF ROCHESTER HILLS, COUNTY OF OAKLAND, AND STATE OF MICHIGAN, DESCRIBED AS:

PARCELS 1 AND 2 COMBINED, DESCRIBED AS:
PART OF THE NORTHEAST 1/4 OF SECTION 29, TOWN 3 NORTH, RANGE 11 EAST, CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT DISTANT NORTH 01 DEGREES 41 MINUTES 08 SECONDS WEST 1496.57 FEET AND NORTH 17 DEGREES 43 MINUTES 16 SECONDS WEST 546.89 FEET AND NORTH 34 DEGREES 43 MINUTES 18 SECONDS WEST 164.92 FEET AND SOUTH 55 DEGREES 16 MINUTES 42 SECONDS WEST 60.00 FEET FROM THE EAST 1/4 CORNER; THENCE SOUTH 34 DEGREES 43 MINUTES 18 SECONDS EAST 164.92 FEET; THENCE ALONG A CURVE TO THE RIGHT, RADIUS 901.75 FEET, CHORD BEARS SOUTH 22 DEGREES 01 MINUTES 51 SECONDS EAST 395.65 FEET, DISTANCE OF 398.90 FEET; THENCE ALONG A CURVE TO THE LEFT, RADIUS 1552.84 FEET, CHORD BEARS SOUTH 81 DEGREES 02 MINUTES 39 SECONDS WEST 391.62 FEET, DISTANCE OF 392.71 FEET; THENCE NORTH 24 DEGREES 34 MINUTES 53 SECONDS WEST 429.34 FEET; THENCE ALONG A CURVE TO THE LEFT, RADIUS 5821.09 FEET, CHORD BEARS NORTH 61 DEGREES 53 MINUTES 01 SECONDS EAST 366.53 FEET, DISTANCE OF 366.62 FEET TO THE POINT OF BEGINNING.

LEGAL DESCRIPTION DEVELOPMENT PARCEL (AS SURVEYED)

A PARCEL OF LAND LOCATED IN THE NORTHEAST 1/4 OF SECTION 29, TOWN 3 NORTH, RANGE 11 EAST, CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS:

COMMENCING AT THE EAST 1/4 CORNER OF SAID SECTION 29, AND PROCEEDING N. 01°41'08" W. 1616.58 FEET ALONG THE EAST LINE OF SAID SECTION 29; THENCE S. 88°19'52" W. 68.02 FEET TO THE POINT OF BEGINNING; THENCE ALONG THE NORTH RIGHT OF WAY OF AVON INDUSTRIAL DRIVE (100 FEET WIDE) 234.70 FEET ALONG THE ARC OF A CURVE TO THE LEFT, RADIUS 1552.84 FEET, CENTRAL ANGLE 08°39'37" AND A CHORD THAT BEARS S. 83°58'58" W. 234.48 FEET; THENCE N. 24°13'06" W. 105.00 FEET; THENCE N. 65°42'49" E. 251.44 FEET TO THE WEST RIGHT OF WAY LINE OF CROOKS ROAD (120.00 FEET WIDE); THENCE ALONG SAID RIGHT OF WAY LINE 181.14 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, RADIUS 901.75 FEET, CENTRAL ANGLE 11°30'34" AND A CHORD THAT BEARS S. 15°05'22" E. 180.83 FEET TO THE POINT OF BEGINNING.

NOT FOR CONSTRUCTION
CITY FILE NO. 13-024, SECTION 29

| REVISIONS | DATE | BY | REVISIONS | DATE | BY | REVISIONS | DATE | BY | REVISIONS | DATE | BY |
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| PER CITY REVIEW | 2/4/14 | SRB | | | | | | | | | |

ZEIMET WOZNAK
A ASSOCIATES
Civil Engineers & Land Surveyors
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NEW HUDSON, MICHIGAN 48165
P: (248) 437-5099 F: (248) 437-5222 www.zeimetwoznak.com

THREE FULL WORKING DAYS BEFORE YOU DIG. CALL THE MISS DIG SYSTEM 1-800-482-7171

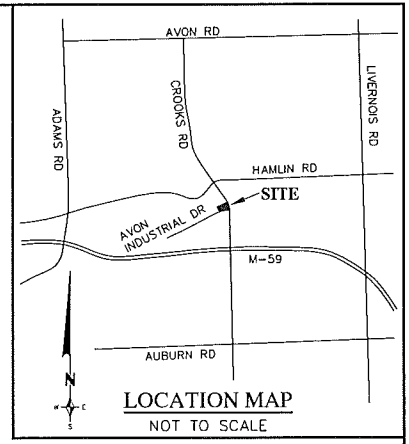
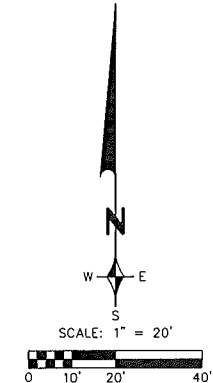
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BRIGHTON, MI 48116 (810) 844-2747

COVER SHEET
TIM HORTONS
ROCHESTER HILLS, MICHIGAN

DATE 12/13/13 SCALE HOR: 1" = 40' VER: 1" = N/A
DESIGNED BY SRB JOB NO. 13160
DRAWN BY SRB SHEET TH01

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NOTE:
 THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AS DISCLOSED BY AVAILABLE UTILITY COMPANY RECORDS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE COMPANY. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF A CONFLICT IS APPARENT.



BENCHMARKS:

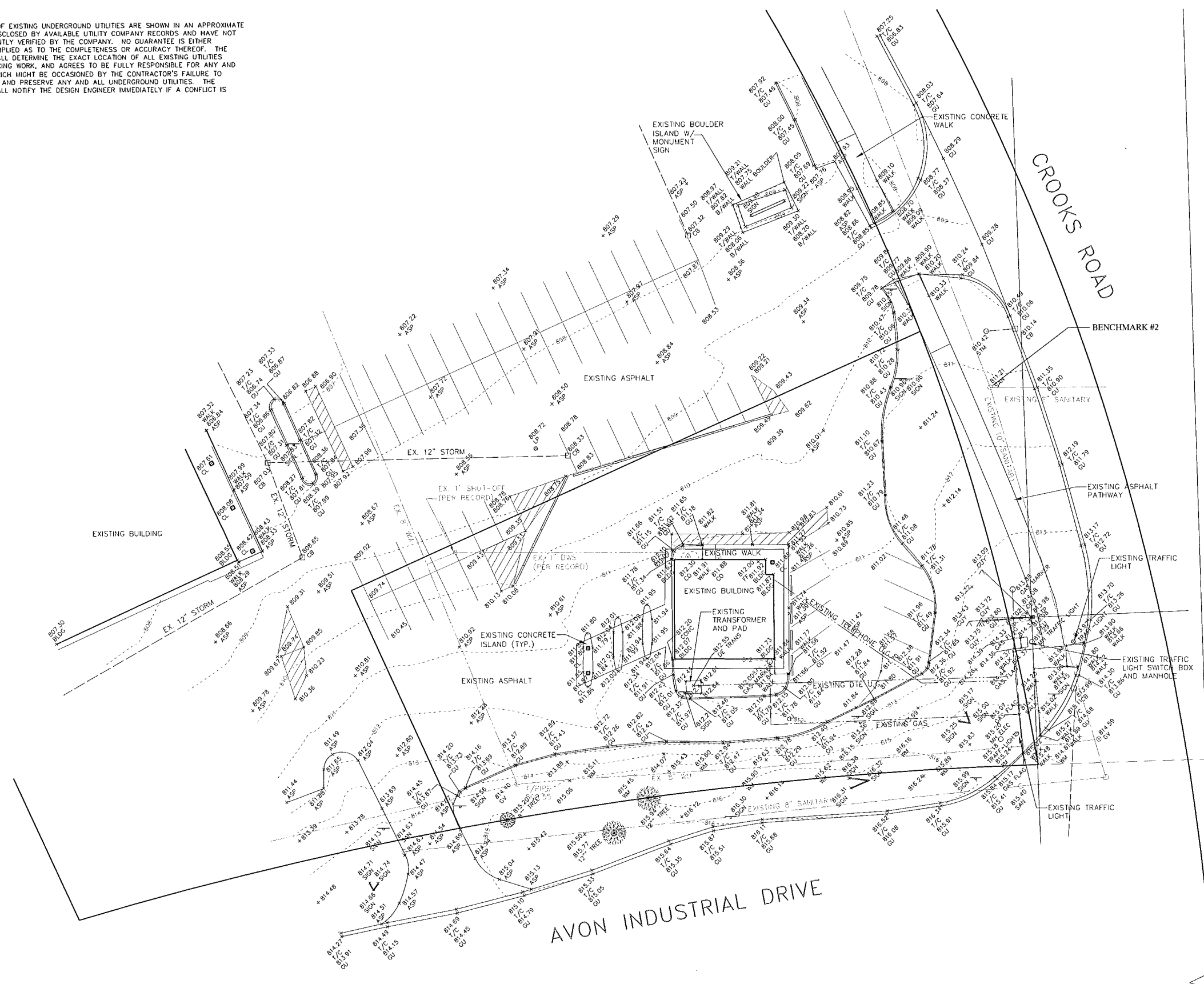
- RAILROAD SPIKE IN POWER POLE LOCATED 90'± NORTHEAST OF NORTHEAST CORNER OF SHOPPING CENTER. ELEVATION 804.50 U.S.G.S.
- CENTER OF SANITARY SEWER MANHOLE RIM IN CROOKS ROAD R.O.W. NEAR NORTHEAST CORNER OF SITE. ELEVATION 811.21 U.S.G.S.

EXISTING LEGEND

- MANHOLE
- CATCH BASIN
- ⊠ INLET
- ⊙ CLEANOUT
- △ END SECTION
- ◇ ROOF DRAIN
- ⊕ GATE VALVE
- ⊖ HYDRANT
- ⊗ WATER SHUT-OFF
- ⊘ UTILITY POLE
- ⊙ GUY ANCHOR
- ⊙ LIGHT POLE
- ⊙ SIGN
- ⊙ TREE
- TREE LINE
- FENCE
- SANITARY SEWER
- STORM SEWER
- WATER MAIN
- GAS MAIN
- ELECTRIC CABLE
- CONTOUR MAJOR
- CONTOUR MINOR
- T/P TOP OF PAVEMENT
- T/C TOP OF CURB
- B/C BOTTOM OF CURB
- +100.00 SPOT ELEVATION

SANITARY SEWER LEAD NOTE:

THE EXISTING LOCATION OF THE SANITARY LEAD COULD BE VISUALLY LOCATED AT TIME OF SURVEY. THERE ARE NO AVAILABLE RECORDS DEPICTING THE LOCATION AND SIZE OF THE LEAD.



E. 1/4 CORNER
 SECTION 29
 T. 3 N., R. 11 E.
 ROCHESTER HILLS,
 OAKLAND CO., MI

NOT FOR CONSTRUCTION
 CITY FILE NO. 13-024, SECTION 29

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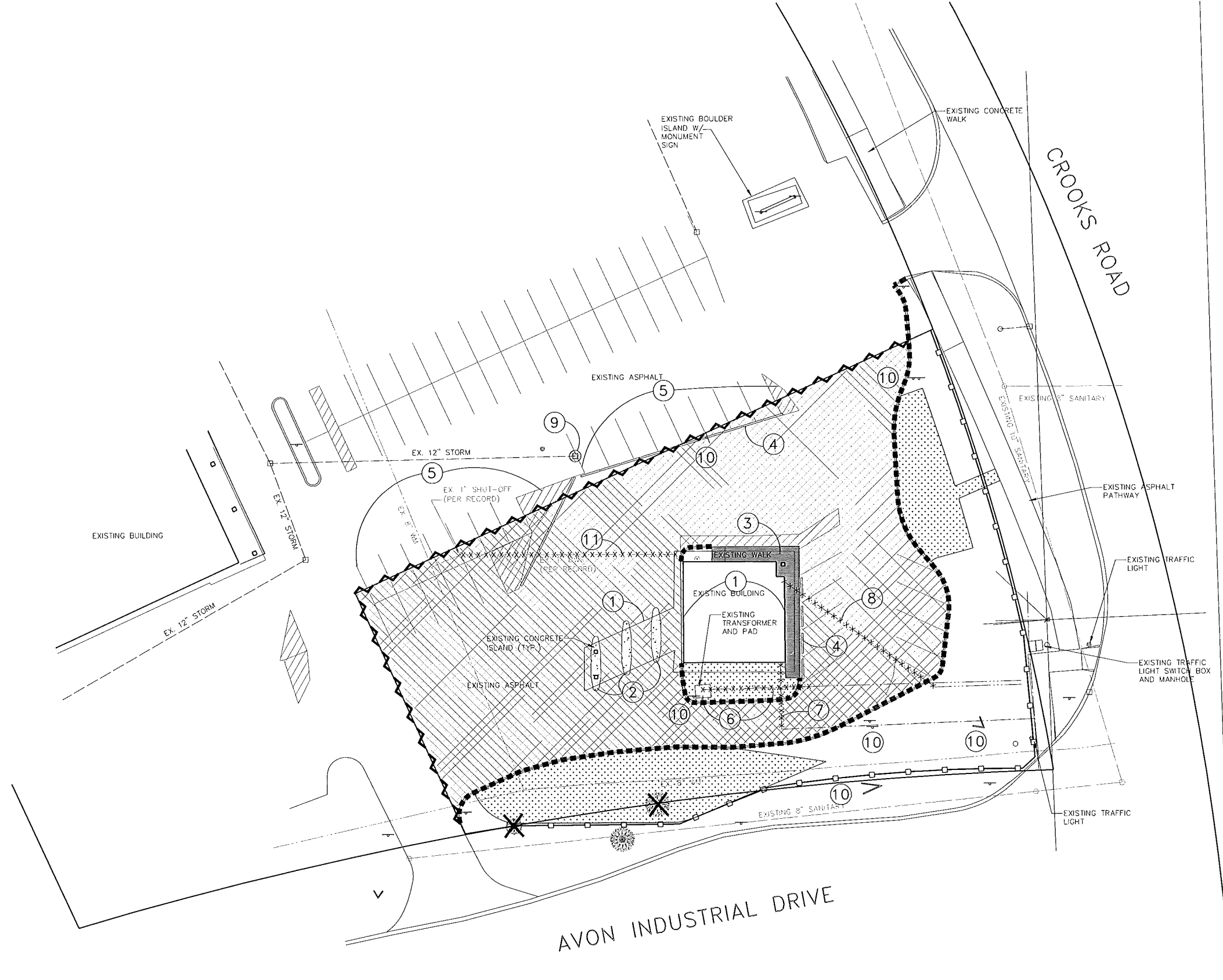
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 565 EAST GRAND RIVER, SUITE 101
 BRIGHTON, MI 48116 (810) 844-2747

TOPOGRAPHIC SURVEY
 TIM HORTONS
 ROCHESTER HILLS, MICHIGAN

| | | |
|-----------------|----------|-------|
| DATE | SCALE | NO. |
| 12/13/13 | 1" = 20' | N/A |
| DESIGNED BY SRB | JOB NO. | 13160 |
| DRAWN BY SRB | SHEET | TH02 |

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EXISTING LEGEND

- MANHOLE
- CATCH BASIN
- ◇ INLET
- △ CLEANOUT
- ◇ END SECTION
- ◇ ROOF DRAIN
- ◇ GATE VALVE
- ◇ HYDRANT
- ◇ WATER SHUT-OFF
- ◇ UTILITY POLE
- ◇ GUY ANCHOR
- ◇ LIGHT POLE
- ◇ SIGN
- ◇ TREE
- TREE LINE
- FENCE
- SANITARY SEWER
- STORM SEWER
- WATER MAIN
- GAS MAIN
- ELECTRIC CABLE
- CONTOUR MAJOR
- CONTOUR MINOR
- T/P TOP OF PAVEMENT
- T/C TOP OF CURB
- B/C BOTTOM OF CURB
- +100.00 SPOT ELEVATION

BENCHMARK:

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- CENTER OF SANITARY SEWER MANHOLE RIM IN CROOKS ROAD R.O.W. NEAR NORTHEAST CORNER OF SITE. ELEVATION 811.21 U.S.G.S.

- REMOVALS NOTES:**
- REMOVE BUILDING, SLAB, FOOTINGS, AND DRIVE-THRU OVERHANG.
 - REMOVE CONCRETE ISLAND AND CURB.
 - REMOVE CONCRETE SIDEWALK.
 - REMOVE BUMPER BLOCKS.
 - REMOVE EXISTING STRIPPING.
 - REMOVE TRANSFORMER, PAD, AND SERVICE LINE. CUT SERVICE LINE IN A LOCATION TO BE DETERMINED IN FIELD BY OWNER FOR EXTENSION TO NEW BUILDING.
 - REMOVE GAS SERVICE TO A LOCATION TO BE DETERMINED IN FIELD BY OWNER FOR EXTENSION TO NEW BUILDING.
 - REMOVE TELEPHONE SERVICE TO A LOCATION TO BE DETERMINED IN FIELD BY OWNER FOR EXTENSION TO NEW BUILDING.
 - INLET SEDIMENT FILTER.
 - REMOVE SIGN.
 - CAP WATER SERVICE AT SHUT-OFF AND REMOVE TO EXISTING BUILDING.

- REMOVALS LEGEND:**
- INLET SEDIMENT FILTER.
 - ▨ REMOVE ASPHALT PAVEMENT AND BASE.
 - ▤ REMOVE VEGETATION, TOPSOIL, ORGANICS, ETC. TO PROPOSED SUBGRADE ELEVATIONS.
 - ▧ REMOVE CONCRETE SIDEWALK AND BASE.
 - FULL DEPTH SAWCUT PAVEMENT.
 - REMOVE CURB AND GUTTER.
 - GEOTEXTILE SILT FENCE.
 - ***** REMOVE UTILITY (EXACT LIMITS TO BE DETERMINED IN FIELD).
 - ✕ REMOVE TREE, STUMP, AND ROOTS.

