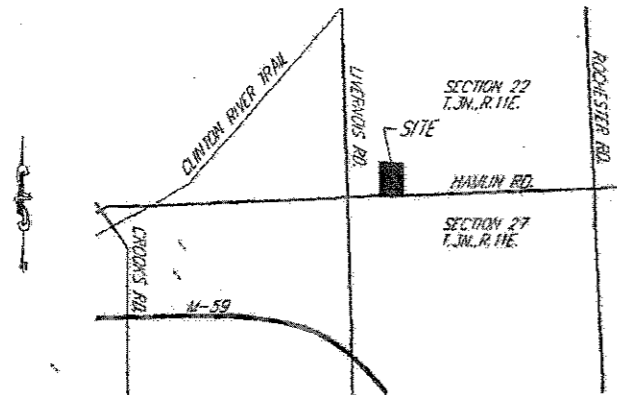


LEGACY CONDOMINIUMS RESIDENTIAL DEVELOPMENT

CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

PROPRIETOR
PAUL AND CONCETTA ROSATI
790 WEST HAMLIN ROAD
ROCHESTER HILLS, MI 48307

ENGINEERS AND SURVEYORS
MICKALICH ENGINEERING, INC.
15243 HAWLEY ROAD
HOLLY, MI 48442



LOCATION MAP
SCALE: 1"=2000'

LEGAL DESCRIPTION

PART OF THE S.W. 1/4 OF SECTION 22, T.3N., R.11 E., CITY OF ROCHESTER HILLS, OAKLAND COUNTY MICHIGAN BEING MORE PARTICULARLY DESCRIBED AS BEGINNING AT A POINT DISTANT N.87°09'24"E., 665.00 FEET ALONG THE SOUTH LINE OF SAID SECTION 22 AND THE CENTERLINE OF HAMLIN ROAD (RIGHT OF WAY VARIES), FROM THE SOUTHWEST CORNER OF SAID SECTION 22; THENCE N.02°31'40"W., 659.65 FEET; THENCE N.87°08'51"E., 330.00 FEET IN PART ALONG THE SOUTH LINE OF "AVON HILLS VILLAGE", PART OF THE S.W. 1/4 OF SECTION 22, T.3 N., R. 11 E., AVON TOWNSHIP, OAKLAND COUNTY, MICHIGAN AS RECORDED IN LIBER 154, PAGE 14-15, O.C.R.; THENCE S.02°31'40"E., 659.70 FEET IN PART ALONG THE WEST LINE OF "FIELDCREST", A SUBDIVISION OF PART OF THE S.W. 1/4 OF SECTION 22, T.3 N., R.11 E., AVON TWP., OAKLAND CO., MICHIGAN AS RECORDED IN LIBER 80, PAGE 4, O.C.R., TO SAID CENTERLINE OF HAMLIN ROAD; THENCE S.87°09'24"W., 330.00 FEET ALONG SAID CENTERLINE TO THE POINT OF BEGINNING. CONTAINING 217,689 SQUARE FEET OR 4.998 ACRES AND SUBJECT TO THE RIGHTS OF THE PUBLIC ON HAMLIN ROAD AND ANY EASEMENTS OR RESTRICTIONS OF RECORD.

- CE-1. SITE PLAN
- L-1. EXISTING SITE CONDITIONS/TREE SURVEY
- L-2. SITE LANDSCAPE PLAN
- L-3. LANDSCAPE DETAILS AND ELEVATIONS
- L-4. TECHNICAL LANDSCAPE SPECIFICATIONS

