

PEDESTRIAN-BICYCLE PATHWAY EASEMENT

KNOW ALL MEN BY THESE PRESENTS, that **Rochester Community Schools** Grantors, whose address is **501 W. University Drive, Rochester, MI 48307-1944** party of the first part, for and in consideration of \$ **1.00** paid to party of the first part by the **CITY OF ROCHESTER HILLS**, a Michigan Municipal Corporation, party of the second part, located at 1000, Rochester Hills Drive, Rochester Hills Michigan 48309, do hereby grant to the said party of the second part a Permanent easement for the construction, operation, maintenance, repair and/or replacement, and public use of a pedestrian-bicycle pathway over, on, through and across land more particularly described as:

See attachment 'A' Sidwell # 15-06-400-002

In connection with the grant of easement, Grantor waives and relinquishes any right, title or interest in the pedestrian-bicycle pathway, or the facilities incidental thereto, which may be located in the easement.

All property disturbed or altered, now or in the future, by reason of the construction, operation, maintenance, repair and/or replacement of the pedestrian-bicycle pathway shall be restored by the City to its immediately prior condition, except to the extent permanent improvements or alterations necessary to the use and exercise of easement rights granted hereunder are made.

This easement shall be irrevocable and non-exclusive, and Grantor and Grantor's successors and assigns may use and enjoy the easement area in common with the City. Temporary easement expires at completion of construction. The City shall hold the Grantor harmless from and against any claims, losses, and damages made and/or suffered by reason of, or in relation to, the construction and public use of the pathway on the above described property, unless caused by Grantor's own acts or omissions.

Grantor expressly reserves to Grantor's successors and assigns, so long as there is no interference with the construction, operation, maintenance, repair and/or replacement, and public use of the pedestrian-bicycle pathway: (a) the right of ingress and egress over, and through and across the easement and the right to grant other non-exclusive easements and rights-of-way, across, over, under and through the easement parcel, with the condition that prior to such a grant written consent shall be obtained from the City.

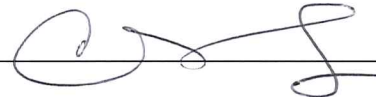
IN WITNESS HEREOF, the undersigned have hereunto affixed their signatures on this 9th day of February 2015, by Daniel Romzek, Assistant Superintendent

By: 

By: _____

STATE OF MICHIGAN)
) ss
COUNTY OF OAKLAND,)

The foregoing instrument was acknowledged before me this 9th day of February 2015, by Daniel Romzek, Assistant Superintendent.



Notary Public, Oakland County, Michigan
My Commission Expires 8-25-19
Acting in Oakland County.

Prepared by:
City of Rochester Hills
Assistance by
Hubbell, Roth & Clark, Inc.
555 Hulet Dr. P.O. Box 824
Bloomfield Hills, Michigan 48303-0824

Return to:
City of Rochester Hills
1000 Rochester Hills, Dr.
Rochester Hills, Michigan 48309

CHRISTINA MC WILLIAMS
NOTARY PUBLIC, STATE OF MI
COUNTY OF LAPEER
MY COMMISSION EXPIRES AUG 25, 2019
ACTING IN COUNTY OF Oakland

Recording Fee _____

Revenue Stamps _____

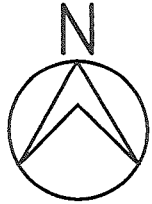
TIME - 12-NOV-2014 07:47

PEW TBL - I:\msys\B\dat\tr\color2.tbl

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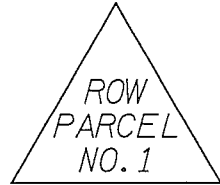
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USER NAME - dthebert



SCALE: 1" = 40'