SANITARY LEAD NOTE:
 LOCATION OF EXISTING SANITARY SERVICE LEAD CANNOT BE VISUALLY LOCATED IN FIELD AT TIME OF SURVEY AND NO RECORDS OF ITS LOCATION ARE AVAILABLE. CONTRACTOR SHALL LOCATE IT PRIOR TO CONSTRUCTION AND DETERMINE THE EXACT LIMITS OF REMOVAL, IF NEEDED.

| REVISIONS | DATE | BY | REVISIONS | DATE | BY | REVISIONS | DATE | BY | REVISIONS | DATE | BY |
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DEMOLITION PLAN
 TIM HORTONS
 ROCHESTER HILLS, MICHIGAN

NOT FOR CONSTRUCTION
 CITY FILE NO. 13-024, SECTION 29
 DATE 12/13/13 SCALE HOR: 1" = 20' VER: 1" = N/A
 DESIGNED BY SRB JOB NO. 13160
 DRAWN BY SRB SHEET TH03

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BUILDING CODE COMPLIANCE:

- BUILDING CODE: 2009 MICHIGAN BUILDING CODE
1. AN AUTOMATIC FIRE PROTECTION SPRINKLER SYSTEM IS NOT PROVIDED.
 2. THE BUILDING CONSTRUCTION CLASSIFICATION WILL BE TYPE V-B (TABLE 601)
 3. THE BUILDING USE WILL BE GROUP B/S-1 MIXED USE, PER ROCHESTER HILLS BUILDING DEPARTMENT AND MICHIGAN BUILDING CODE 2009.
 4. THE NUMBER OF SEATS PROVIDED IS
 - 32 DINING
 - + 5 EMPLOYEE
 - + (370 SF/15) = 25 PATIO
 - 62 SEATS TOTAL

PARKING / BUILDING DATA:

ZONING: B-3 (GENERAL BUSINESS)

BUILDING AREA: 1,953 SF RESTAURANT
222 SF COOLER

PARKING REQUIRED:

1 SPACE PER 2 PERSONS (MAXIMUM OCCUPANCY)
32 SEATS PLUS 5 EMPLOYEES = 37 PEOPLE
PATIO AREA 16 SEATS = 16 PEOPLE
TOTAL NUMBER OF PEOPLE = 37 + 16 = 53 PEOPLE
1 x 53/2 = 26.5, USE 27 SPACES REQUIRED MINIMUM
MAXIMUM PARKING = 125% x 27 SPACES = 33.75 SPACES, USE 34 SPACES

PARKING PROVIDED:

| | |
|---------------------|------------------------------------|
| STANDARD (10'x18') | PROVIDED: 25 SPACES |
| BARRIER FREE SPACES | PROVIDED: 2 SPACE (VAN ACCESSIBLE) |
| REQUIRED: 1 SPACE | 27 SPACES |

SETBACKS:

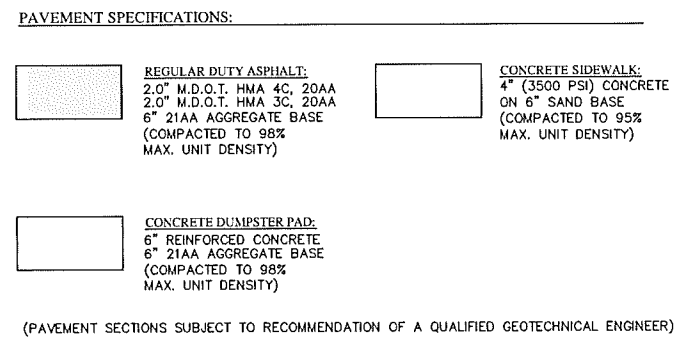
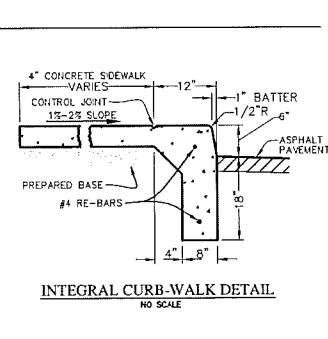
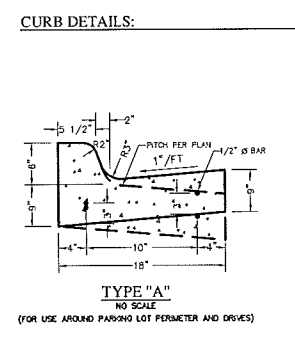
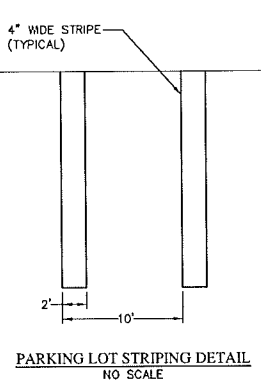
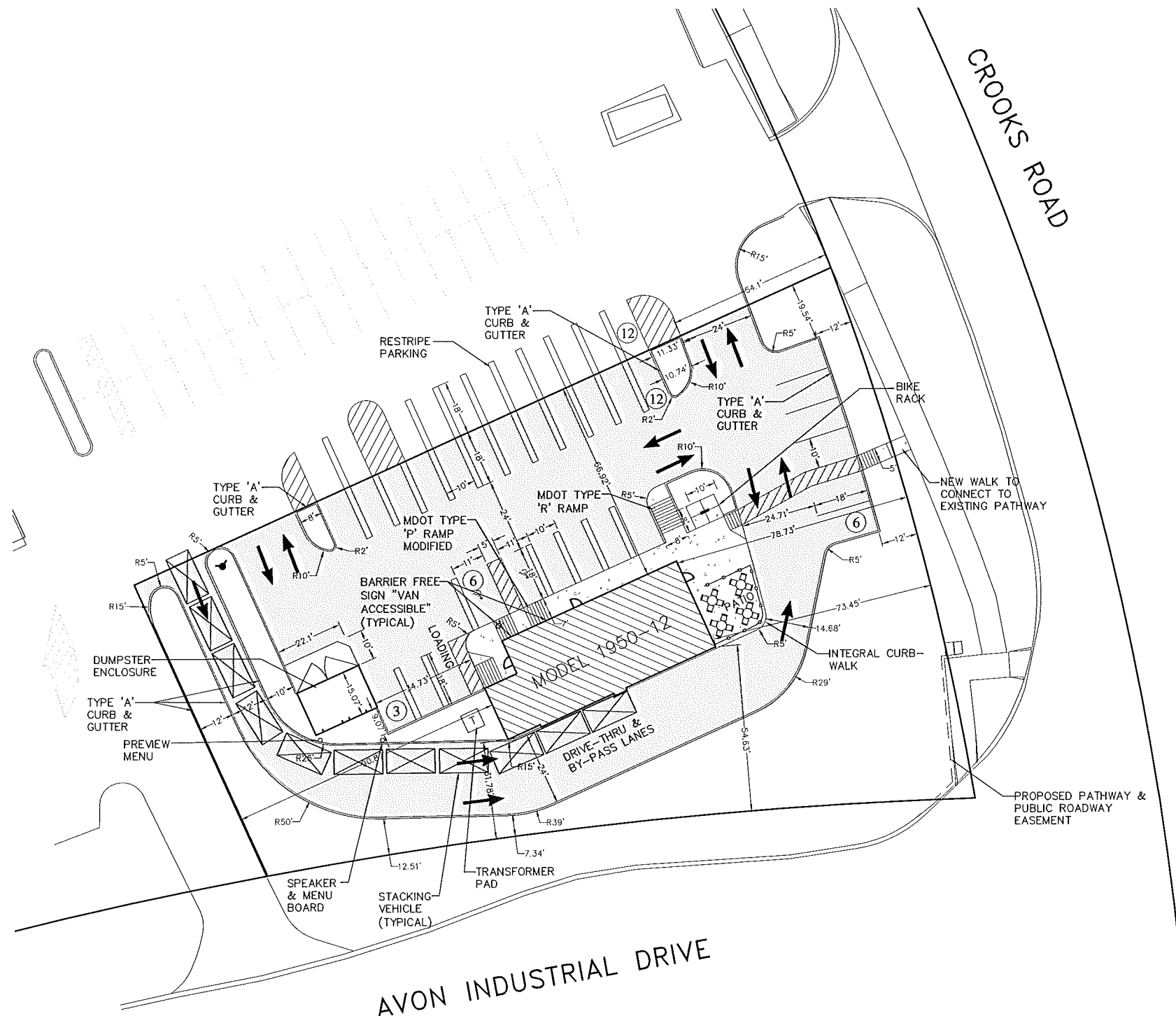
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| | REQUIRED | PROVIDED |
| FRONT | 75' | 31.78' (SOUTH), 73.56' (EAST) |
| SIDE | 25', 50' (TOTAL) | 90.87' (WEST), 66.92' (NORTH) |
| REAR | 75' | NA |

GENERAL NOTES:

1. ALL PROPOSED DIMENSIONS ARE TO FACE OF CURB, FACE OF WALK OR FACE OF BUILDING UNLESS NOTED OTHERWISE.
2. SEE SHEET TH09 FOR SITE DETAILS.

GENERAL SITE PLAN NOTES:

1. ALL EXTERIOR LIGHTING SHALL BE SHIELDED AND DIRECTED AWAY FROM ADJACENT PROPERTIES.
2. ALL TRASH RECEPTACLES SHALL BE SCREENED BY MASONRY WALLS TO MATCH REAR BUILDING WALLS AND HAVE SOLID WOOD GATES. THIS SCREENING SHALL BE AT LEAST SIX FEET IN HEIGHT OR THE MINIMUM HEIGHT OF THE STORAGE RECEPTACLES AND MEET ALL ORDINANCE REQUIREMENTS.
3. TRANSFORMERS SHALL BE LOCATED BEHIND THE BUILDING AS INDICATED ON THE SITE PLAN AND SHALL BE SCREENED USING LANDSCAPING. THE SCREENING SHALL MEET ALL ORDINANCE REQUIREMENTS.
4. ASPHALT SURFACING SHALL BE USED FOR ALL PARKING AREAS AND DRIVEWAYS, AND SHALL MEET ALL ORDINANCE REQUIREMENTS.
5. ALL BUILDING AND SITE SIGNAGE SHALL BE SUBMITTED FOR REVIEW AT A LATER DATE AND WILL BE IN CONFORMANCE WITH THE CITY OF ROCHESTER HILLS REQUIREMENTS AND A SEPARATE SIGN PERMIT WILL BE OBTAINED FROM THE BUILDING DEPARTMENT.
6. BARRIER FREE RAMPS WILL BE PROVIDED AT ALL SIDEWALK APPROACHES.
7. ALL ROOF TOP MECHANICAL EQUIPMENT WILL BE SCREENED BY BUILDING PARAPET WALLS.
8. TYPICAL PARKING SPACE SIZE IS 10'x18', WITH A MINIMUM 24' WIDE AISLE.
9. TYPICAL BARRIER FREE PARKING SPACE DIMENSION IS 11'x18' WITH A 5'x18' VAN ACCESSIBLE SPACE BETWEEN PER THE "MICHIGAN BARRIER FREE DESIGN MANUAL". ALL B.F. SPACES SHALL BE MARKED WITH AN ABOVE GRADE SIGN.
10. THE SITE PLAN SHALL BE SUBJECT TO WRITTEN APPROVAL BY THE CITY'S FIRE MARSHALL.
11. THE SITE PLAN SHALL BE SUBJECT TO WRITTEN APPROVAL BY THE CITY'S ENGINEER.
12. FIRE LANES SHALL BE DESIGNATED BY THE FIRE CODE OFFICIAL, AND SHALL BE CONSPICUOUSLY POSTED ON BOTH SIDES OF THE FIRE LANE WITH FIRE LANE SIGNS, SPACED NOT MORE THAN 100' APART (NO STOPPING, STANDING, PARKING, FIRE-LANE) AND IN CONFORMANCE WITH THE "MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", (FIRE PREVENTION ORDINANCE CHAPTER 58, SECTION 506)
13. ALL PORTIONS OF A BUILDING SHALL BE WITHIN 150' OF AN APPROVED FIRE DEPARTMENT ACCESS ROAD.
14. FIRE DEPARTMENT ACCESS ROADS SHALL BE A MINIMUM 20' WIDE AND PAVED.
15. FDC'S SHALL NOT BE OBSCURED OR OBSTRUCTED BY LANDSCAPING, PARKING, OR BY ANY OTHER PERMANENT OR TEMPORARY MATERIALS OR DEVICE. THEY SHALL BE LOCATED ON THE STREET FRONT OF THE BUILDING AND WITHIN 100' OF A FIRE HYDRANT AND WITHIN 50' OF AN APPROVED FIRE ACCESS ROAD. (FIRE PREVENTION ORDINANCE CHAPTER 58, SECTION 912.7 AND SECTION 58-90)
16. EXIT DOORS SHALL REMAIN FREE OF OBSTRUCTIONS AT ALL TIMES. PROVIDE GUARD POSTS OR OTHER ACCEPTABLE MEANS OF PROTECTING EXIT DOORS ONTO DRIVES AND PARKING AREAS. (IFC 2006 SECTION 1028.2)
17. OPEN BURNING IS NOT PERMITTED INCLUDING THE BURNING OF TRASH, DEBRIS, OR LAND CLEARING MATERIALS. OPEN BURNING FOR WARMING OF SAND AND/OR WATER FOR PREPARATION OF MORTAR SHALL BE WITHIN THE CITY OF ROCHESTER HILLS BURN PERMIT GUIDELINES. (FIRE PREVENTION ORDINANCE CHAPTER 58, SECTIONS 307.6.2 AND 307.6.2.3)
18. CONSTRUCTION SITE SHALL BE SAFEGUARDED IN ACCORDANCE WITH IFC 2006 CHAPTER 14, THIS INCLUDES MAINTAINING FIRE DEPARTMENT ACCESS ROADS AND FIRE HYDRANTS OPERATIONAL PRIOR TO BUILDING CONSTRUCTION. ALL FIRE HYDRANTS WILL BE OPERATIONAL PRIOR TO BUILDING CONSTRUCTION BASED ON THE IFC 2006.
19. FIRE HYDRANT REQUIREMENTS WILL BE BASED ON CONSTRUCTION TYPE AND SQUARE FOOTAGE OF THE BUILDING.
20. DIMENSIONS FOR PARKING SPACES AND MANEUVERING LANES ARE MEASURED FROM THE FACE OF CURB.
21. THERE WILL BE NO INDUSTRIAL WASTE OR PROPANE TANKS LOCATED ON-SITE.
22. ALL CURBED PARKING LOT ISLANDS SHALL BE 2'-3' SHORTER THAN THE ADJACENT PARKING SPACES AND DRIVEWAYS.
23. SEE PHOTOMETRIC PLAN FOR EXACT LOCATION OF PROPOSED LIGHT POLES.
24. ACCESS TO PROPOSED CONSTRUCTION SITE SHALL BE PROVIDED AND MAINTAINED FROM CROOKS ROAD.
25. ALL HANDICAP SPACES ARE TO RECEIVE A "VAN ACCESSIBLE" HANDICAP SIGN AND HANDICAP SYMBOL PAINTED ON THE ASPHALT.
26. HANDICAP RAMPS TO HAVE A MAXIMUM 1:12 SLOPE AND MUST BE CONSTRUCTED PER ADA AND MICHIGAN BARRIER FREE STANDARDS.
27. A "KNOX" KEY SYSTEM SHALL BE INSTALLED IN A LOCATION APPROVED BY THE FIRE CODE OFFICIAL. ORDERING INFORMATION IS AVAILABLE FROM THE FIRE DEPARTMENT. (IFC 2006 SECTION 506).



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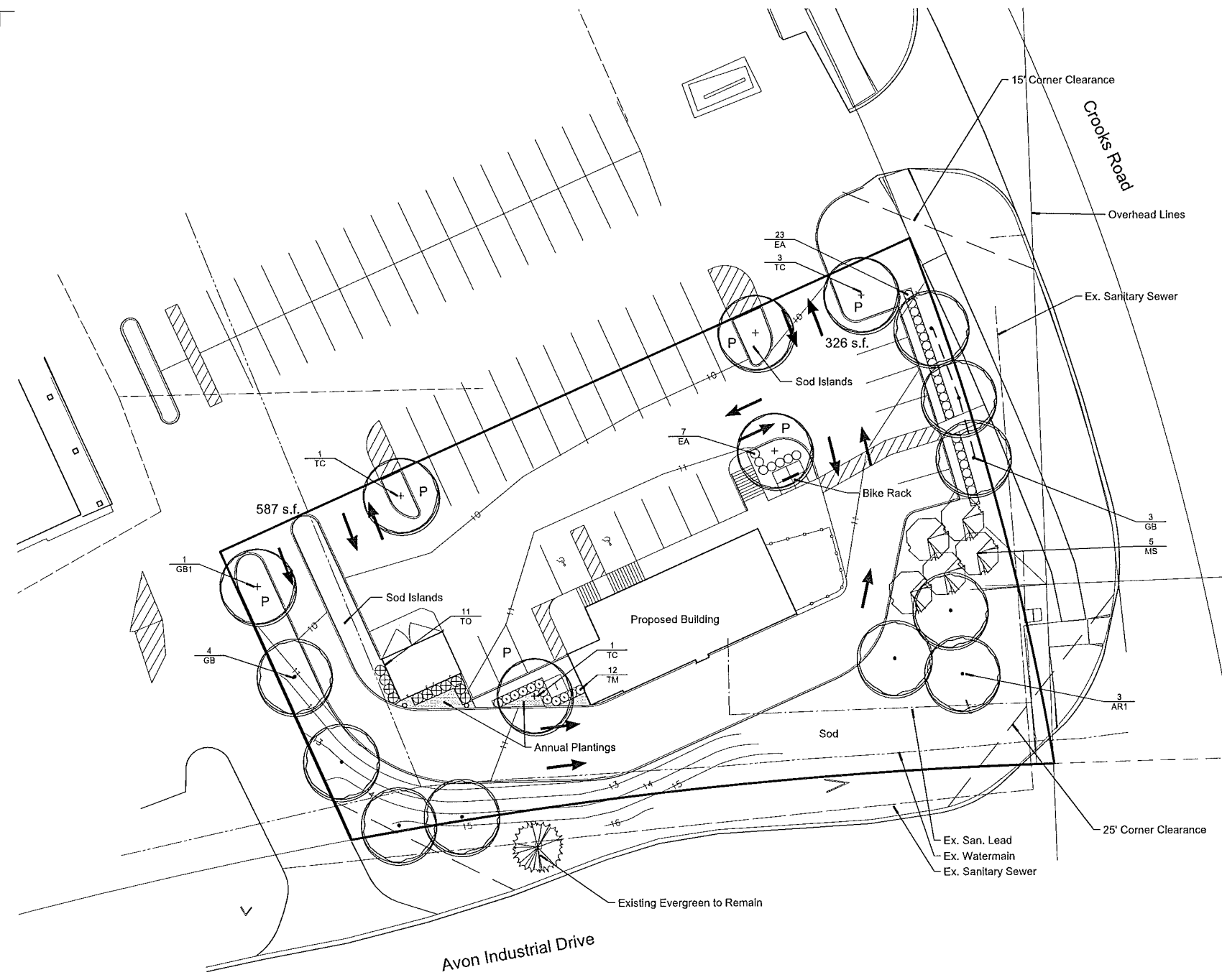
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SITE PLAN
TIM HORTONS
ROCHESTER HILLS, MICHIGAN

DATE: 12/13/13 SCALE: HOR: 1" = 20' VER: 1" = N/A
DESIGNED BY: SRB JOB NO.: 13160
DRAWN BY: SRB SHEET: TH04

NOT FOR CONSTRUCTION
CITY FILE NO. 13-024, SECTION 29

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Landscape Summary

| | |
|-----------------------------------|--|
| Parking Lot Landscaping | 18,023 s.f. |
| Vehicular Use Area | 901 s.f. (18,023 x 5%) |
| Landscape Area Required | 913 s.f.* |
| Trees Required | 6 Trees (901 / 150) |
| Trees Provided | 6 Trees |
| Right of Way Landscaping** | |
| Crooks Road | |
| Frontage | 181 l.f. |
| Trees Required | 5.2 Trees (1 per 35') |
| Trees Provided | 5 Trees |
| Ornamental Trees Required | 5.2 Trees (1 per 35') |
| Ornamental Trees Provided | 5 Trees |
| Avon Industrial Drive | |
| Frontage | 234 l.f. |
| Trees Required | 6.7 Trees (1 per 35') |
| Trees Provided | 6 Trees (1 Existing, 1 Shall be Paid into the Tree Fund) |
| Ornamental Trees Required | 6.7 Trees (1 per 35') |
| Ornamental Trees Provided | 7 Trees to be Paid Into the Tree Fund |

* As measured from the back of curb and Excluding Sidewalks.
 ** ROW Plantings will Require a RCOC Permit. If the Permit is Not Granted, the Value of Required Trees Shall be Placed in the City Tree Fund.