ESTIMATED QUANTITIES

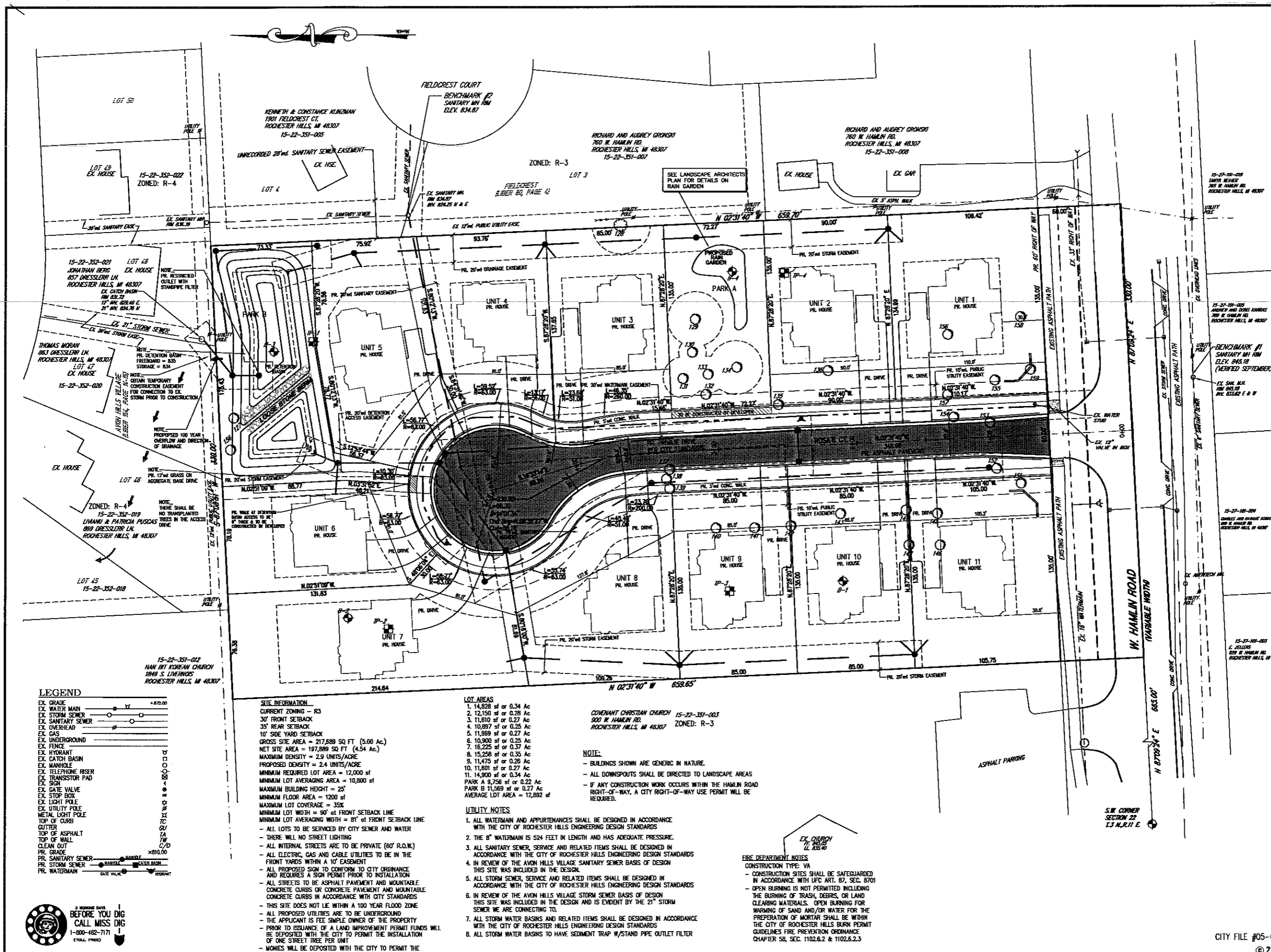
STORM SEWER
943 LF 12" C-76 CL IV
133 LF 15" C-76 CL IV
91 LF 18" C-76 CL IV
309 LF 8" PVC SCH 40
140 LF 6" PVC SCH 40
3 EACH - 4' dia MANHOLE
11 EACH - 4' dia CATCH BASIN
1 EACH - OUTLET FILTER
2 EACH - 2' dia INLET W/ SOLID COVER