EXHIBIT "A"
15-06-400-002
3200 W.TIENKEN ROAD

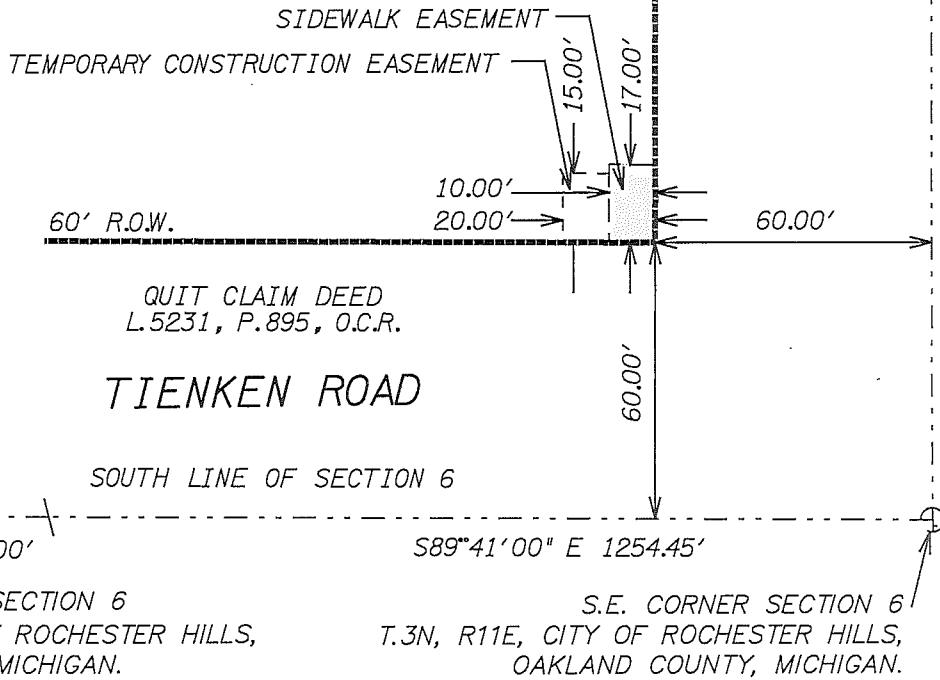


TOTAL LAND AREA = 3,094,067 S.F.
SIDEWALK EASEMENT = 170 S.F.
TEMPORARY CONSTRUCTION EASEMENT = 150 S.F.

SIDEWALK EASEMENT

3200 W.TIENKEN ROAD
ROCHESTER COMMUNITY SCHOOLS
15-06-400-002

60' R.O.W.
QUIT CLAIM DEED
L. 5231, P. 895, O.C.R.
ADAMS ROAD
EAST LINE OF SECTION 6
N00°16'15"E 1916.40'



SIDEWALK EASEMENT =

TEMPORARY CONSTRUCTION EASEMENT =

NOTE! ONLY PORTION OF PROPERTY SHOWN.

TIENKEN ROAD
PROJECT NO.
PARCEL 52461

JOB NO. 20140197
DATE 10-30-14

HUBBELL, ROTH & CLARK, INC.
CONSULTING ENGINEERS
555 HULET DRIVE
BLOOMFIELD HILLS, MICH. P.O. BOX 824
48303-0824

SHEET NO.
1
OF 2

EXHIBIT "B"

TIENKEN ROAD
Project No. 52461
Parcel 1

Sidewalk Easement Description

The South 17.00 feet of the East 10.00 feet of the following described property: Beginning at a point distant S89°41'00"E 1,176 feet from the South ¼ corner of Section 6, T.3N., R.11E., City of Rochester Hills, Oakland County, Michigan; thence S89°41'00"E 1,254.45 feet the Southeast corner of said Section 6; thence N00°06'15"E 1,916.40 feet; thence S88°24'33"W 1,926.31 feet; thence S03°12'40"E 1,068 feet; thence S89°41'00"E 564 feet; thence S03°12'40"E 783 feet to the Point of Beginning; EXCEPT the South 60.00 feet and the East 60.00 feet.

Part of Tax Parcel No. 15-06-400-002
Commonly known as 3200 W. Tienken Road