Additional Notes:

- All Landscaped Area Shall be Irrigated with an Automatic, Underground System.
- Irrigation shall be Responsible for Reaching Damaged Plant Material Due to Utility Maintenance.
- Owner Shall be Responsible for Reaching Damaged Plant Material Due to Utility Maintenance.
- Prior to the release of the Performance Bond, the City of Rochester Hills Forestry Division must inspect all landscape plantings including but not limited to existing trees, replacement trees, buffer plantings, and parking lot islands and the Forestry Division must inspect all Right of Way to identify any plantings area or existing all pole a hazard to the safe use of the right-of-way. Forestry may require the contractor to remove and possibly replace any such trees.
- All trees and shrubs must be planted at least 10' from the edge of a public roadway. Shade trees and shrubs must be planted at least 5' from the edge of a public roadway, driveway and sidewalk. All trees and shrubs must be planted at least 10' from the edge of a public roadway. All trees and shrubs must be planted at least 10' from the corner of a street and at least 10' from the intersection of a street.
- No tree or shrub may be planted within the triangular area formed at the intersection of any street or driveway with a public sidewalk or driveway. No tree or shrub may be planted in the triangular area formed at the intersection of any driveway with a public sidewalk or driveway.
- Prior to planting, the contractor shall provide a site plan to the City of Rochester Hills Forestry Division. No substitutions or changes of location or plant types shall be made after the approval of the developer and the City of Rochester Hills Forestry Division.
- The City of Rochester Hills Forestry Division has Final Right of Approval for the Release of the Performance and Maintenance Bonds.
- The developer and/or the City of Rochester Hills Forestry Division shall have the right at any edge of the installation, to reject any work or material that does not meet the requirements of the plans or specifications.
- Replacement trees may not be planted within the drip line of existing trees.
- Trees must be spaced 10' from underground utilities and 10' from overhead utilities.
- Trees may not be planted within 4' of any property line.
- Prior to Release of the Performance Bond, the City of Rochester Hills Forestry Division must inspect all Landscape Plantings including but not limited to existing trees, replacement trees, Buffer Plantings, and Parking Lot Islands.
- Injection shall Only Occur Between the hours of 12pm and 5pm in accordance with the City's Vending Ordinance.

Utility Maintenance Statement:

If, in the event, Utility Maintenance Results in the Removal of Landscaping, as Shown on this Plan, it will be the Owner's Responsibility to Repair and Replace Shrubs and Trees that are Located within the Utility Easement.

Bike Rack Specification:

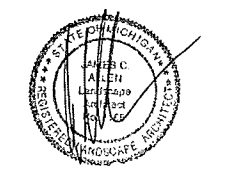
Manufacturer: Conceptual Site Furnishings
 Model: MS Blue Rack
 Number of Bikes: 5 Bikes
 Finish: Powder Coat Black

Plant List

| sym. | qty. | botanical name | common name | caliper | spacing | root | height | price | total |
|--|-------|---------------------------------|-----------------------|---------|----------|------|---------|-----------|---------------------|
| Parking Lot Island Trees | | | | | | | | | |
| GB1 | 1 | Ginkgo biloba | Ginkgo | 3.0" | as shown | B&B | | \$ 425.00 | \$ 425.00 |
| TC | 5 | Tilia cordata 'Greenspire' | Greenspire Linden | 3.0" | as shown | B&B | | \$ 425.00 | \$ 2,125.00 |
| Right of Way Trees | | | | | | | | | |
| ARI | 3 | Acer rubrum | Red Maple | 3.0" | as shown | | | \$ 425.00 | \$ 1,275.00 |
| GB | 7 | Ginkgo biloba | Ginkgo | 3.0" | as shown | B&B | | \$ 425.00 | \$ 2,975.00 |
| MS | 5 | Malus sargentii | Sargent Crab | 2.0" | as shown | B&B | | \$ 200.00 | \$ 1,000.00 |
| Right of Way Trees Paid into City Tree Fund | | | | | | | | | |
| | 1 | Deciduous Tree | | 3.0" | | | | \$ 425.00 | \$ 425.00 |
| | 7 | Ornamental Trees | | 2.0" | | | | \$ 200.00 | \$ 1,400.00 |
| General Plantings | | | | | | | | | |
| EA | 30 | Euonymus alata 'Compacta' | Burning Bush | | as shown | | 30"-36" | \$ 50.00 | \$ 1,500.00 |
| TM | 12 | Taxus x. media 'Densiformis' | Dense Yew | | as shown | | 30"-36" | \$ 50.00 | \$ 600.00 |
| TO | 11 | Thuja occidentalis 'Dark Green' | Dark Green Arborvitae | | as shown | B&B | 6' | \$ 175.00 | \$ 1,925.00 |
| | 2,080 | Kentucky Blue Grass, (S.V.) | | | | | | \$ 4.00 | \$ 8,320.00 |
| | | Irrigation System | | | | | | | \$ 15,000.00 |
| | | | | | | | | | \$ 36,970.00 |



Seal:



Title:
Landscape Plan

Project:
**Tim Horton's
Rochester Hills, Michigan**

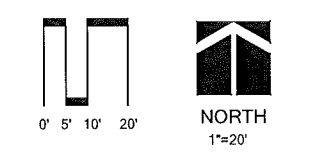
Prepared for:
**Zelmet Wozniak & Associates
55800 Grand River, Suite 100
New Hudson, MI 48165
248.437.5099**

Revision:
Reviewed
Revised

Issued:
December 11, 2013
February 4, 2014

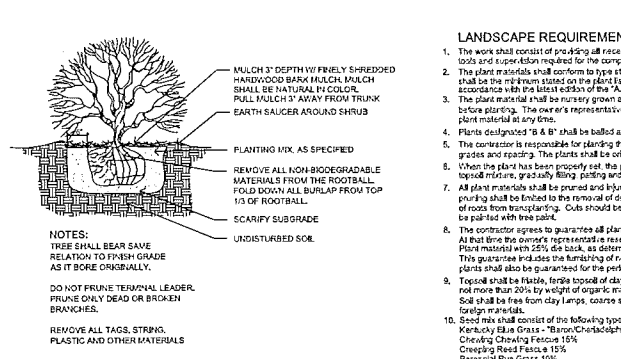
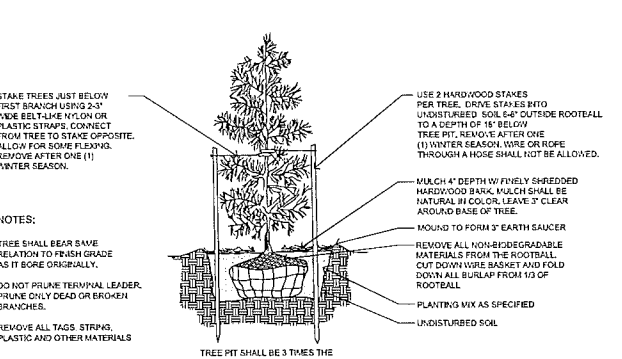
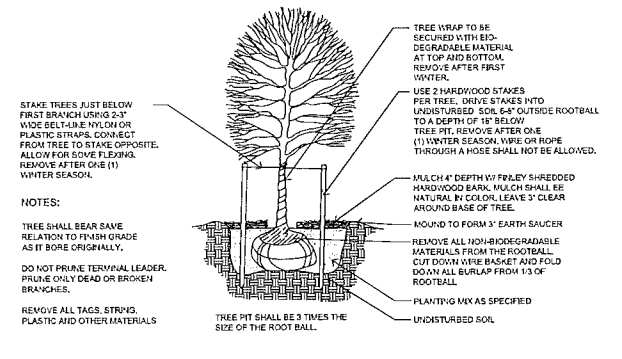
Job Number:
13-048

Drawn By: jca
Checked By: jca



Sheet No. **TH-05**

City File No. 13-024, Section 29



DECIDUOUS TREE PLANTING DETAIL NTS

EVERGREEN TREE PLANTING DETAIL NTS

SHRUB PLANTING DETAIL NTS



- LANDSCAPE REQUIREMENTS**
- The work shall consist of providing all necessary materials, labor, warrants, equipment, tools and supervision required for the installation of the landscape.
 - The plant materials shall conform to type stated on the plant list. Sizes shall be the minimum stated on the plant list or larger. All measurements shall be in accordance with the latest edition of the "Manual Standards for Nursery Stock".
 - The plant material shall be nursery grown and inspected by the owner's representative before planting. The owner's representative reserves the right to reject any plant material at any time.
 - Plants designated "B & B" shall be balled and burlapped with firm burlap of earth.
 - The contractor is responsible for planting the materials at the correct grades and spacing. The plants shall be oriented as to give the best appearance.
 - When the plant has been properly set, the job shall be backfilled with a topsoil mixture, properly watered and irrigated.
 - All plant materials shall be pruned and burlapped. The amount of pruning shall be limited to the removal of dead or injured limbs and to comply with the loss of roots from transplanting. Cuts should be flush with the trunk. Cuts over 1" shall be patched with tree paint.
 - The contractor agrees to guarantee all plant materials for the period of two years. At that time the owner's representative reserves the right for a final inspection. Plant material with 25% die back, as determined by the owner's representative, shall be replaced. This guarantee includes the furnishing of new plants, labor and materials. These new plants shall also be guaranteed for the period of one year.
 - Topsoil shall be 100% single topsoil of dry loam character containing at least 5% but not more than 20% by weight of organic matter with a pH range from 6.0 to 7.0. Soil shall be free from clay lumps, coarse sand, plant roots, sticks and other foreign materials, foreign materials.
 - Seed mix shall consist of the following types and proportions:
Kentucky Blue Grass - 30%
Tall Fescue - 15%
Perennial Ryegrass - 10%
Creeping Red Fescue - 15%
Annual Ryegrass - 10%
Weed control shall not exceed 1%.
The mix shall be applied at a rate of 200 lbs./acre.
 - Soil shall be two year old "Bran-Chester" Kentucky Blue Grass grown in a sod nursery on loam soil.
 - The Contractor shall verify all rights of way, easements, property lines and limits of work, etc. prior to commencing work.
 - The Contractor shall be responsible for contacting and coordinating with all pertinent utility companies 72 hours in advance of any digging to make them self familiar with all underground utilities, pipes and structures. The Contractor shall take sole responsibility for any cost incurred due to damage of such utilities.
 - The Contractor shall not willfully proceed with construction as depicted when it is obvious that unknown obstructions and/or grade differences exist. Such conditions shall be immediately brought to the attention of the owner's representative and/or Landscape Architect. The Contractor shall assume full responsibility for all necessary relocations due to failure to give such notification.
 - Any discrepancies between dimensioned layout and actual field conditions shall be reported to the Owner's representative and Landscape Architect. Failure to make such discrepancies known will result in Contractor's responsibility and liability for any changes and associated cost.
 - The Contractor to verify percolation of all planting pits prior to installation of plant material.
- Overhead Line Statement:**
Overhead Lines Exist Along Crooks Road
- Loading Area Statement:**
Proposed Landscaping and/or Walls Shall Adequately Screen Loading Areas from Public R.O.W.

Not to be Used as Construction Drawings

NOTE:
 THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AS DISCLOSED BY AVAILABLE UTILITY COMPANY RECORDS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE COMPANY. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF A CONFLICT IS APPARENT.

SANITARY SEWER BASIS OF DESIGN

A. CONTRIBUTION TO EXISTING 10" SEW ER:

| BLDG. DESIGNATION | BLDG. USE | AREA (SF) | SEATS | UNIT FACTOR | UNITS |
|-------------------|------------|-----------|-------|-------------|-------|
| Tim Hortons | Restaurant | 1,950 | 32 | 0.13/seater | 4.16 |

No. of people = 3.5 ppu x 4.16 units = 14.56 people

Average daily flow = $\frac{100 \text{ gpcd} \times 14.56 \text{ people}}{(7.5 \times 24 \times 365)} = 0.0022 \text{ cfs}$

Peak daily flow = $4 \times 0.0022 = 0.0088 \text{ cfs}$
 An 8" sewer at 0.40% (minimum) has a capacity of 0.76 cfs.

WATERMAIN BASIS OF DESIGN

| | |
|----------------------------------|---|
| INITIAL SERVICE CONNECTIONS- | 0 |
| TOTAL SERVICE CONNECTIONS- | 14.56 (NUMBER OF PEOPLE) |
| INITIAL DESIGN AVERAGE DAY FLOW- | 0.3MGD |
| INITIAL MAXIMUM DAY FLOW- | 0.3MGD |
| TOTAL DESIGN AVERAGE DAY FLOW- | $14.56 \times 120/1,000,000 = 0.0017 \text{ MGD}$ |
| TOTAL MAXIMUM DAY FLOW- | $3 \times 0.0017 = 0.0051 \text{ MGD}$ |

FIRE DEPARTMENT NOTES:

- FOR COMMERCIAL BUILDINGS OVER 30- FEET HIGH OR 3 STORIES REQUIRE TWO OR MORE SEPARATE FIRE ACCESS ROADS AT LEAST 26- FEET WIDE. AT LEAST ONE ROAD SHALL BE WITHIN A MINIMUM 15- FEET AND A MAXIMUM 30- FEET FROM THE BUILDING AND SHALL BE POSITIONED PARALLEL TO ONE ENTIRE SIDE OF THE BUILDING.
- FIRE LANES SHALL BE CONSPICUOUSLY POSTED ON BOTH SIDES OF THE FIRE LANE, WITH FIRE LANE SIGNS SPACED NOT MORE THAN 100 FEET APART, FIRE LANE SIGNS SHALL READ "NO STOPPING, STANDING, PARKING, FIRE LANE", AND IN CONFORMANCE WITH THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- A 3- FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND FIRE HYDRANTS.
- FIRE DEPARTMENT CONNECTIONS, WHEN REQUIRED, SHALL BE LOCATED VISIBLY ON THE STREET FRONT OF THE BUILDING, WITHIN 50- FEET OF AN APPROVED FIRE DEPARTMENT ACCESS ROAD AND A FIRE HYDRANT SHALL BE LOCATED WITHIN 100- FEET OF THE F.D.C.
- FIRE DEPARTMENT CONNECTIONS SHALL NOT BE OBSCURED OR OBSTRUCTED BY LANDSCAPING, PARKING OR BY ANY OTHER PERMANENT OR TEMPORARY MATERIALS OR DEVICE.
- CONSTRUCTION SHALL BE SAFEGUARDED IN ACCORDANCE WITH IFC CHAPTER 14.
- OPEN BURNING IS NOT PERMITTED, INCLUDING THE BURNING OF TRASH, DEBRIS, OR LAND CLEARING MATERIALS. OPEN BURNING FOR WARMING OF SAND AND/OR WATER FOR PREPARATION OF MORTAR SHALL BE WITHIN CITY OF ROCHESTER HILLS BURN PERMIT GUIDELINES. CONTACT ROCHESTER HILLS FIRE DEPARTMENT FOR PERMIT INFORMATION.
- A "KNOX" KEY SYSTEM MAY BE INSTALLED IN A LOCATION APPROVED BY THE FIRE CODE OFFICIAL. ORDERING INFORMATION IS AVAILABLE FROM THE FIRE DEPARTMENT.

HYDRANT REQUIREMENTS:

- BUILDING CONSTRUCTION- TYPE V-B
 - BUILDING AREA- 1,950 S.F.
 - REQUIRED FIRE FLOW- 1,500 GPM *
 - REQUIRED HYDRANTS- 1 WITH 500' AVERAGE SPACING *
- * REQUIRED FIRE FLOW AND HYDRANTS TAKEN FROM TABLES B105.1 AND C105.1 IN THE CITY OF ROCHESTER HILLS ENGINEERING DESIGN STANDARDS.

SANITARY SEWER NOTES:

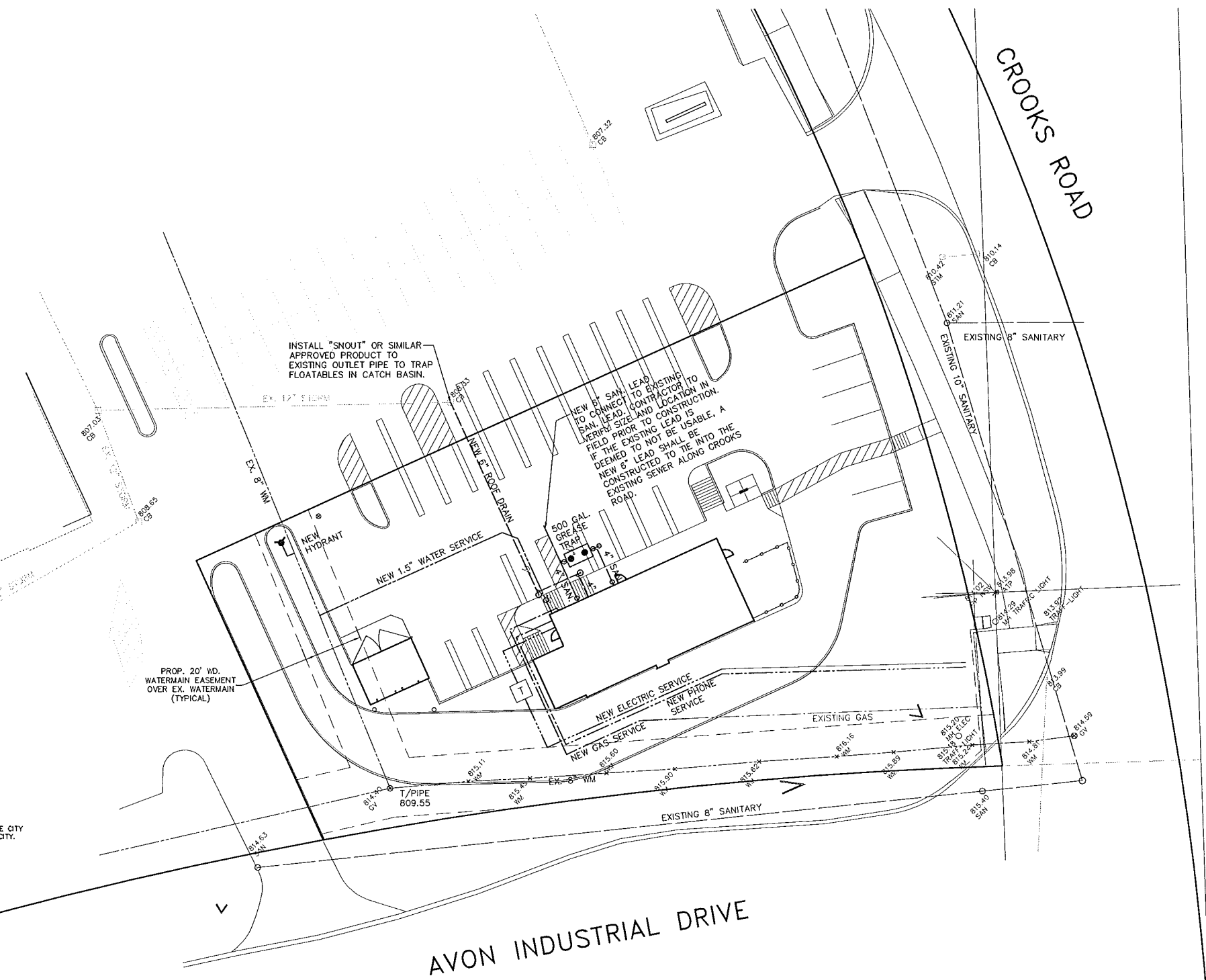
- ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE AGENCY HAVING JURISDICTION OVER THAT WORK.
- ALL SANITARY SEWER BUILDING LEADS WILL BE SOLID WALL PVC SDR 23.5 PIPE.
- SANITARY SEWER DROP CONNECTIONS MUST BE EXTERNAL TYPE.
- THE MINIMUM SLOPE FOR 6" SANITARY BUILDING LEADS IS 1.00%.
- ALL PROPOSED SEWERS SHALL HAVE CHEMICALLY WELDED JOINTS.
- THE CONTRACTOR SHALL HAVE A TELEVISION INSPECTION OF THE EXISTING SANITARY LEAD PERFORMED PRIOR TO CONSTRUCTION TO VERIFY THE CONDITION OF THE EXISTING PIPE. THE CITY INSPECTOR SHALL WITNESS THE SCOPE AND A VIDEO COPY SHALL BE PROVIDED TO THE CITY.