SANITARY SEWER
652 LF 8" PVC TRUSS
438 LF 6" PVC SDR 23.6
3 EACH - 4' dia MANHOLE

WATERMAIN
624 LF 8" D.I. CL 54 W/ POLYWRAP
2 EACH - HYDRANT ASSEMBLY

BENCHMARK #1
SANITARY MANHOLE S. SIDE OF HAMLIN NEAR PROPOSED ENTRANCE
TO SITE. ELEV. 845.18

BENCHMARK #2
SANITARY MANHOLE AT N.E. CORNER OF SITE
ELEV. 834.87



- LEGEND**
- EX. GRADE
 - EX. WATER MAIN
 - EX. STORM SEWER
 - EX. SANITARY SEWER
 - EX. OVERHEAD
 - EX. GAS
 - EX. UNDERGROUND
 - EX. FENCE
 - EX. HYDRANT
 - EX. CATCH BASIN
 - EX. MANHOLE
 - EX. TELEPHONE RISER
 - EX. TRANSFORMER PAD
 - EX. SIGN
 - EX. GATE VALVE
 - EX. STOP BOX
 - EX. LIGHT POLE
 - EX. UTILITY POLE
 - EX. METAL LIGHT POLE
 - TOP OF CURB
 - GUTTER
 - TOP OF ASPHALT
 - TOP OF WALL
 - CLEAN OUT
 - PR. GRADE
 - PR. SANITARY SEWER
 - PR. STORM SEWER
 - PR. WATERMAIN

SITE INFORMATION
 CURRENT ZONING - R-3
 30' FRONT SETBACK
 35' REAR SETBACK
 10' SIDE YARD SETBACK
 GROSS SITE AREA = 217,889 SQ FT (5.00 Ac.)
 NET SITE AREA = 197,889 SQ FT (4.54 Ac.)
 MAXIMUM DENSITY = 2.9 UNITS/ACRE
 PROPOSED DENSITY = 2.4 UNITS/ACRE
 MINIMUM REQUIRED LOT AREA = 12,000 sq ft
 MINIMUM LOT AVERAGING AREA = 10,800 sq ft
 MAXIMUM BUILDING HEIGHT = 25'
 MINIMUM FLOOR AREA = 1200 sq ft
 MAXIMUM LOT COVERAGE = 35%
 MINIMUM LOT WIDTH = 90' at FRONT SETBACK LINE
 MINIMUM LOT AVERAGING WIDTH = 81' at FRONT SETBACK LINE
 - ALL LOTS TO BE SERVICED BY CITY SEWER AND WATER
 - THERE WILL NO STREET LIGHTING
 - ALL INTERNAL STREETS ARE TO BE PRIVATE (60' R.O.W.)
 - ALL ELECTRIC, GAS AND CABLE UTILITIES TO BE IN THE FRONT YARDS WITHIN A 10' EASEMENT
 - ALL PROPOSED SIGN TO CONFORM TO CITY ORDINANCE AND REQUIRES A SIGN PERMIT PRIOR TO INSTALLATION
 - ALL STREETS TO BE ASPHALT PAVEMENT AND MOUNTABLE CONCRETE CURBS OR CONCRETE PAVEMENT AND MOUNTABLE CONCRETE CURBS IN ACCORDANCE WITH CITY STANDARDS
 - THIS SITE DOES NOT LIE WITHIN A 100 YEAR FLOOD ZONE
 - ALL PROPOSED UTILITIES ARE TO BE UNDERGROUND
 - THE APPLICANT IS FEE SIMPLE OWNER OF THE PROPERTY
 - PRIOR TO ISSUANCE OF A LAND IMPROVEMENT PERMIT FUNDS WILL BE DEPOSITED WITH THE CITY TO PERMIT THE INSTALLATION OF ONE STREET TREE PER UNIT
 - MONIES WILL BE DEPOSITED WITH THE CITY TO PERMIT THE INSTALLATION OF ONE STREET TREE PER UNIT

LOT AREAS

- 14,828 sf or 0.34 Ac
- 12,150 sf or 0.28 Ac
- 11,810 sf or 0.27 Ac
- 10,897 sf or 0.25 Ac
- 11,989 sf or 0.27 Ac
- 10,900 sf or 0.25 Ac
- 16,225 sf or 0.37 Ac
- 15,258 sf or 0.35 Ac
- 11,475 sf or 0.26 Ac
- 11,801 sf or 0.27 Ac
- 14,900 sf or 0.34 Ac
- PARK A 9,756 sf or 0.22 Ac
- PARK B 11,569 sf or 0.27 Ac
- AVERAGE LOT AREA = 12,892 sf