WATERMAIN NOTES:

- ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE AGENCY HAVING JURISDICTION OVER THAT WORK.
- ALL HYDRANTS, INCLUDING NOZZLES AND PROJECTIONS SHALL BE 3" MINIMUM FROM EDGE OF SIDEWALK, OR 6" MINIMUM FROM BACK OF CURB.
- THE WATERMAIN WILL HAVE A MINIMUM OF 6 FEET OF COVER.
- THE CONTRACTOR SHALL DETERMINE DEGREE OF BEND FOR THE WATERMAIN FITTINGS. PIPE DEFLECTIONS SHALL NOT EXCEED 75% OF THE MANUFACTURER'S MAXIMUM ALLOWABLE DEFLECTION.
- WATERMAIN 8" AND LARGER SHALL BE CEMENT-LINED (DOUBLE THICKNESS), DUCTILE IRON PIPE, CLASS 54.
- A VERTICAL SEPARATION OF 18 INCHES MUST BE MAINTAINED BETWEEN THE WATERMAIN AND SANITARY SEWERS, STORM SEWERS, OR OTHER PROPOSED UTILITIES.
- ALL GATE VALVES SHALL BE RESILIENT WEDGE OR SEATED TYPE GATE VALVE (E.J.I.W. OR U.S. PIPE).
- RESTRAINED ROODED JOINTS SHALL BE USED AT ALL VERTICAL BENDS, THE NUMBER OF RESTRAINED ROODED JOINTS REQUIRED SHALL BE DETERMINED BY THE MANUFACTURER, SUBJECT TO APPROVAL BY THE CITY ENGINEER.
- USE HYDRANT CONNECTION DETAILS PER CURRENT CITY STANDARD DETAIL SHEET.
- WATER SERVICES SHALL BE SDR-9 POLY PIPE OR TYPE 'K' COPPER.

STORM SEWER NOTES:

- PROPOSED STRUCTURE COVERS/GRATES SHALL BE PROVIDED AS REQUIRED ON THE CITY OF ROCHESTER HILLS STANDARD DETAIL SHEETS.
- EDGE DRAIN TO BE 20' IN EACH DIRECTION AT 90° ANGLES FROM INLET STRUCTURES LOCATED IN PAVED AREAS.
- STRUCTURAL CALCULATIONS AND SHOP DRAWINGS, SIGNED AND SEALED BY A PROFESSIONAL ENGINEER (REGISTERED IN THE STATE OF MICHIGAN) SHALL BE SUBMITTED TO THE CITY FOR REVIEW PRIOR TO CONSTRUCTION OF ALL STORM SEWER STRUCTURES GREATER THAN 6 FEET IN DIAMETER.
- PROPOSED ROOF DRAINS SHALL BE SCHEDULE 40 PVC PIPE WITH CHEMICALLY WELDED JOINTS.
- PROPOSED STORM SEWER PIPE SHALL BE REINFORCED CONCRETE CLASS IV WITH RUBBER GASKETS AND CLASS B BEDDING.



BENCHMARKS:

- RAILROAD SPIKE IN POWER POLE LOCATED 90°± NORTHEAST OF NORTHEAST CORNER OF SHOPPING CENTER. ELEVATION 804.50 U.S.G.S.
- CENTER OF SANITARY SEWER MANHOLE RIM IN CROOKS ROAD R.O.W. NEAR NORTHEAST CORNER OF SITE. ELEVATION 811.21 U.S.G.S.

UTILITY LEGEND

| EXISTING | | PROPOSED | |
|----------|----------------|----------|----------------|
| ○ | MANHOLE | ● | MANHOLE |
| □ | CATCH BASIN | ■ | CATCH BASIN |
| ○ | INLET | ○ | CLEANOUT |
| ○ | CLEANOUT | ○ | END SECTION |
| ○ | END SECTION | ○ | ROOF DRAIN |
| ○ | ROOF DRAIN | ○ | GATE VALVE |
| ○ | GATE VALVE | ○ | HYDRANT |
| ○ | HYDRANT | ○ | WATER SHUT-OFF |
| ○ | WATER SHUT-OFF | ○ | TREE REMOVAL |
| ○ | UTILITY POLE | ○ | SANITARY SEWER |
| ○ | GUY ANCHOR | ○ | STORM SEWER |
| ○ | LIGHT POLE | ○ | WATER MAIN |
| ○ | SIGN | ○ | DITCH |
| ○ | TREE | | |
| ○ | TREE LINE | | |
| ○ | SANITARY SEWER | | |
| ○ | STORM SEWER | | |
| ○ | WATER MAIN | | |
| ○ | GAS MAIN | | |
| ○ | ELECTRIC CABLE | | |

GENERAL NOTES:

- M.D.O.T. CLASS II BACKFILL TO BE COMPACTED IN 6" LAYERS TO 95% OF MAXIMUM UNIT WEIGHT, ABOVE REQUIRED UNDER OR WITHIN A 1 ON 1 SLOPE OF EXISTING OR PROPOSED PAVEMENT.
- ALL CONTRACTORS SHALL NAME ZEIMET-WOZNIAK & ASSOCIATES AS ADDITIONALLY INSURED ON ALL INSURANCE POLICIES.

STORMWATER MANAGEMENT CALCULATIONS

EXISTING CONDITIONS

THE EXISTING PARCEL (0.78 ACRES) IS THE SITE OF A FORMER BANK OF AMERICA BRANCH OFFICE LOCATED ON THE BUILDING COVERED DRIVE-THRU LANE AND ASPHALT PARKING. THE REST OF THE PARCEL IS UNDEVELOPED AND IS A SMALL LANDSCAPE AREA ON THE SOUTH SIDE OF THE BUILDING AND ALONG THE EAST AND SOUTH PROPERTY LINES. THE SITE DRAINAGE FACTOR IS 0.75. THERE IS NO STORM SEWER ON THE SITE. THE RUNOFF IS COLLECTED BY CATCH BASINS IN THE PARKING LOT OF THE EXISTING SITE. ALL THE STORMWATER FLOWS VIA STORM SEWERS TO A REGIONAL DRAINAGE FACILITY LOCATED NORTHWEST OF THE SITE. SHALL.

EXISTING RUNOFF:

| | | |
|----------------|------------------|------|
| BUILDING ROOF: | 0.04 AC @ 0.95 = | 0.04 |
| PAVEMENT: | 0.51 AC @ 0.95 = | 0.43 |
| LANDSCAPE: | 0.23 AC @ 0.25 = | 0.02 |
| | | 0.52 |

C_{area} = 0.25

PROPOSED DEVELOPMENT

THE EXISTING BUILDING AND PARKING LOT SHALL BE DEMOLISHED. A NEW RESTAURANT, DRIVE-THRU AND PARKING LOT SHALL BE CONSTRUCTED. EXISTING DRAINAGE PARTS SHALL BE MAINTAINED AND STORMWATER SHALL BE COLLECTED BY THE EXISTING CATCH BASINS IN THE ADJACENT PARKING LOT.

PROPOSED RUNOFF:

| | | |
|----------------|------------------|------|
| BUILDING ROOF: | 0.04 AC @ 0.95 = | 0.04 |
| PAVEMENT: | 0.77 AC @ 0.95 = | 0.44 |
| LANDSCAPE: | 0.27 AC @ 0.25 = | 0.03 |
| | | 0.55 |

C_{area} = 0.25

SINCE C_{area} IS LESS THAN C_{area}, NO ADDITIONAL DRAINAGE OR TREATMENT OF THE RUNOFF IS REQUIRED.

NOT FOR CONSTRUCTION
 CITY FILE NO. 13-024, SECTION 29

| REVISIONS | DATE | BY | REVISIONS | DATE | BY | REVISIONS | DATE | BY |
|-----------------|--------|-----|-----------|------|----|-----------|------|----|
| PER CITY REVIEW | 2/4/14 | SRB | | | | | | |

ZEIMET WOZNIAK & ASSOCIATES
 Civil Engineers & Land Surveyors
 5540 GRAND RIVER AVE. SUITE 100
 NEW HUDSON, MICHIGAN 48163
 P: (248) 437-5099 F: (248) 437-5222 www.zeimetwozniak.com

THREE FULL WORKING DAYS BEFORE YOU DRILL. CALL THE MISS DIG SYSTEM 1-800-483-7171

PROJECT SPONSOR:
 TIM DONUTS U.S. LIMITED, INC.
 565 EAST GRAND RIVER, SUITE 101
 BRIGHTON, MI 48116 (810) 844-2747

UTILITY PLAN
 TIM HORTONS
 ROCHESTER HILLS, MICHIGAN

DATE: 12/13/13 SCALE: HOR: 1" = 20' VER: 1" = N/A
 DESIGNED BY: SRB JOB NO.: 13160
 DRAWN BY: SRB SHEET: TH06

Z:\Projects\13160\DWG\13160 sp5.dwg, TH6, 2/19/2014 10:10:04 AM, sbiaszczuk

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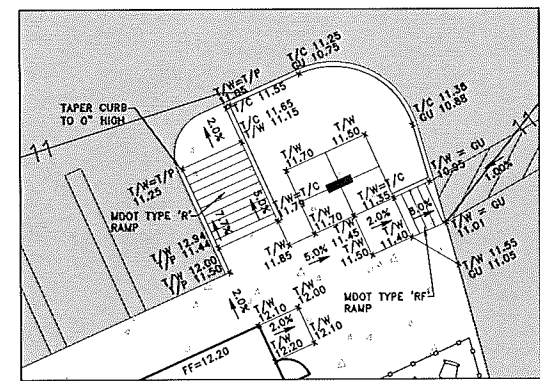
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LEGEND

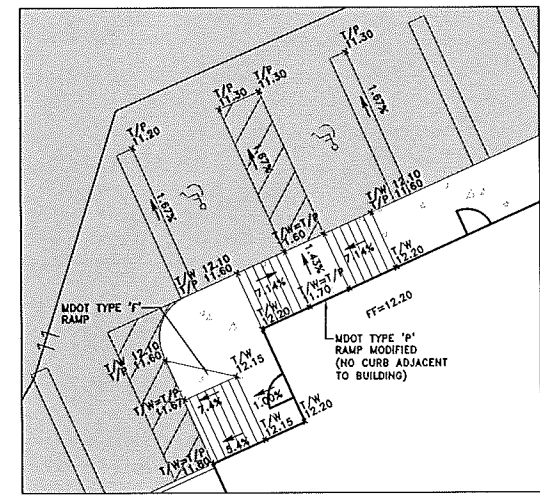
| EXISTING | PROPOSED |
|------------------|------------------|
| ○ MANHOLE | ● MANHOLE |
| □ CATCH BASIN | ■ CATCH BASIN |
| ⊗ INLET | ⊗ INLET |
| ⊙ CLEANOUT | ⊙ CLEANOUT |
| △ END SECTION | △ END SECTION |
| ◇ ROOF DRAIN | ◇ ROOF DRAIN |
| ⊕ GATE VALVE | ⊕ GATE VALVE |
| ⊖ HYDRANT | ⊖ HYDRANT |
| ⊗ WATER SHUT-OFF | ⊗ WATER SHUT-OFF |
| ⊘ UTILITY POLE | ⊘ UTILITY POLE |
| ⊙ GUY ANCHOR | ⊙ GUY ANCHOR |
| ⊙ LIGHT POLE | ⊙ LIGHT POLE |
| ⊙ SIGN | ⊙ SIGN |
| ⊙ TREE | ⊙ TREE REMOVAL |
| ⊙ TREE LINE | ⊙ SANITARY SEWER |
| ⊙ SANITARY SEWER | ⊙ CONTOUR MAJOR |
| ⊙ STORM SEWER | ⊙ CONTOUR MINOR |
| ⊙ WATER MAIN | ⊙ PROPOSED GRADE |
| ⊙ GAS MAIN | ⊙ DITCH |
| ⊙ ELECTRIC CABLE | ⊙ CONTOUR MAJOR |
| ⊙ CONTOUR MAJOR | ⊙ CONTOUR MINOR |
| ⊙ CONTOUR MINOR | ⊙ SPOT ELEVATION |
| ⊙ SPOT ELEVATION | |

GRADING NOTES:

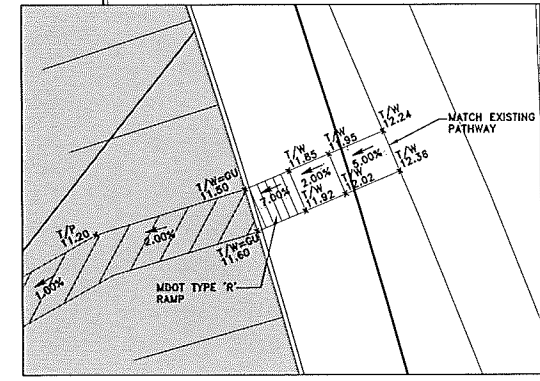
- EXISTING TOPOGRAPHY SHOWN PER FIELD SURVEY BY ZEIMET-WOZNIAK.
- SEED AND MULCH ALL AREAS DISTURBED DUE TO GRADING ACTIVITY.
- PEAT, OR ANY OTHER UNSUITABLE MATERIALS ENCOUNTERED IN CONSTRUCTION AREAS SHALL BE REMOVED AND BACKFILLED WITH COMPACTED SUITABLE MATERIAL TO 95% DENSITY.
- ALL ON-SITE WORK SHALL CONFORM TO A MINIMUM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ROCHESTER HILLS.
- ALL PROPOSED GRADES IN PAVED AREAS ARE TOP OF PAVEMENT (T/P) UNLESS SPECIFIED OTHERWISE.
- ADD 800.00 TO ALL PROPOSED ELEVATIONS TO OBTAIN SITE DATUM ELEVATION.



RAMP GRADING DETAIL
 SCALE: 1"=10'



BARRIER FREE ACCESSIBLE ROUTE & RAMP GRADING DETAIL
 SCALE: 1"=10'



RAMP GRADING DETAIL
 SCALE: 1"=10'

NOT FOR CONSTRUCTION
 CITY FILE NO. 13-024, SECTION 29

| REVISIONS | DATE | BY | REVISIONS | DATE | BY | REVISIONS | DATE | BY | REVISIONS | DATE | BY |
|-----------------|--------|----|-----------|------|----|-----------|------|----|-----------|------|----|
| PER CITY REVIEW | 2/4/14 | | | | | | | | | | |

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MISS DIG SYSTEM, INC.
 1-800-482-7171
 THREE FULL WORKING DAYS BEFORE YOU DIG, CALL THE MISS DIG SYSTEM

PROJECT SPONSOR:
 TIM DONUTS U.S. LIMITED, INC.
 565 EAST GRAND RIVER, SUITE 101
 BRIGHTON, MI 48116 (810) 844-2747

GRADING AND DRAINAGE PLAN
TIM HORTONS
 ROCHESTER HILLS, MICHIGAN

| DATE | SCALE | HOR: |
|-------------|----------|-------|
| 12/13/13 | 1" = 20' | 20' |
| DESIGNED BY | VER: | N/A |
| SRB | | |
| DRAWN BY | JOB NO. | 13160 |
| SRB | SHEET | TH07 |

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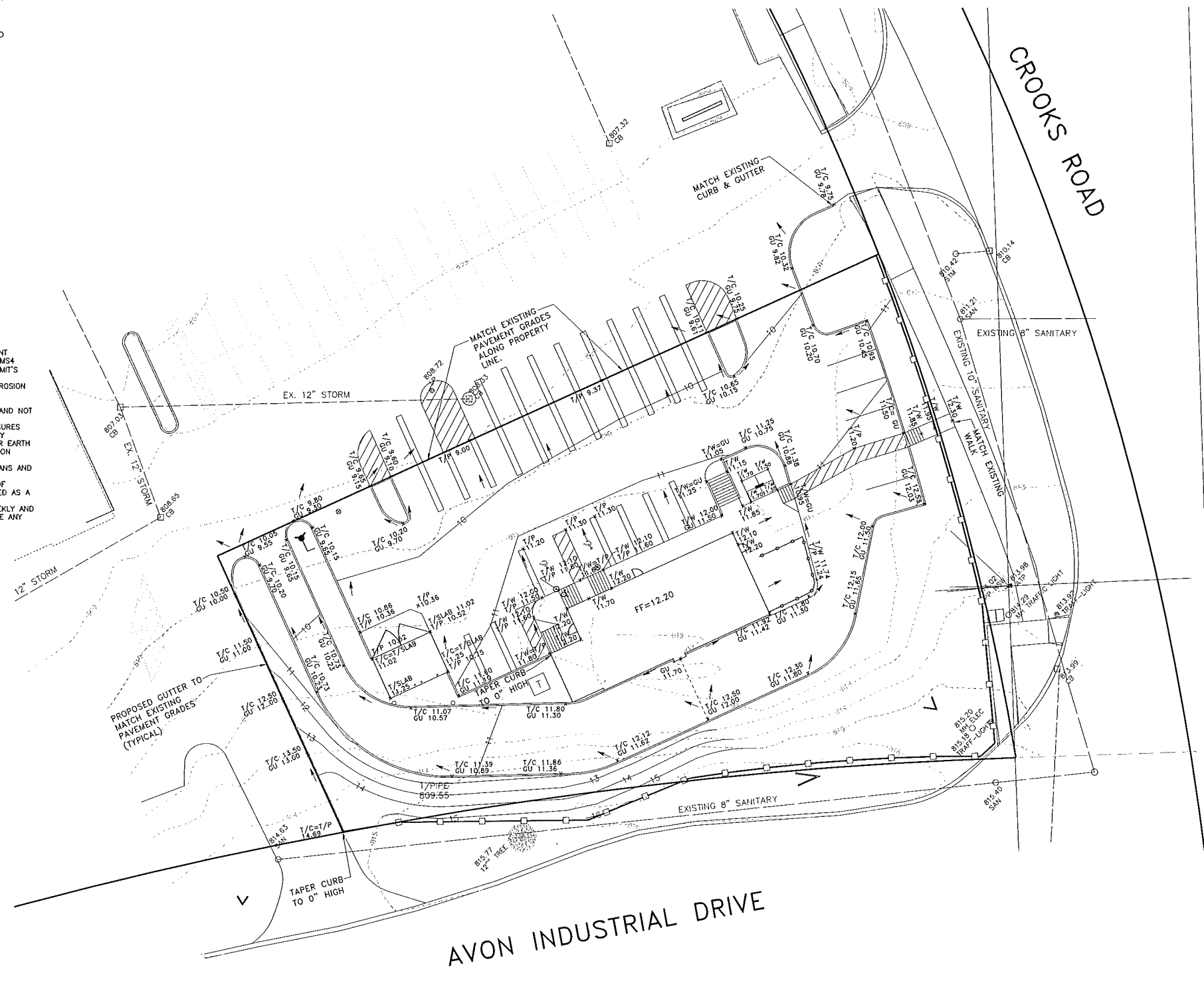
NOTE:
 THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AS DISCLOSED BY AVAILABLE UTILITY COMPANY RECORDS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE COMPANY. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF A CONFLICT IS APPARENT.

CONSTRUCTION AND SOIL EROSION WORK SCHEDULE:

1. PLACE SILT FENCE AROUND PROPOSED CONSTRUCTION AREA AS SHOWN ON THIS PLAN. INSTALL INLET FILTERS ON ALL EXISTING DRAINAGE STRUCTURES.
2. DEMOLISH EXISTING BUILDING AND PAVEMENT PER DEMOLITION PLAN AND DISPOSED OF MATERIAL OFFSITE IN AN APPROVED LANDFILL.
3. MASS GRADE BUILDING PAD AND PARKING AREA.
4. START BUILDING CONSTRUCTION.
5. INSTALL SANITARY, STORM AND WATERMAIN COMPLETE.
6. INSTALL CURB/GUTTER AND PAVEMENT. REPAIR OR REPLACE LOW POINT INLET FILTERS AS REQUIRED. SEED & MULCH ALL AREAS DISTURBED BY CONSTRUCTION.
7. COMPLETE BUILDING CONSTRUCTION AND FINAL LANDSCAPING.
8. RE-SEED AND MULCH ANY DISTURBED AREA AS NEEDED.
9. REMOVE TEMPORARY EROSION CONTROLS UPON STABILIZATION OF SITE.
10. IT SHALL BE THE DEVELOPER'S RESPONSIBILITY TO INSURE THAT ALL EROSION CONTROL DEVICES ARE MAINTAINED AS REQUIRED THROUGHOUT THE CONSTRUCTION AND THAT THE STREETS ARE KEPT FREE OF MUD AND CONSTRUCTION DEBRIS. THE ACCUMULATED SEDIMENT MUST BE REMOVED FROM THE SEDIMENT BASINS PERIODICALLY THROUGHOUT THE CONSTRUCTION OF THIS PROJECT.

CITY OF ROCHESTER HILLS SESC NOTES:

1. ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM TO STANDARDS AND SPECIFICATIONS OF THE OAKLAND COUNTY WATER RESOURCE COMMISSIONER.
2. ALL TEMPORARY AND PERMANENT (POST CONSTRUCTION) SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL CONFORM TO THE CITY OF ROCHESTER HILLS CURRENT MS4 PERMIT. ANY CONFLICT BETWEEN THESE STANDARDS AND THE MS4 PERMIT, THE PERMIT'S CONDITIONS SHALL TAKE PRECEDENCE.
3. DAILY INSPECTIONS SHALL BE MADE BY THE CONTRACTOR FOR EFFECTIVENESS OF EROSION AND SEDIMENTATION CONTROL MEASURES, AND ANY NECESSARY REPAIRS SHALL BE PERFORMED WITHOUT DELAY.
4. ANY SEDIMENTATION FROM WORK ON THIS SITE SHALL BE CONTAINED ON THE SITE AND NOT ALLOWED TO COLLECT ON ANY OFF-SITE AREAS OR IN WATERWAYS.
5. CONTRACTOR SHALL APPLY TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES WHEN REQUIRED AND AS DIRECTED ON THESE PLANS. HE SHALL REMOVE TEMPORARY MEASURES AS SOON AS PERMANENT STABILIZATION OF SLOPES, DITCHES, AND OTHER EARTH CHANGES HAVE BEEN ACCOMPLISHED. THIS WOULD INCLUDE TEMPORARY SEDIMENTATION PONDS AND TEMPORARY SOD FILTERS.
6. STAGING THE WORK WILL BE DONE BY THE CONTRACTOR AS DIRECTED IN THESE PLANS AND AS REQUIRED TO ENSURE PROGRESSIVE STABILIZATION OF DISTURBED EARTH.
7. SOIL EROSION CONTROL PRACTICES SHALL BE ESTABLISHED IN THE EARLY STAGES OF CONSTRUCTION BY THE CONTRACTOR. SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTING OF SILT OFF THE SITE.
8. THE CONTRACTOR SHALL, AT A MINIMUM, INSPECT ALL SOIL EROSION CONTROLS WEEKLY AND AFTER EACH STORM EVENT TO ENSURE THEIR EFFECTIVENESS AND IMMEDIATELY MAKE ANY NECESSARY REPAIRS TO THEM.



BENCHMARKS:

1. RAILROAD SPIKE IN POWER POLE LOCATED 90'± NORTHEAST OF NORTHEAST CORNER OF SHOPPING CENTER. ELEVATION 804.50 U.S.G.S.
2. CENTER OF SANITARY SEWER MANHOLE RIM IN CROOKS ROAD R.O.W. NEAR NORTHEAST CORNER OF SITE. ELEVATION 811.21 U.S.G.S.

LEGEND

| EXISTING | PROPOSED |
|------------------------|------------------------|
| ○ MANHOLE | ● MANHOLE |
| □ CATCH BASIN | ■ CATCH BASIN |
| ⊗ INLET | ⊗ INLET |
| ⊙ CLEANOUT | ⊙ CLEANOUT |
| △ END SECTION | △ END SECTION |
| ⬆ ROOF DRAIN | ⬆ ROOF DRAIN |
| ⊕ GATE VALVE | ⊕ GATE VALVE |
| ⊕ HYDRANT | ⊕ HYDRANT |
| ⊕ WATER SHUT-OFF | ⊕ WATER SHUT-OFF |
| ⊕ UTILITY POLE | ⊕ UTILITY POLE |
| ⊕ GUY ANCHOR | ⊕ GUY ANCHOR |
| ⊕ LIGHT POLE | ⊕ LIGHT POLE |
| ⊕ SIGN | ⊕ SIGN |
| ⊕ TREE | ⊕ TREE |
| — TREE LINE | — TREE LINE |
| — SANITARY SEWER | — SANITARY SEWER |
| — STORM SEWER | — STORM SEWER |
| — WATER MAIN | — WATER MAIN |
| — GAS MAIN | — GAS MAIN |
| — ELECTRIC CABLE | — ELECTRIC CABLE |
| — CONTOUR MAJOR | — CONTOUR MAJOR |
| — CONTOUR MINOR | — CONTOUR MINOR |
| +100.00 SPOT ELEVATION | +100.00 SPOT ELEVATION |
| | ● PROPOSED GRADE |
| | x 99.0 |
| | T/C = TOP OF CURB |
| | T/W = TOP OF WALK |
| | T/P = TOP OF PAVEMENT |
| | T/B = TOP OF BANK |
| | D = DITCH |
| | GU = GUTTER |
| | FG = FINISH GRADE |
| | FF = FINISH FLOOR |
| | BF = BASEMENT FLOOR |
| | BL = BRICK LEDGE |

EROSION CONTROL LEGEND:

- GEOTEXTILE SILT FENCE
- ⊙ PAVEMENT INLET FILTER

SEE SHEET TH09 FOR DETAILS.

NOTE:
 THIS PLAN ILLUSTRATES THE MINIMUM EROSION CONTROLS NEEDED TO PREVENT SILTS FROM LEAVING THE SITE AND IS SUBJECT TO CHANGE AS CONDITIONS IN THE FIELD WARRANT.

NOT FOR CONSTRUCTION
 CITY FILE NO. 13-024, SECTION 29

| REVISIONS | DATE | BY | REVISIONS | DATE | BY | REVISIONS | DATE | BY | REVISIONS | DATE | BY |
|-----------------|--------|-----|-----------|------|----|-----------|------|----|-----------|------|----|
| PER CITY REVIEW | 2/4/14 | SRB | | | | | | | | | |

ZEIMET WOZNIAK & ASSOCIATES
 Civil Engineers & Land Surveyors
 5560 GRAND RIVER AVE., SUITE 100
 NEW HUDSON, MICHIGAN 48163
 P: (248) 437-3099 F: (248) 437-5222 www.zeimetwozniak.com

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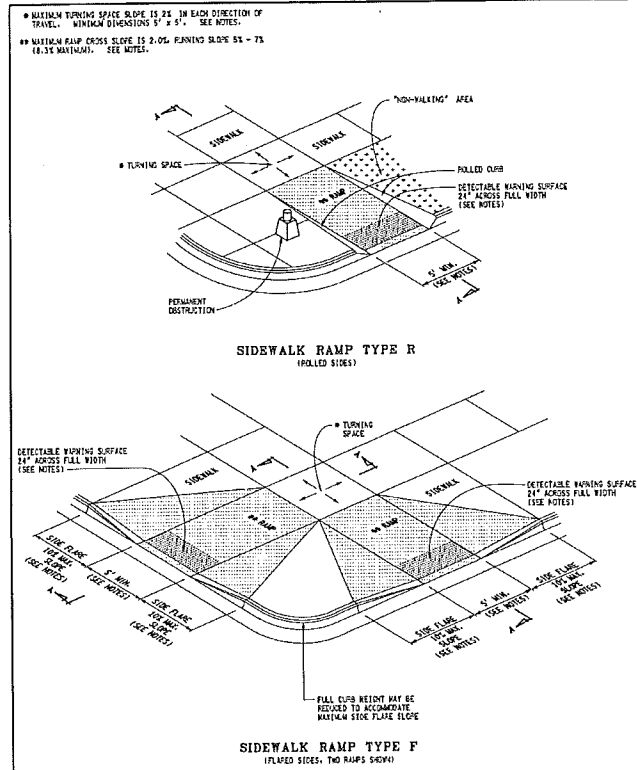
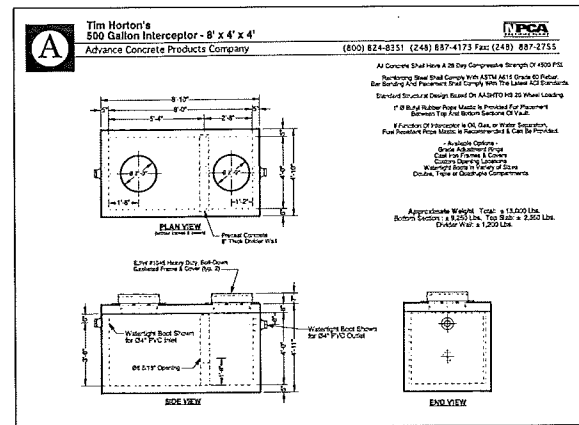
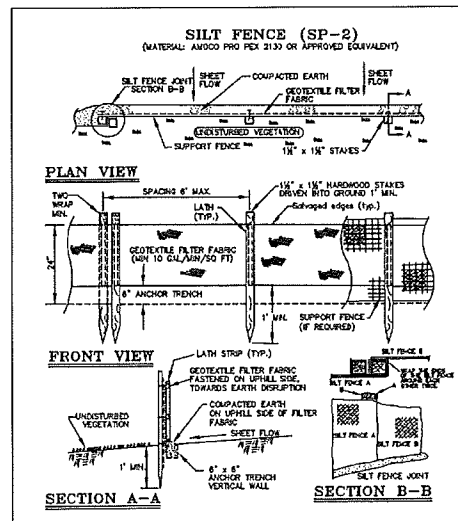
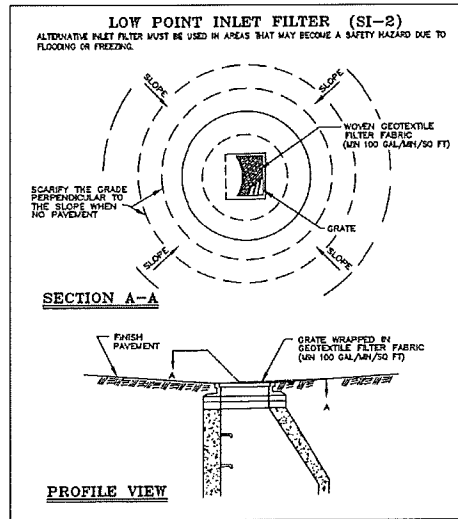
PROJECT SPONSOR:
 TIM DONUTS U.S. LIMITED, INC.
 565 EAST GRAND RIVER, SUITE 101
 BRIGHTON, MI 48116 (810) 844-2747

SOIL EROSION CONTROL PLAN
TIM HORTONS
 ROCHESTER HILLS, MICHIGAN

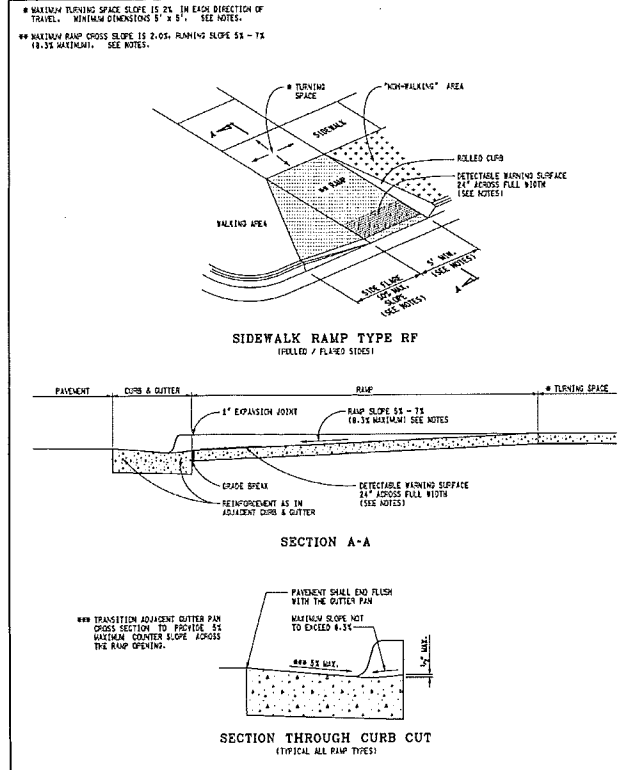
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| 12/13/13 | | | |
| DESIGNED BY SRB | JOB NO. 13160 | | |
| DRAWN BY SRB | SHEET TH08 | | |

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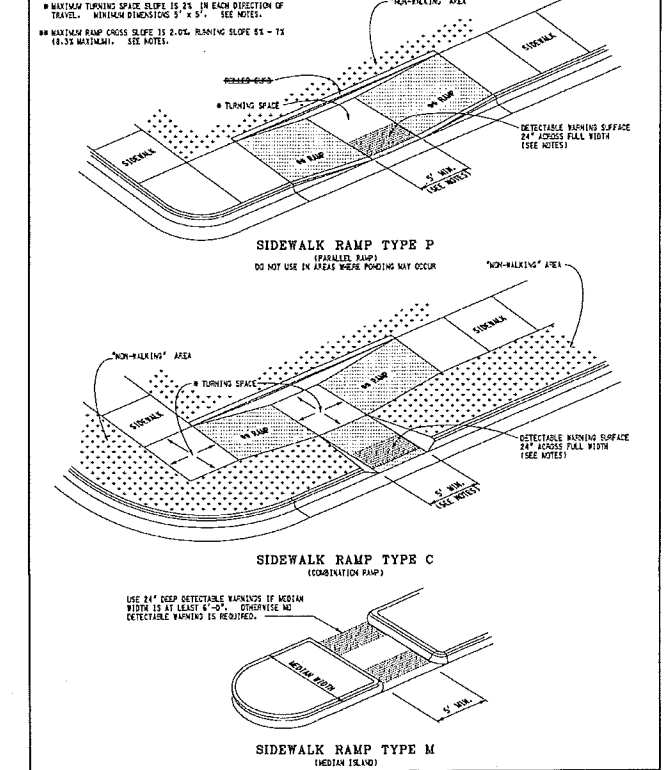
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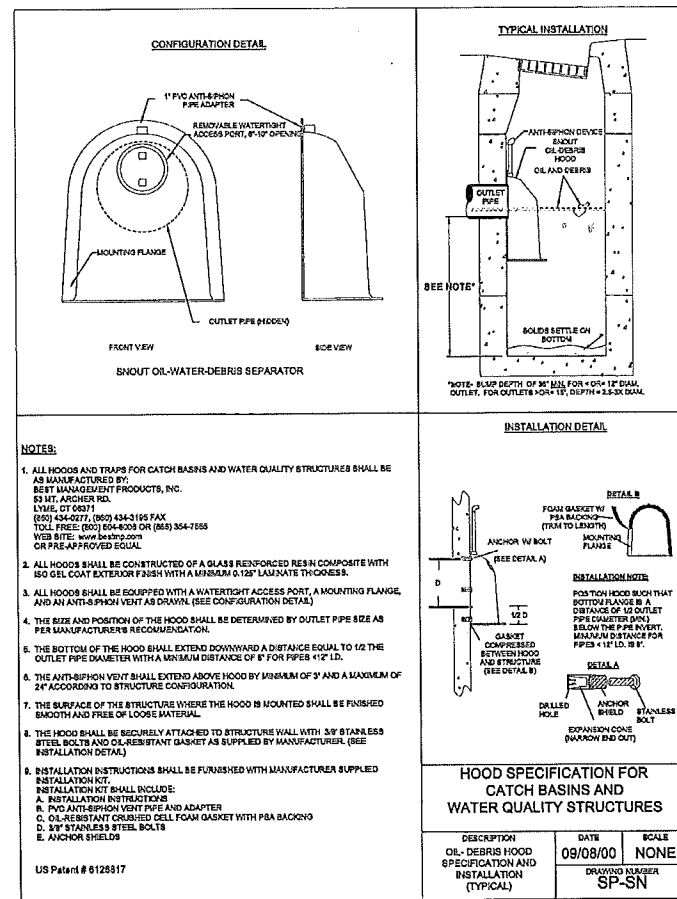
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|---|---|
| MICHIGAN DEPARTMENT OF TRANSPORTATION BUREAU OF HIGHWAY DEVELOPMENT STANDARD PLAN FOR SIDEWALK RAMP AND DETECTABLE WARNING DETAILS | |
| PREPARED BY: J.L.L. | APPROVED BY: <i>Rand V. Rupp</i> DIRECTOR (AREA OF FIELD SERVICES) |
| DESIGN DIVISION: J.L.L. | APPROVED BY: <i>Andrew M. Rupp</i> DIRECTOR, BUREAU OF HIGHWAY DEVELOPMENT |
| DESIGNED BY: J.L.L. | APPROVED BY: <i>Andrew M. Rupp</i> DIRECTOR, BUREAU OF HIGHWAY DEVELOPMENT |
| 1-15-2013 F.A.L.L. REVISION | 10-3-2012 PLAN DATE |
| R-28-H | SHEET 1 OF 1 |



| | |
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| R-28-H | SHEET 2 OF 1 |



| | |
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| 1-15-2013 F.A.L.L. REVISION | 10-3-2012 PLAN DATE |
| R-28-H | SHEET 3 OF 1 |



CONCEPTUAL SITE

M BIKE RACK SPECIFICATIONS

September, 2005

Product Description
Specifications are subject to change without notice.