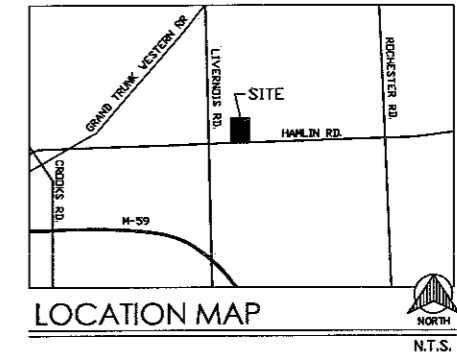
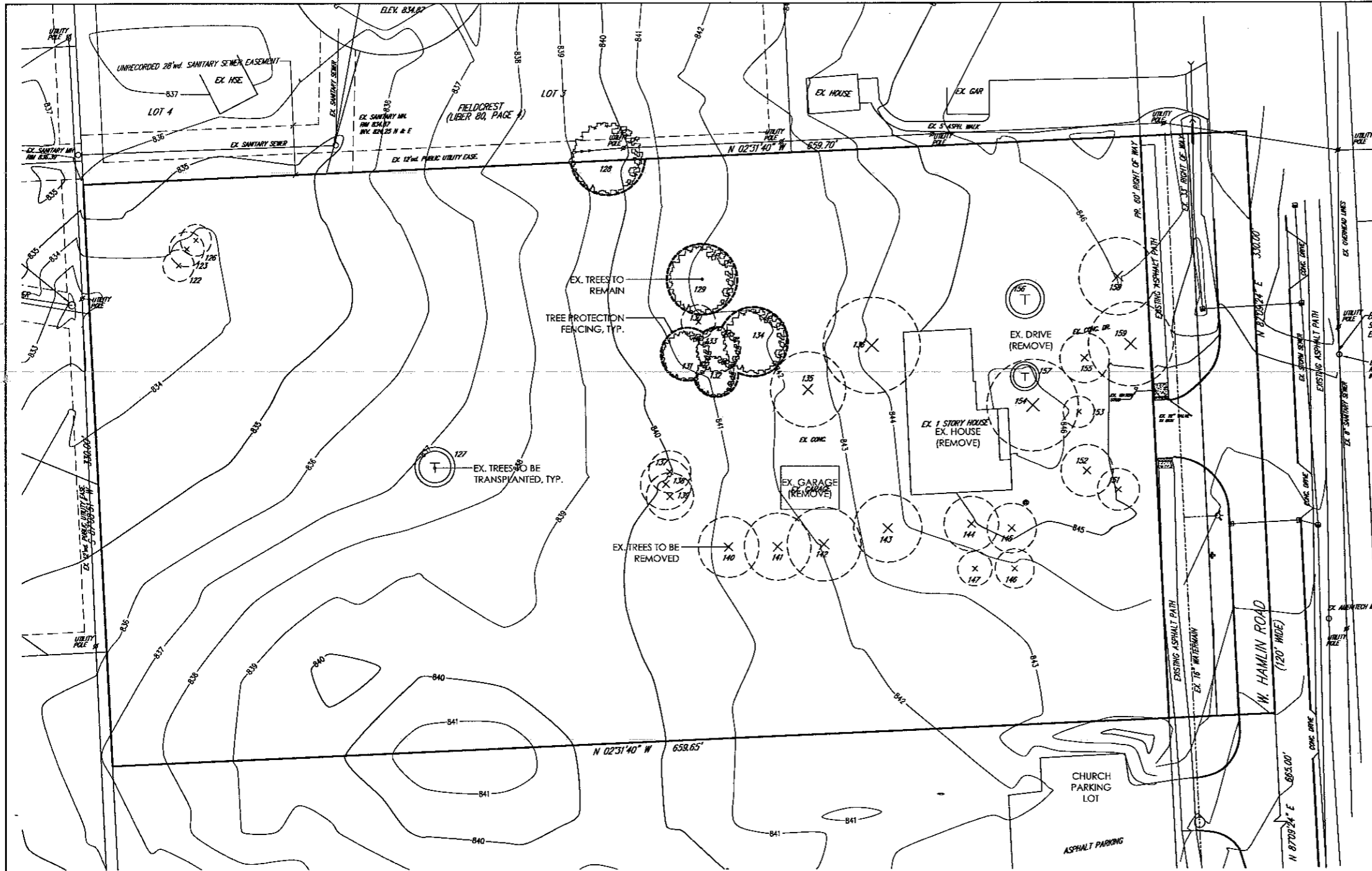
UTILITY NOTES