Typical Applications:

- Educational Institutions
- Municipal Spaces
- Health Care Facilities
- Hotels
- Government Buildings
- Libraries
- Museums
- Restaurants/Lounges
- Hospitality

Bike Rack Materials: Steel or Stainless Steel

- 2" Pipe Schedule 40 (2.375" O.D.)
- Shown M5 (5 Bikes Unit)
- Surface Mount Plate with 4 Bolt holes

Dimensions:

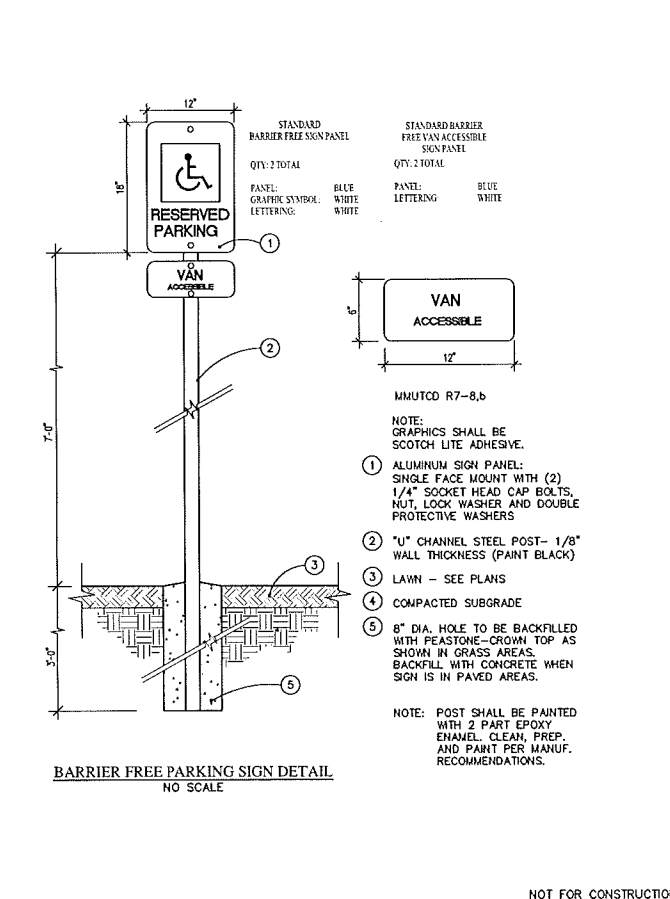
| | | |
|-----|----------|----------------|
| M5 | 5 Bikes | 35" H x 38" L |
| M7 | 7 Bikes | 35" H x 62" L |
| M9 | 9 Bikes | 35" H x 86" L |
| M11 | 11 Bikes | 35" H x 110" L |

Finishes: Finish on steel is with a superb protective powder coat process that includes a rust inhibitor, an architectural primer coat, and a thermosetting polyester powder coat that is UV and chip resistant.
Stainless Steel: Bead Blast or Powder Coat

Installation: Bike Rack is shipped assembled and ready for installation. No other hard wares are included.

Warranty: All of our products come with a THREE YEAR warranty from the date of invoice. Our STAINLESS STEEL products are warranted against defects in material or workmanship for a period of ten years. We are confident in what we do...our designs are practical, timeless and aesthetically pleasing. We assure you that our site furnishings will work for you and be free from material and/or workmanship defects. If you find a problem, Conceptual Site Furnishings, Inc. will, at its option, repair, replace or refund the purchase price of any products that found defective upon inspection by Conceptual Site Furnishings representative. This warranty does not apply to damage resulting from transit, accident, alteration, or misuse. This does not apply to damage from normal wear and tear such as nicks, dents, scratches, fading and improper maintenance.

900 47th Street, Suite B • Wyoming, MI 49509
P: 616.940.9630 • F: 616.940.9438
www.conceptualsite.com



NOT FOR CONSTRUCTION
CITY FILE NO. 13-024, SECTION 29

| REVISIONS | DATE | BY | REVISIONS | DATE | BY | REVISIONS | DATE | BY | REVISIONS | DATE | BY |
|-----------------|--------|-----|-----------|------|----|-----------|------|----|-----------|------|----|
| PER CITY REVIEW | 2/4/14 | SRB | | | | | | | | | |

ZEMET WOZNAK & ASSOCIATES
Civil Engineers & Land Surveyors
5500 GRAND RIVER AVE., SUITE 100
NEW HUDSON, MICHIGAN 48165
P: (248) 437-5099 F: (248) 437-5222 www.zemetwoznak.com

MISS DIG SYSTEM, INC.
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1-800-382-7171

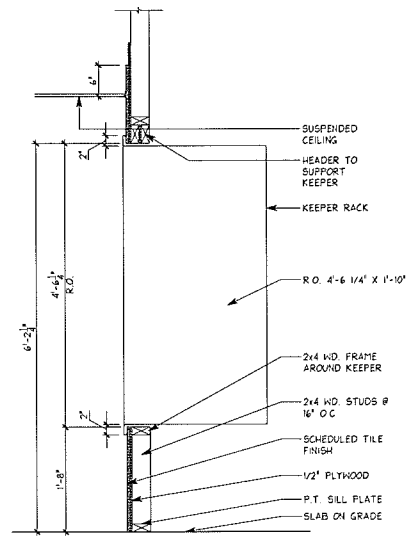
PROJECT SPONSOR:
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565 EAST GRAND RIVER, SUITE 101
BRIGHTON, MI 48116
(810) 844-2747

SITE DETAILS
TIM HORTONS
ROCHESTER HILLS, MICHIGAN

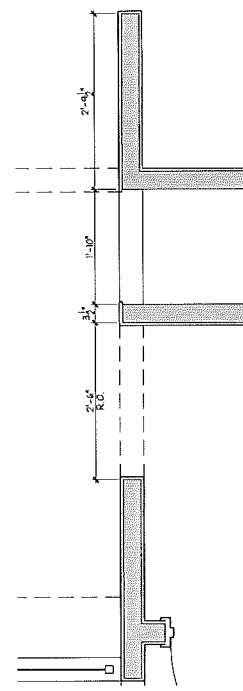
DATE: 12/13/13
SCALE: HOR: 1" = 1' / VER: 1" = N/A
DESIGNED BY: SRB
JOB NO.: 13160
DRAWN BY: SRB
SHEET: TH09

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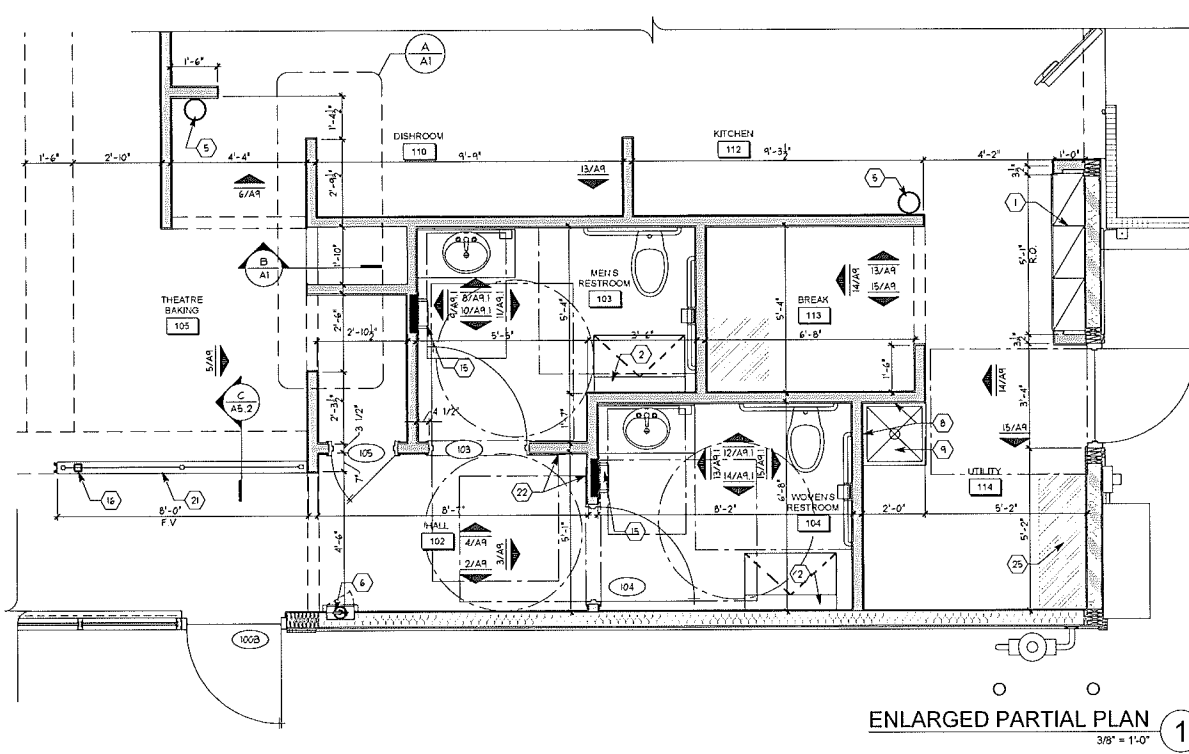
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SECTION THROUGH KEEPER UNIT (B)
3/4" = 1'-0"

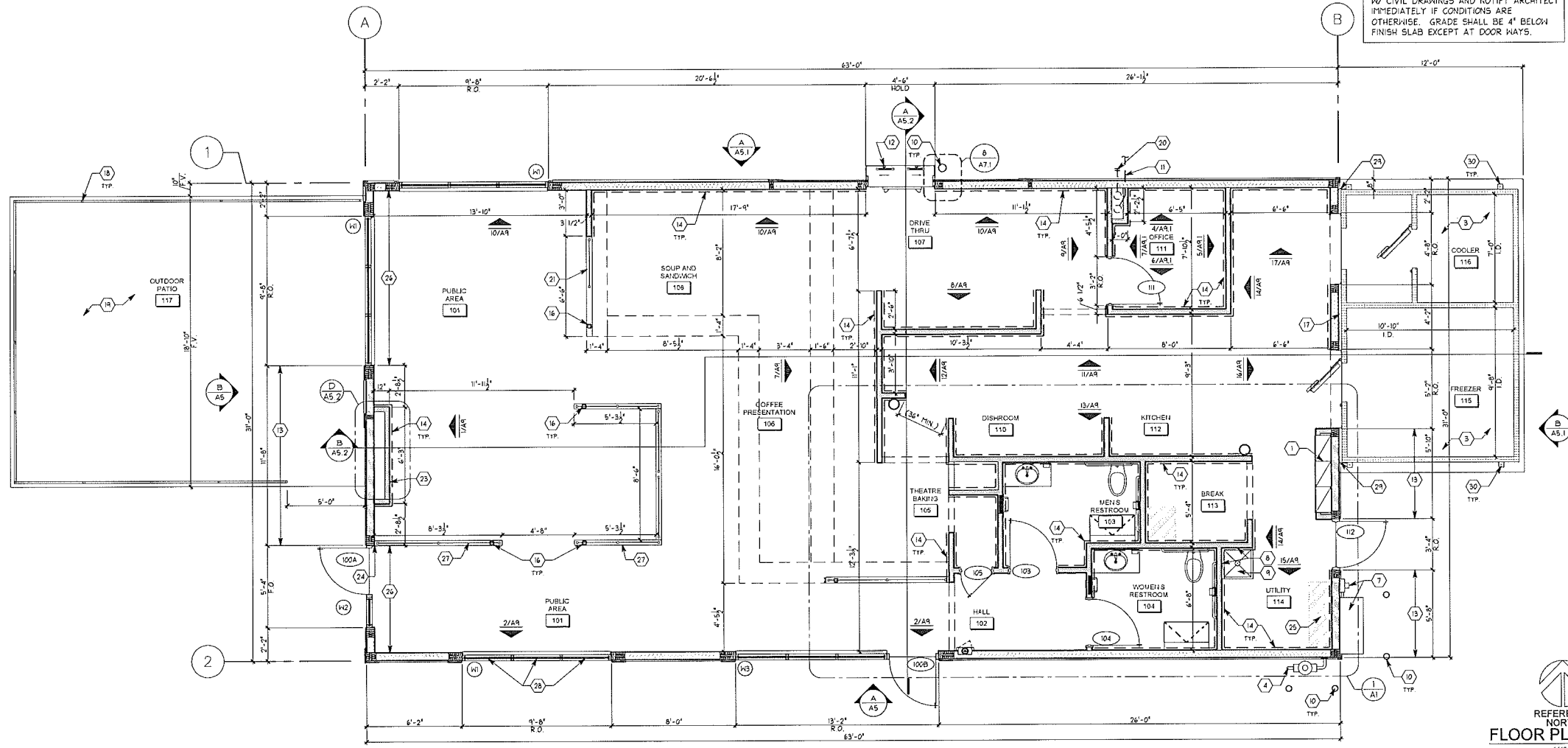


PLAN DETAIL (A)
3/4" = 1'-0"



ENLARGED PARTIAL PLAN (1)
3/8" = 1'-0"

NOTE: G.C. TO ENSURE THAT FINISHED GRADES WALKS & PAVED SURFACES SLOPE AWAY FROM THE BUILDING. COORDINATE W/ CIVIL DRAWINGS AND NOTIFY ARCHITECT IMMEDIATELY IF CONDITIONS ARE OTHERWISE. GRADE SHALL BE 4" BELOW FINISH SLAB EXCEPT AT DOORWAYS.



REFERENCE NORTH FLOOR PLAN
1/4" = 1'-0"

- GENERAL NOTES**
- ALL PARTITIONS NOT DIMENSIONED ARE 3 1/2" WOOD STUDS (3 1/2", 20GA METAL STUDS MAY BE USED).
 - SEE FINISH SCHEDULE/FLOOR COVERING SHEET FOR EXTENT OF FLOOR TILE.
 - EXTERIOR DIMENSIONS ARE FROM FACE OF SHEATHING TO FACE OF SHEATHING U.N.O.
 - INTERIOR DIMENSIONS ARE FROM FACE OF FRAMING TO FACE OF FRAMING U.N.O.
 - INTERIOR SOFFITS ARE SHOWN ON SHEET A3.
 - SEE SITE PLAN FOR LOCATIONS/EXTENT OF SIDEWALKS, ETC.
 - ALL INTERIOR PARTITIONS ARE NON-LOAD BEARING UNLESS NOTED OTHERWISE.
 - ALL EXTERIOR WALL SHALL BE 2x6 STUDS @ 16" O.C. SEE STRUCTURAL SHEETS & SPECIFICATIONS FOR LUMBER GRADE & SPECIES.
 - G.C. TO INSTALL QUARRY TILE BASE AT FRONT COUNTER AND LOW HALLS AFTER ITEMS ARE IN PLACE. SEE DETAIL T14B.
 - G.C. TO PROVIDE SOLID WOOD BLOCKING BEHIND ALL WALL MOUNTED FIXTURES AND ACCESSORIES AS REQUIRED.
- FLOOR PLAN CODED NOTES**
- PRE-MANUFACTURED ELECTRICAL SWITCHGEAR CABINET PROVIDED BY OWNER INSTALLED BY G.C. COORDINATE W/ T.D.L. REPRESENTATIVE.
 - BABY CHANGING STATION, G.C. TO PROVIDE ADDITIONAL BLOCKING IN WALL AS REQUIRED. SEE SHEET A2 FOR ADDITIONAL INFORMATION.
 - PRE-MANUFACTURED WALK-IN FREEZER/COOLER PROVIDED AND INSTALLED BY OWNER. FREEZER TO HAVE INSULATED FLOOR. G.C. TO PROVIDE TILE FLOOR COOLER AS INDICATED ON FINISH PLAN AND MAKE ALL UTILITY CONNECTIONS.
 - GAS METER. COORDINATE LOCATION W/ CIVIL DRAWING AND UTILITY COMPANY.
 - HALL MOUNTED FIRE EXTINGUISHER - VERIFY TYPE AND LOCATION.
 - G.C. TO PROVIDE AND INSTALL RECESSED FIRE EXTINGUISHER AND CABINET AS INDICATED ON SHEET A2 SEE SHEET A4 FOR MOUNTING HEIGHT.
 - CAT CABINET & ELECTRIC METER AT THIS LOCATION AS REQUIRED. COORDINATE WITH LOCAL UTILITIES.
 - HALLS AROUND POP SINK TO RECEIVE 1/2" CONCRETE BACKERBOARD IN LIEU OF NON-STRUCTURAL PLYWOOD FROM FLOOR TO 28" A.F.F. 1/2" OSB FROM 28" A.F.F. TO 4" ABOVE CEILING.
 - RECESSED STAINLESS STEEL POP SINK PROVIDED & INSTALLED BY G.C. SEE PLUMBING SHEETS.
 - 6" CONCRETE FILLED STEEL PIPE BOLLARD W/ PAINTING BOLLARD COVER PROVIDED & INSTALLED BY G.C. SEE DETAILS 74/502 FOR PROPER INSTALLATION.
 - 4" PVC PRIMARY ROOF DRAIN DOWN IN WALL, PENETRATE SLAB & INCREASE SIZE PER PLUMBING & EXTEND TO STORM!
 - AUTOMATIC SHARING DRIVE THRU WINDOW FURNISHED BY G.C. INSTALLED BY G.C. DO NOT INSTALL PICK UP WINDOW UNIT. KITCHEN EQUIPMENT HAS BEEN RECEIVED & IN STORE. COORDINATE W/ T.D.L. CONSTRUCTION MANAGER.
 - SHEAR WALL LOCATION. SEE STRUCTURAL.
 - DASHED LINE INDICATES PLYWOOD SHEATHING OVER WOOD STUDS. USE 1/2" PLYWOOD FROM FLOOR TO 12" A.F.F. USE 1/2" COX PLYWOOD FROM 12" A.F.F. TO 6" ABOVE LAY-IN CEILING OR UNDERNEATH OF PARTIAL WALL CEILING. PROVIDE ADDITIONAL LAYER OF 1/2" MOISTURE RESISTANT GYPSUM HALBOARD FOR WALLS RECEIVING TILE FINISH. DO NOT USE GYPSUM HALBOARD ON WALLS RECEIVING POP FINISH & TILE BASE.
 - ELECTRIC HAND DRYER W/ ADA COMPLIANT RECESSED MOUNTING KIT SEE SHEET A2.
 - STEEL POST IN HALL FOR LATERAL STABILITY PER CODE PROVIDED & INSTALLED BY S.F.C. G.C. TO PROVIDE THICKENED CONCRETE SLAB AT POST LOCATIONS. SEE SHEET S1. S.F.C. TO CORE DRILL SLAB AND GROUT POST AFTER WALLS HAVE BEEN DELIVERED TO SITE. SEE DETAIL W45.
 - PROVIDE MIN 2" AIR SPACE BETWEEN FREEZER / COOLER AND FACE OF WALL.
 - METAL RAILING PROVIDED & INSTALLED BY G.C. RAILING TO BE MANUFACTURED WITH COMMERCIAL GRADE MATERIALS. TOP CAP, 2" DIAMETRAL CAP HORIZONTALS; 1/2" x 1/4" CHANNEL VERTICALS; 5/8" SOLID (ROUND OR SQUARE) POSTS; 1 1/4" SQUARE SOLID. (SEE DETAIL W45.1)
 - CONCRETE SLAB FOR OUTDOOR PATIO PER CIVIL DRAWING.
 - 4" DIAMETER P.V.C. SECONDARY STORM DRAIN FROM ROOF. EXTEND DOWN AND EXIT THRU WALL @ 12" A.F.F. PROVIDE FURNISH DOWNSPOUT NOZZLE OR EQUAL.
 - PARTIAL HEIGHT WALL W/ TEMPERED GLASS GUARDS PROVIDED AND INSTALLED BY S.F.C. SEE DETAIL C/A5.2.
 - A.D.A. COMPLIANT RESTROOM SIGNAGE. SEE SHEET A9.
 - RECESSED FIREPLACE CENTERED HORIZONTALLY ON WALL. SEE SHEET A2 & INTERIOR ELEVATIONS FOR INFORMATION REGARDING MANUFACTURER & MOUNTING HEIGHTS.
 - PROVIDE SOLID WOOD BLOCKING IN WALL FOR ATTACHMENT OF LOW HALL BY S.F.C.
 - SHADED AREA INDICATES AREA RESERVED FOR INSTALLATION OF BACKFLOW PREVENTER & METER.
 - EXTEND PLYWOOD/OSB SHEATHING AS REQUIRED TO PROVIDE UNIFORM WALL THICKNESS BEHIND FINISHES. SEE SHEAR WALL REQUIREMENTS ON SHEET S2.
 - MILLWORK PARTITION FURNISHED AND INSTALLED BY S.F.C.
 - G.C. TO PROVIDE AND INSTALL 3M FASARA WINDOW FILM; "MILKY" OPAQUE FILM FROM TOP OF HORIZONTAL WINDOW PULLION TO TOP OF MILLWORK COUNTER.
 - FLASHING BETWEEN BUILDING & WALK-IN UNIT BY FREEZER/COOLER.
 - HOLD DOWNS FURNISHED BY WALK-IN MANUFACTURER PER CODE. G.C. TO DRILL & INSTALL ANCHOR BOLTS AFTER WALK IN UNIT HAS BEEN PLACED.

- SYMBOL LEGEND**
- (2) - DETAIL NUMBER
 - (A3) - DRAWING NUMBER
 - HALL 101 - DENOTES ROOM NAME AND NUMBER
 - 8/A9 - INTERIOR ELEVATION NUMBERS DRAWINGS ARE 4 A9.1
 - (W) - WINDOW NUMBER
 - (101) - DOOR NUMBER
 - (1) - CODE NOTE
 - - SHEAR WALL
 - - INTERIOR PARTITION
 - - STUD WALL W/ INSULATION
 - - FRAMING DIMENSION
 - - FINISH DIMENSION
 - (1 A5.2) - BUILDING SECTION
 - (1 A6) - WALL SECTION
- *** NOTE: ALL FINISHED GRADES, WALKS & PAVED SURFACES SHALL BE SLOPED TO DRAIN AWAY FROM BUILDING. COORDINATE W/ CIVIL DRAWINGS. CONTACT ARCHITECT IMMEDIATELY IF FIELD CONDITIONS DIFFER OR OTHERWISE CONFLICT WITH THE DESIGN DOCUMENTS.

| REVISION/UPLOAD DATE | | |
|----------------------|----------|----------------|
| REV | DATE | DESCRIPTION |
| RFP#1 | 03/04/13 | GENERIC UPLOAD |
| RFP#5 | 09/26/13 | GENERIC UPLOAD |

| LAST DESIGN BULLETIN | | |
|----------------------|----------|------------------|
| NUM | DATE | DESCRIPTION |
| 353-13 | 09/12/13 | DRIVE THRU ORDER |

DATE ISSUED: 09/26/2013

SHREMSHOCK

Shremshock Architects, Inc.
1030 S. Sunbury Rd., Westerville, OH 43081
T: 614-445-4500 | F: 614-445-4555
www.shremshock.com

Tim Hortons
MODEL 1950-13 (U.S.)

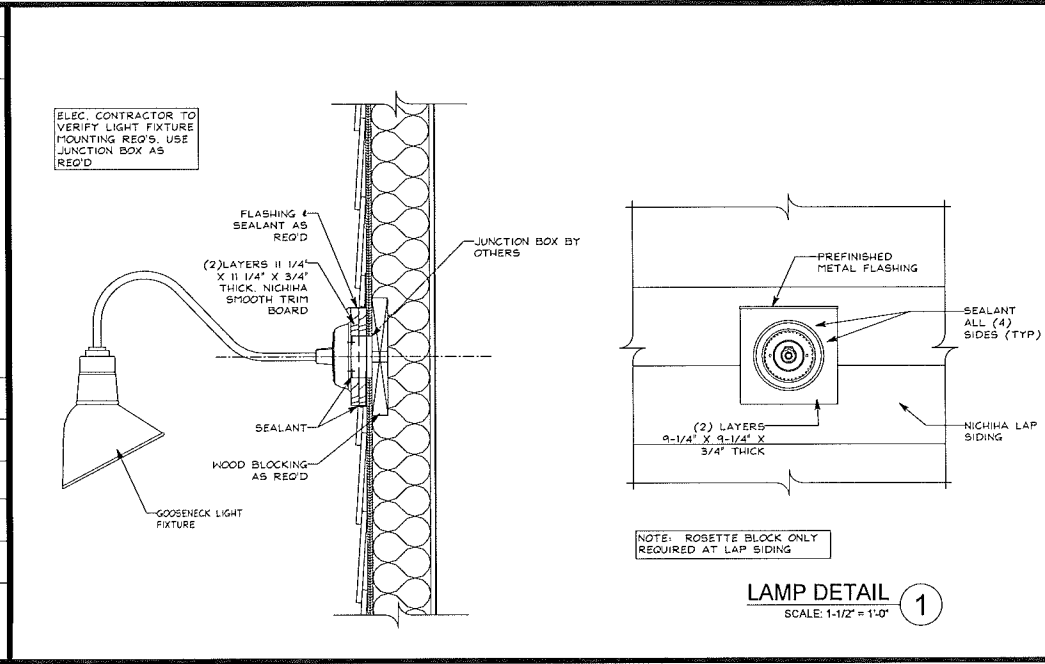
TDL STORE NO.

FLOOR PLAN

DESIGN DEVELOPMENT NOT FOR CONSTRUCTION

SAI # 130000
DRAWING NUMBER: **A1**

| EXTERIOR FINISH SCHEDULE | | | | | |
|--------------------------|-----------------------------|------------------------------|---|--|---|
| TAG | PRODUCT | MFG. | PATTERN & COLOR | COMMENTS | SUPPLIER/CONTACT |
| FC-1 | LAP SIDING | NICHHA FIBER CEMENT PRODUCTS | SIERRA PREMIUM 5"X10" 8-3/4" LAP SIDING PRE-PRIMED G.C. TO PAINT IN FIELD. | | NICHHA CONTACT: MICHAEL RUSSO (770)305-9468, 1-866-424-4471, EMAIL: MRUSSO@NICHHA.COM |
| FC-2 | ARCHITECTURAL BLOCK | NICHHA FIBER CEMENT PRODUCTS | ARCHITECTURAL BLOCK PANELS, SIERRA PREMIUM 5"X10" 8-3/4" PRE-PRIMED G.C. TO PAINT IN FIELD. | | |
| FC-3 | VERSETTA STONE | BORAL STONE PRODUCTS | VERSETTA STONE WALL PANELS. COLOR: TERRA ROSA | | |
| FC-4 | TRIM | NICHHA FIBER CEMENT PRODUCTS | 1 1/4" X 3/4" SMOOTH TRIM BOARDS PRE-PRIMED G.C. TO PAINT IN FIELD | | |
| FC-5 | TRIM | NICHHA FIBER CEMENT PRODUCTS | 3 1/2" X 3/4" SMOOTH TRIM BOARDS PRE-PRIMED G.C. TO PAINT IN FIELD | | |
| FC-6 | VERSETTA STONE HAINSCOT CAP | BORAL STONE PRODUCTS | VERSETTA STONE HAINSCOT SILL COLOR: TERRA ROSA | INCLUDE IN NICHHA PACKAGE | |
| EP-1 | PAINT | NICHHA FIBER CEMENT PRODUCTS | COLOR: TDL 5N4069 FRENCH ROAST | SEALANT: TITEBOND WEATHER MASTER SEALANT COLOR: 442H | |
| EP-2 | PAINT | NICHHA FIBER CEMENT PRODUCTS | COLOR: TDL 5N4109 LATTE | SEALANT: TITEBOND WEATHER MASTER SEALANT COLOR: 464H | |
| EP-3 | PAINT | NICHHA FIBER CEMENT PRODUCTS | COLOR: TDL 5N4062 RUGGED BROWN | SEALANT: TITEBOND WEATHER MASTER SEALANT COLOR: 498H | |
| EP-4 | PAINT | NICHHA FIBER CEMENT PRODUCTS | COLOR: TDL 5N4990 CAVIAR | | |
| CR-1 | CORNICE | CANAPOULD | CANAPOULD CORNICE #N5008 | | |
| MC-1 | METAL COPING | DURO-LAST | CUSTOM PREFINISHED METAL COPING KYNAR COLOR TO MATCH 5N4990 CAVIAR | | DURO-LAST CONTACT STEVE RUTH 1-800-248-0280 |
| MC-2 | ROOF EDGE | DURO-LAST | 2 PIECE COMPRESSION EDGE W/ 4" HIGH PREFINISHED METAL COVER, KYNAR COLOR TO MATCH 5N4990 CAVIAR | | |



- GENERAL NOTES**
- SEALANT AROUND DOOR/WINDOW FRAMES COLOR TO MATCH ADJACENT MATERIAL.
 - ALL EXTERIOR FIBER CEMENT SHALL BE PREFINISHED/PRIMED BY THE MANUFACTURER WHEREVER POSSIBLE.
 - ALL SEALANTS USED SHALL BE COLOR MATCHED TO THE ADJACENT MATERIAL OR AS LISTED.

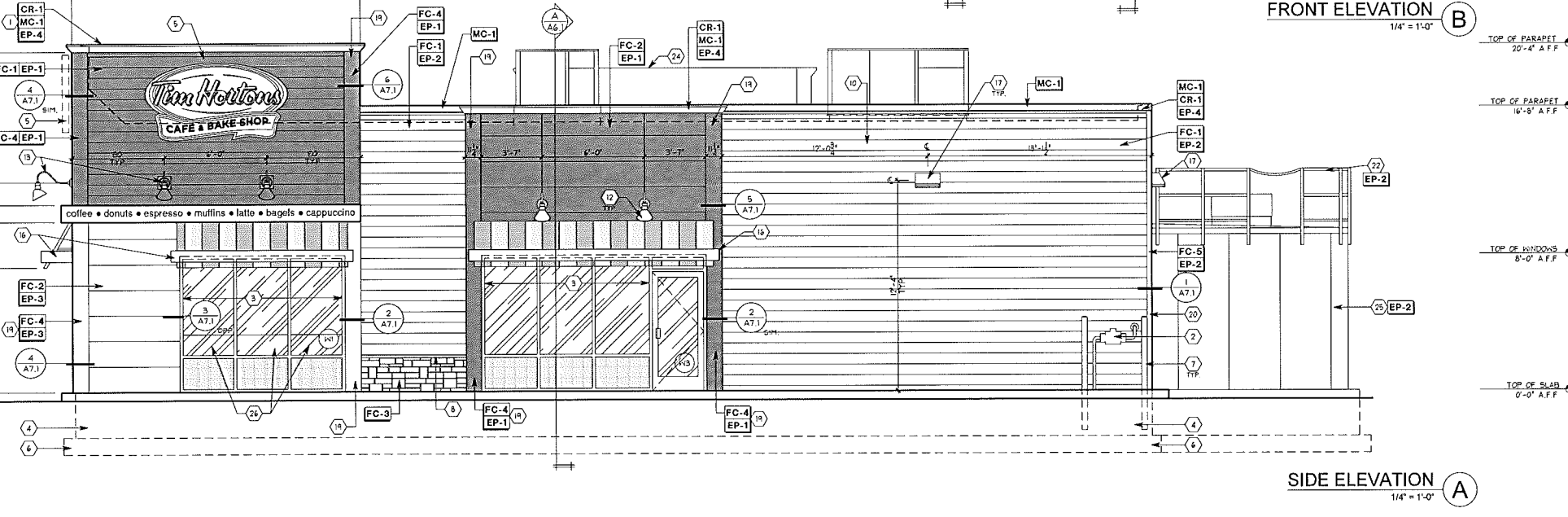
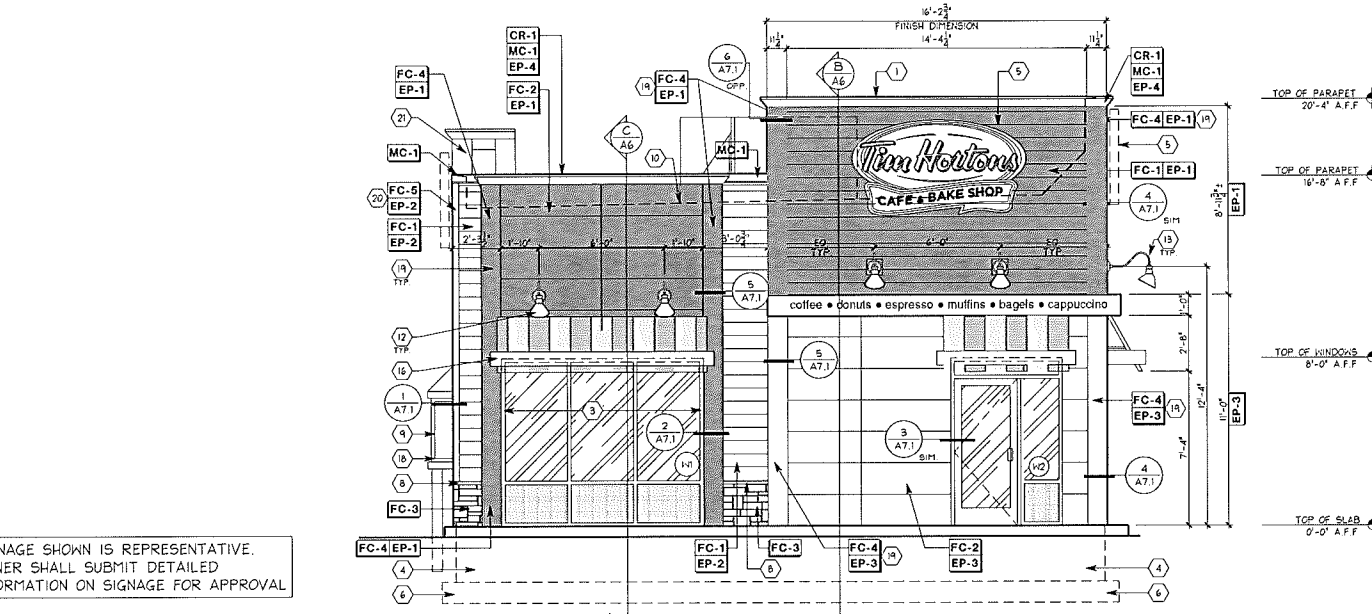
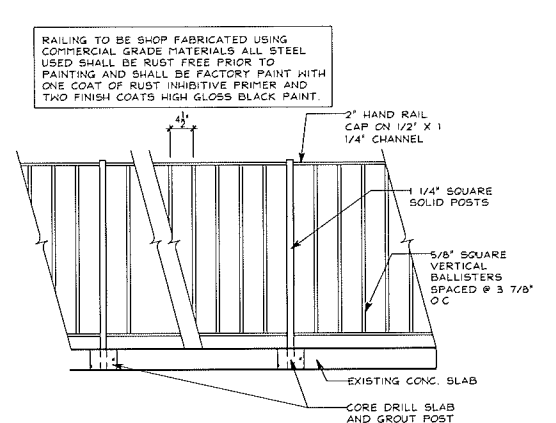
- EXTERIOR ELEVATION KEYED NOTES:**
- PREFINISHED METAL COPING W/ DRIP EDGE
 - GAS METER. VERIFY EXACT LOCATION W/ UTILITY COMPANY, CIVIL DRAWINGS AND TDL REPRESENTATIVE.
 - CLEAR ANODIZED ALUMINUM STOREFRONT W/ INSULATED FLASHING. SEE WINDOW SCHEDULE ON SHEET AN AND EXTERIOR FINISH SCHEDULE ON SHEET AS.
 - FOUNDATION. (SEE STRUCTURAL)
 - INTERNALLY ILLUMINATED BUILDING SIGNAGE PROVIDED AND INSTALLED BY TDL. G.C. TO PROVIDE ALL REQUIRED BLOCKING AND FINAL ELECTRICAL CONNECTION. SIGN MANUFACTURER SHALL OBTAIN SIGNAGE PERMITS FROM THE CITY BASED ON LOCAL REQUIREMENTS. G.C. SHALL VERIFY ACTUAL LOCATION AND SIZE OF SIGNS WITH SIGN MANUFACTURER. APPROVED DRAWINGS AND COORDINATE LOCATIONS FOR BLOCKING AND UTILITIES.
 - CONTINUOUS CONCRETE FOOTING. (SEE STRUCTURAL)
 - PROVIDE & INSTALL 4" DIA. CONCRETE FALLED STEEL PIPE BOLLARDS AROUND GAS METER AND CT CABINET PER LOCAL CODES & UTILITY COMPANY REQUIREMENTS. PAINT BOLLARDS COLOR: TBL.
 - PRECAST STONE SILL. SEE FINISH SCHEDULE.
 - AUTOMATIC BIPARTING DRIVE THRU WINDOW FURNISHED BY TDL AND INSTALLED BY G.C. VERIFY MANUFACTURER & DELIVERY W/ TDL REPRESENTATIVE.
 - LINE OF ROOF BEHIND.
 - DISCHARGE LOCATION FOR SECONDARY ROOF DRAINAGE. PROVIDE ZURN I-199 DOWNSPOUT NOZZLE # 12" A.F.F. PER CODE.
 - GOOSENECK LIGHT FIXTURE ABOVE AWNINGS MOUNT J-BOX @ 11'-0" A.F.F.
 - GOOSENECK LIGHT FIXTURES ABOVE SIGNAGE BAND MOUNT J-BOX @ 12'-4" A.F.F.
 - HOLLOW METAL DOOR & FRAME. PAINT: PAINT REAR DOOR AND FRAME EP-2.
 - C/T CABINET AND METER AS REQ'D. VERIFY WITH LOCAL ELECTRICAL COMPANY.
 - FABRIC AWNING AND SUPPORT STRUCTURE PROVIDED AND INSTALLED BY OWNER. COLOR & SIGNAGE T.B.D. G.C. TO PROVIDE BLOCKING IN WALL AS REQUIRED.
 - GENERAL PURPOSE LIGHT FIXTURE AS SPECIFIED ON SHEET E1 MOUNT FIXTURE @ 12'-4" A.F.F.
 - G.C. TO PROVIDE & INSTALL 4" DIA. CONC. FILLED PIPE BOLLARD @ DRIVE-THRU WINDOW. SEE PLACEMENT DETAIL ON SHEET SD-1.
 - (2) LAYERS 1/4" X 3/4" THICK NICHHA SMOOTH TRIM BOARD. SEE DETAIL 2/A1.1.
 - PROVIDE NICHHA TRIM AT PARAPET END. COLOR TO MATCH ADJACENT TRIM.
 - GUARD RAIL BY FREEZER/COOLER MANUFACTURER AS REQUIRED BY CODE. PAINT EP-2
 - FLASHING BETWEEN BUILDING & WALK IN COOLER/FREEZER BY FREEZER/COOLER MFG. G.C. TO PROVIDE PREFINISHED METAL COUNTER FLASHING AS REQUIRED. COORDINATE W/ TDL REPRESENTATIVE.
 - LINE OF PARAPET BEYOND.
 - PRE-MANUFACTURED WALK-IN FREEZER/COOLER, BY FREEZER/COOLER MANUFACTURER.
 - G.C. TO PROVIDE AND INSTALL 3M FASARA OPAQUE WINDOW FILM COLOR 'MILKY MILKY' TO WINDOW BELOW BAR COUNTER SEE INTERIOR ELEVATIONS.