1. ALL WATERMAIN AND APPURTENANCES SHALL BE DESIGNED IN ACCORDANCE WITH THE CITY OF ROCHESTER HILLS ENGINEERING DESIGN STANDARDS
2. THE 8" WATERMAIN IS 524 FEET IN LENGTH AND HAS ADEQUATE PRESSURE.
3. ALL SANITARY SEWER, SERVICE AND RELATED ITEMS SHALL BE DESIGNED IN ACCORDANCE WITH THE CITY OF ROCHESTER HILLS ENGINEERING DESIGN STANDARDS
4. IN REVIEW OF THE AVON HILLS VILLAGE SANITARY SEWER BASIS OF DESIGN THIS SITE WAS INCLUDED IN THE DESIGN.
5. ALL STORM SEWER, SERVICE AND RELATED ITEMS SHALL BE DESIGNED IN ACCORDANCE WITH THE CITY OF ROCHESTER HILLS ENGINEERING DESIGN STANDARDS
6. IN REVIEW OF THE AVON HILLS VILLAGE STORM SEWER BASIS OF DESIGN THIS SITE WAS INCLUDED IN THE DESIGN AND IS EVIDENT BY THE 21" STORM SEWER WE ARE CONNECTING TO.
7. ALL STORM WATER BASINS AND RELATED ITEMS SHALL BE DESIGNED IN ACCORDANCE WITH THE CITY OF ROCHESTER HILLS ENGINEERING DESIGN STANDARDS
8. ALL STORM WATER BASINS TO HAVE SEDIMENT TRAP W/STAND PIPE OUTLET FILTER

NOTE:
 - BUILDINGS SHOWN ARE GENERIC IN NATURE.
 - ALL DOWNSPOUTS SHALL BE DIRECTED TO LANDSCAPE AREAS
 - IF ANY CONSTRUCTION WORK OCCURS WITHIN THE HAMLIN ROAD RIGHT-OF-WAY, A CITY RIGHT-OF-WAY USE PERMIT WILL BE REQUIRED.

FIRE DEPARTMENT NOTES
 CONSTRUCTION TYPE: VA
 - CONSTRUCTION SITES SHALL BE SAFEGUARDED IN ACCORDANCE WITH UFD ART. 87, SEC. 8701
 - OPEN BURNING IS NOT PERMITTED INCLUDING THE BURNING OF TRASH, DEBRIS, OR LAND CLEARING MATERIALS. OPEN BURNING FOR WARMING OF SAND AND/OR WATER FOR THE PREPARATION OF MORTAR SHALL BE WITHIN THE CITY OF ROCHESTER HILLS BURN PERMIT GUIDELINES FIRE PREVENTION ORDINANCE CHAPTER 58, SEC. 1102.6.2 & 1102.6.2.3