| REVISION/UPLOAD DATE | | |
|----------------------|----------|----------------|
| REV | DATE | DESCRIPTION |
| RFF#1 | 03/04/13 | GENERIC UPLOAD |
| RFF#5 | 09/26/13 | GENERIC UPLOAD |

| LAST DESIGN BULLETIN | | |
|----------------------|----------|------------------|
| NUM | DATE | DESCRIPTION |
| 453-13 | 09/12/13 | DRIVE THRU ORDER |

DATE ISSUED: 09/26/2013

SHREMSHOCK
 Shremshock Architects, Inc. 4081
 State St. Shawnee, MO 64751
 T: 614.545.4550 | F: 614.545.4555
 www.shremshock.com



- SYMBOL LEGEND**
- ELEVATION REFERENCE
 - WALL / BUILDING SECTION REFERENCE
 - NOTE REFERENCE. SEE EXTERIOR ELEVATION CODED NOTES
 - WINDOW NUMBER REFER TO SCHEDULES ON DRAWING A1.

Tim Hortons
 MODEL 1950-13 (U.S.)

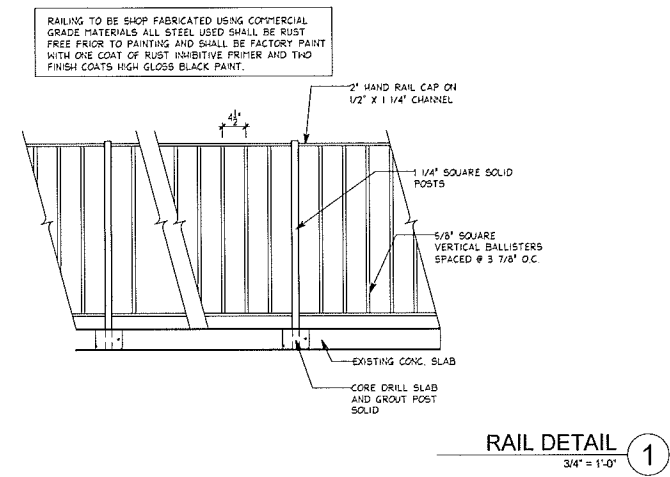
EXTERIOR ELEVATIONS

DESIGN DEVELOPMENT NOT FOR CONSTRUCTION

SAI # 130000
 DRAWING NUMBER: **A5**

Plot Date: 09/26/2013 3:23 PM Plotted by: dmsayeg Filename: 130000_A5.DWG

| EXTERIOR FINISH SCHEDULE | | | | | |
|--------------------------|-----------------------------|------------------------------|--|--|---|
| TAG | PRODUCT | MFG. | PATTERN & COLOR | COMMENTS | SUPPLIER/CONTACT |
| FC-1 | LAP SIDING | NICHHA FIBER CEMENT PRODUCTS | SIERRA PREMIUM SMOOTH 8-3/4" LAP SIDING PRE-PRIMED G.C. TO PAINT IN FIELD. | | NICHHA CONTACT: MICHAEL RUSSO (770)305-9466, 1-866-424-4421, EMAIL: MRUSSO@NICHHA.COM |
| FC-2 | ARCHITECTURAL BLOCK | NICHHA FIBER CEMENT PRODUCTS | ARCHITECTURAL BLOCK PANELS, SIERRA PREMIUM SMOOTH 8-3/4" PRE-PRIMED G.C. TO PAINT IN FIELD. | | |
| FC-3 | VERSETTA STONE | BORAL STONE PRODUCTS | VERSETTA STONE WALL PANELS. COLOR: TERRA ROSA | | |
| FC-4 | TRIM | NICHHA FIBER CEMENT PRODUCTS | 1 1/4" X 3/4" SMOOTH TRIM BOARDS PRE-PRIMED G.C. TO PAINT IN FIELD. | | |
| FC-5 | TRIM | NICHHA FIBER CEMENT PRODUCTS | 3 1/2" X 3/4" SMOOTH TRIM BOARDS PRE-PRIMED G.C. TO PAINT IN FIELD. | | |
| FC-6 | VERSETTA STONE HAINSCOT CAP | BORAL STONE PRODUCTS | VERSETTA STONE HAINSCOT SILL. COLOR: TERRA ROSA | INCLUDE IN NICHHA PACKAGE | |
| EP-1 | PAINT | NICHHA FIBER CEMENT PRODUCTS | COLOR: TDL SW2009 FRENCH ROAST | SEALANT: TITEBOND WEATHER MASTER SEALANT COLOR: 4421 | |
| EP-2 | PAINT | NICHHA FIBER CEMENT PRODUCTS | COLOR: TDL SW400 LATTE | SEALANT: TITEBOND WEATHER MASTER SEALANT COLOR: 4443 | |
| EP-3 | PAINT | NICHHA FIBER CEMENT PRODUCTS | COLOR: TDL SW202 RUGGED BROWN | SEALANT: TITEBOND WEATHER MASTER SEALANT COLOR: 4281 | |
| EP-4 | PAINT | NICHHA FIBER CEMENT PRODUCTS | COLOR: TDL SW890 CAVIAR | | |
| CR-1 | CORNICE | CANAMOULD | CANAMOULD CORNICE #HS008 | | |
| MC-1 | METAL COPING | DURO-LAST | 2-PIECE COMPRESSION EDGE W/ 4" HIGH PREFINISHED METAL COVER, KITHAR COLOR MATTE BLACK FINISH | INCLUDED IN ROOFING PACKAGE | DURO-LAST CONTACT: STEVE RUTH (800) 748-0280 |

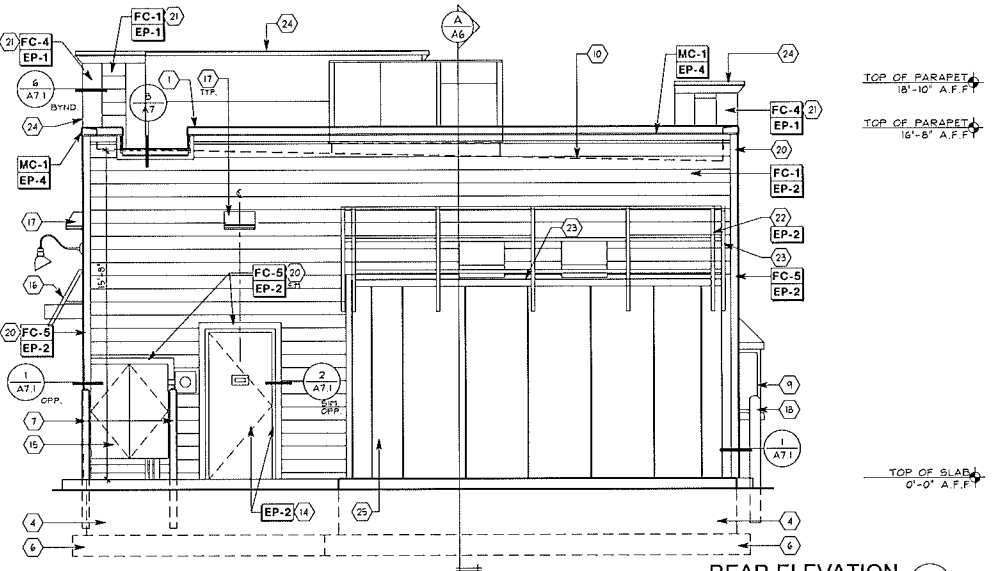


- GENERAL NOTES**
- SEALANT AROUND DOOR/WINDOW FRAMES. COLOR TO MATCH ADJACENT MATERIAL.
 - ALL EXTERIOR FIBER CEMENT SHALL BE PREFINISHED/PRIMED BY THE MANUFACTURER WHEREVER POSSIBLE.
 - ALL SEALANTS USED SHALL BE COLOR MATCHED TO THE ADJACENT MATERIAL OR AS LISTED.
- EXTERIOR ELEVATION KEYED NOTES:** (#)
- PREFINISHED METAL COPING W/ DRIP EDGE.
 - GAS METER. VERIFY EXACT LOCATION W/ UTILITY COMPANY, CIVIL DRAWINGS AND TDL REPRESENTATIVE.
 - CLEAR ANODIZED ALUMINUM STOREFRONT W/ INSULATED GLAZING. SEE WINDOW SCHEDULE ON SHEET A11 AND EXTERIOR FINISH SCHEDULE ON SHEET A5.
 - FOUNDATION. (SEE STRUCTURAL.)
 - INTERNALLY ILLUMINATED BUILDING SIGNAGE PROVIDED AND INSTALLED BY TDL. G.C. TO PROVIDE ALL REQUIRED BLOCKING AND FINAL ELECTRICAL CONNECTION. SIGN MANUFACTURER SHALL OBTAIN SIGNAGE PERMITS FROM THE CITY BASED ON LOCAL REQUIREMENTS. G.C. SHALL VERIFY ACTUAL LOCATION AND SIZE OF SIGNS WITH SIGN MANUFACTURER. APPROVED DRAWINGS AND COORDINATE LOCATIONS FOR BLOCKING AND UTILITIES.
 - CONTINUOUS CONCRETE FOOTING. (SEE STRUCTURAL.)
 - PROVIDE & INSTALL 4" DIA. CONCRETE FILLED STEEL PIPE BOLLARDS AROUND GAS METER AND CT CABINET PER LOCAL CODES & UTILITY COMPANY REQUIREMENTS. PAINT BOLLARDS COLOR: TBD.
 - PRECAST STONE SILL. SEE FINISH SCHEDULE.
 - AUTOMATIC BIPARTING DRIVE THRU WINDOW FURNISHED BY TDL AND INSTALLED BY G.C. VERIFY MANUFACTURER & DELIVERY W/ TDL REPRESENTATIVE.
 - LINE OF ROOF BEHIND.
 - DISCHARGE LOCATION FOR SECONDARY ROOF DRAINAGE. PROVIDE TURN 2-1/8" DOWNSPOUT NOZZLE @ 12" A.F.F. PER CODE.
 - GOOSENECK LIGHT FIXTURE ABOVE AWNINGS MOUNT J-BOX @ 11'-0" A.F.F.
 - GOOSENECK LIGHT FIXTURES ABOVE SIGNAGE BAND MOUNT J-BOX @ 12'-4" A.F.F.
 - HOLLOW METAL DOOR & FRAME. PAINT: PAINT REAR DOOR AND FRAME EP-2.
 - C/T CABINET AND METER AS REQ'D. VERIFY WITH LOCAL ELECTRICAL COMPANY.
 - FABRIC AWNING AND SUPPORT STRUCTURE PROVIDED AND INSTALLED BY OWNER. COLOR & SIGNAGE T.B.D. G.C. TO PROVIDE BLOCKING IN WALL AS REQUIRED.
 - GENERAL PURPOSE LIGHT FIXTURE AS SPECIFIED ON SHEET E1 MOUNT FIXTURE @ 12'-4" A.F.F.
 - G.C. TO PROVIDE & INSTALL 6" DIA. CONC. FILLED PIPE BOLLARD @ DRIVE-THRU WINDOW. SEE PLACEMENT DETAIL ON SHEET SD-19.
 - (2) LAYERS 1/4" X 3/4" THICK NICHHA SMOOTH TRIM BOARD. SEE DETAILS ON A71.
 - (2) LAYERS 3/4" X 3 1/2" PREFINISHED FIBER CEMENT TRIM BOARD. SEE DETAIL 2A71.
 - PROVIDE NICHHA IX TRIM AT PARAPET E/D. COLOR TO MATCH ADJACENT TRIM.
 - GUARD RAIL BY FREEZER/ COOLER MANUFACTURER AS REQUIRED BY CODE PAINT EP-2.
 - FLASHING BETWEEN BUILDING & WALK IN COOLER/FREEZER BY FREEZER/COOLER MFG. G.C. TO PROVIDE PREFINISHED METAL COUNTER FLASHING AS REQUIRED. COORDINATE W/ TDL REPRESENTATIVE.
 - LINE OF PARAPET BEYOND.
 - PRE-MANUFACTURED WALK-IN FREEZER/COOLER, BY FREEZER/COOLER MANUFACTURER.
 - G.C. TO PROVIDE AND INSTALL 3M FASARA OPAQUE WINDOW COLOR 'MILKY MILKY' TO WINDOW BELOW BAR COUNTER SEE INTERIOR ELEVATIONS.

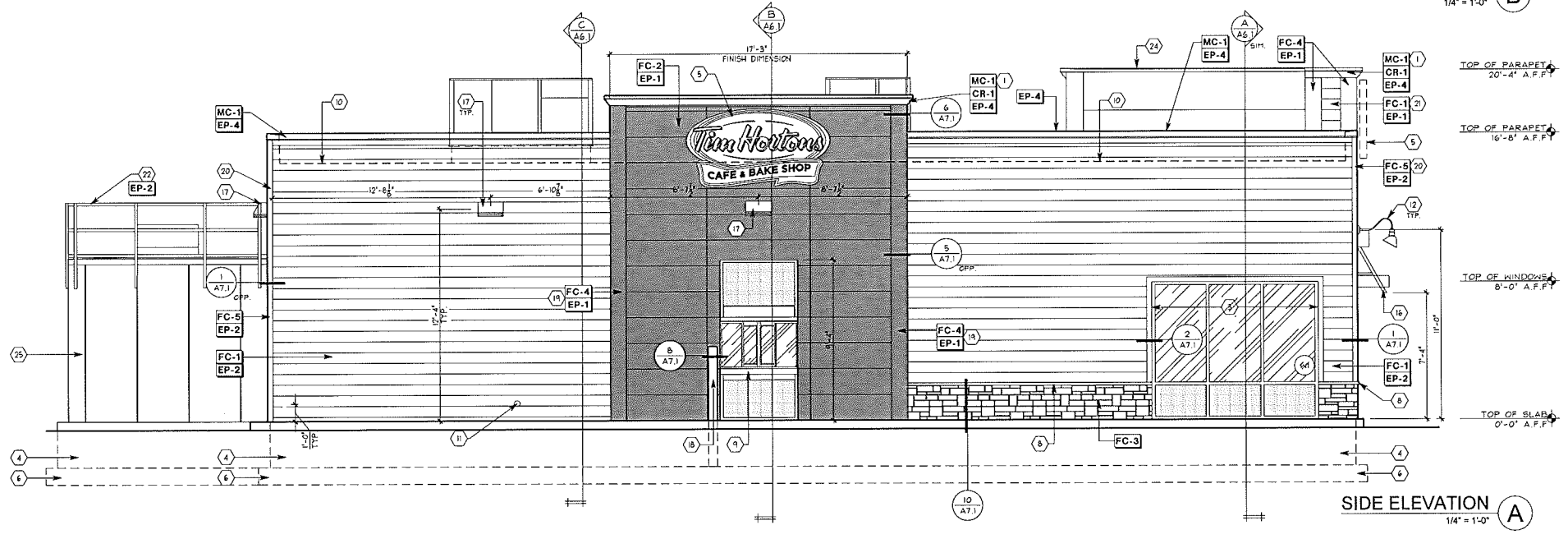
| REVISION/UPLOAD DATE | | |
|----------------------|----------|----------------|
| REV | DATE | DESCRIPTION |
| RFF#1 | 03/06/13 | GENERIC UPLOAD |
| RFF#5 | 09/26/13 | GENERIC UPLOAD |

SHREMSHOCK
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Tim Hortons
 MODEL 1950-13 (U.S.)
 TDL STORE NO.



SIGNAGE SHOWN IS REPRESENTATIVE. OWNER SHALL SUBMIT DETAILED INFORMATION ON SIGNAGE FOR APPROVAL



- SYMBOL LEGEND**
- ELEVATION REFERENCE
 - WALL / BUILDING SECTION REFERENCE
 - NOTE REFERENCE. SEE EXTERIOR ELEVATION CODED NOTES
 - WINDOW NUMBER. REFER TO SCHEDULES ON DRAWING A11.

EXTERIOR ELEVATIONS
 DESIGN DEVELOPMENT
 NOT FOR CONSTRUCTION

SAI # 130000
 DRAWING NUMBER:
A5.1

Plot date: 02/26/2013 3:23 PM Plotted by: dgraydyk Filename: 130000_A5.1.DWG