TREE LIST

Updated: 7/13/2012 11:00am by E. Anzel, City Staff

Tag	Common Name	Botanical Name	Size	Condition	Regulated	Status
122	willow	salix	8"	Dead/Diseased	No	remove
123	poplar	populus	10"	good	Yes	remove
126	willow	salix	3"	Dead/Diseased	No	remove
127	maple	acer	8"	good	Yes	save-transplant
128	maple	acer	14"	off-site good	Yes	save
129	maple (tri)	acer	8"-8'-10"	good	Yes	save
130	maple	acer	6"	Dead/Diseased	No	remove
131	maple	acer	10"	good	Yes	save
132	maple	acer	8"	good	Yes	save
133	maple	acer	8"	good	Yes	save
134	maple	acer	14"	good	Yes	save
135	maple	acer	22"	Decayed/Dying	No	remove
136	maple	acer	36"	good	Yes	remove
137	poplar	populus	10"	good	Yes	remove
138	poplar	populus	12"	good	Yes	remove
139	poplar	populus	10"	good	Yes	remove
140	willow	salix	12"	Dead/Diseased	No	remove
141	poplar	populus	18"	good	Yes	remove
142	willow	salix	14"	Dead/Diseased	No	remove
143	maple	acer	24"	good	Yes	remove
144	maple	acer	24"	Dead/Diseased	No	remove
145	maple	acer	26"	good	Yes	remove
146	cherry	prunus	15"	Dead/Diseased	No	remove
147	cherry	prunus	12"	Dead/Diseased	No	remove
151	maple	acer	12"	good	Yes	remove
152	pine	pinus	20"	good	Yes	remove
153	pine	pinus	10"	Dead/Diseased	No	remove
154	maple	acer	26"	good	Yes	remove
155	maple	acer	18"	Dead/Diseased	No	remove
156	plum	prunus	30"	good	Yes	save-transplant
157	redbud	ceris	6"	good	Yes	save-transplant
158	maple	acer	18"	good	Yes	remove
159	maple	acer	24"	Decayed/Dying	No	remove
160	mulberry	morus	6"	Removed by others	No	gone
161	mulberry	morus	6"	Removed by others	No	gone
162	maple	acer	26"	Removed by others	No	gone
163	maple	acer	20"	Removed by others	No	gone
164	maple	acer	8"	Removed by others	No	gone
					Regulated	Saved
					21	9
						43%

Notes:
 43% of Regulated Trees proposed to be saved on site
 Transplanted trees shall be located in area east of Trees tagged #129 and #134
 Trees dead/decayed or diseased not regulated. Those so identified are considered a safety risk (E. Anzel)
 Trees removed by others (Road Commission) not regulated

NOTES AND TREE DATA

ALL TREES BEING RETAINED WILL BE IDENTIFIED BY AN APPROVED METHOD. WHEN PROTECTIVE BARRIERS ARE NECESSARY, THEY WILL BE ERECTED BEFORE WORK STARTS.
 THE REPLACEMENT TREES WILL CONFORM TO THE GUIDELINES ESTABLISHED IN THE MOST RECENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AND MUST BE APPROVED BY THE CITY OF ROCHESTER HILLS PRIOR TO PLANTING.
 ALL REPLACEMENT AND RELOCATED TREES MUST BE STAKED, FERTILIZED, AND MULCHED, AND SHALL BE GUARANTEED BY THE TREE REMOVAL PERMIT HOLDER TO EXHIBIT A NORMAL GROWTH CYCLE FOR TWO (2) YEARS FROM APPROVAL OF THE CITY OF ROCHESTER HILLS.

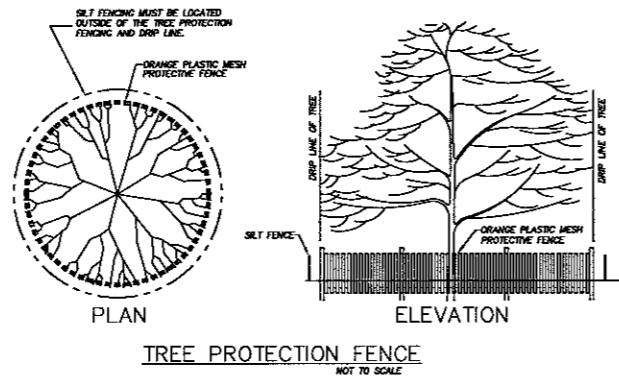
TREE DATA

TOTAL NUMBER OF TREES (ORIGINALLY) SURVEYED:	38
MINUS 5 TREES REMOVED BY ROAD COMMISSION	-5
MINUS 12 DEAD OR DECLINING TREES:	-12
TOTAL NUMBER OF REGULATED TREES:	21
21 x 37% = 8 PRESERVED TREES REQUIRED TO MEET THE REQUIREMENTS OF THE TREE CONSERVATIONS ORDINANCE	
TOTAL TREES PRESERVED:	9 (43%)

NOTE: PRIOR TO THE RELEASE OF THE PERFORMANCE BOND, THE CITY OF ROCHESTER HILLS FORESTRY DIVISION NEEDS TO INSPECT ALL TREES, EXISTING OR PLANTED, TO IDENTIFY ANY THAT POSE A HAZARD TO THE SAFE USE OF THE PUBLIC RIGHT-OF-WAY. FORESTRY MAY REQUIRE THE DEVELOPER TO REMOVE AND POSSIBLY REPLACE ANY SUCH TREES.

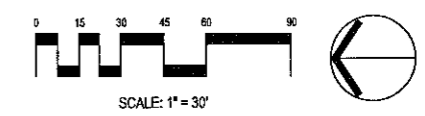
TREE PROTECTION NOTES:

- IF A TREE DESIGNATED FOR PRESERVATION IS DAMAGED DURING GRADING OR CONSTRUCTION OPERATIONS, A FINE OF \$122.00 PER CALIPER INCH OF TREE DAMAGED WILL BE ISSUED. PAYMENT OF THIS FINE IS DUE PRIOR TO ANY CERTIFICATE OF OCCUPANCY BEING ISSUED.
- APPROVED TREE PROTECTION SHALL BE ERECTED PRIOR TO THE START OF CONSTRUCTION ACTIVITIES, AND SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETE. THE FORESTRY DIVISION SHALL BE NOTIFIED AFTER TREE PROTECTION IS IN PLACE PRIOR TO CONSTRUCTION ACTIVITIES, INCLUDING DELIVERY OF MATERIALS.
- SILT FENCING IS TO BE LOCATED ON THE CONSTRUCTION SIDE OF THE TREE PROTECTIVE FENCING. SILT FENCING IS NOT TO BE LOCATED WITHIN THE DRIP LINE OF ANY TREE DESIGNATED FOR PRESERVATION.
- NO PERSON MAY CONDUCT ANY ACTIVITY WITHIN THE DRIP LINE OF ANY TREE DESIGNATED TO REMAIN, INCLUDING, BUT NOT LIMITED TO, PLACING SOLVENTS, BUILDING MATERIALS, CONSTRUCTION EQUIPMENT, OR SOIL DEPOSITS WITHIN THE DRIP LINE.
- GRADE CHANGES MAY NOT OCCUR WITHIN THE DRIP LINES OF PROTECTED TREES.
- DURING CONSTRUCTION, NO PERSON SHALL ATTACH ANY DEVICE OR WIRE TO ANY REMAINING TREE.
- ALL UTILITY SERVICE REQUESTS MUST INCLUDE NOTIFICATION TO THE INSTALLER THAT PROTECTED TREES MUST BE AVOIDED. ALL TRENCHING SHALL OCCUR OUTSIDE OF THE PROTECTIVE FENCING.
- SWALES SHALL BE ROUTED TO AVOID THE AREA WITHIN THE DRIP LINES OF PROTECTED TREES.
- IF TREE PROTECTION CANNOT BE MAINTAINED FOR A TREE THROUGHOUT THE CONSTRUCTION PERIOD, REPLACEMENT OF THAT TREE MAY BE REQUIRED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- ANY OFFSITE TREES WITH THE POTENTIAL OF BEING DAMAGED BY THE DEVELOPMENT OF THIS PARCEL MUST ALSO BE PROTECTED WITH TREE PROTECTION FENCING.
- ALL TREES TO BE TRANSPLANTED MUST BE PROTECTED WITH TREE PROTECTION FENCING DURING LAND CLEARING AND GRADING, PRIOR TO TRANSPLANTING, AND AGAIN IMMEDIATELY AFTER TRANSPLANTING.



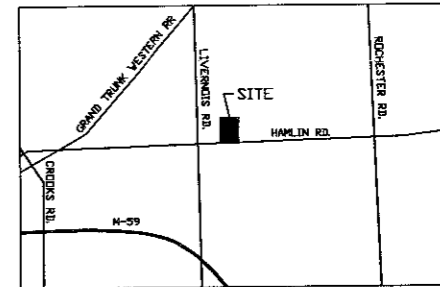
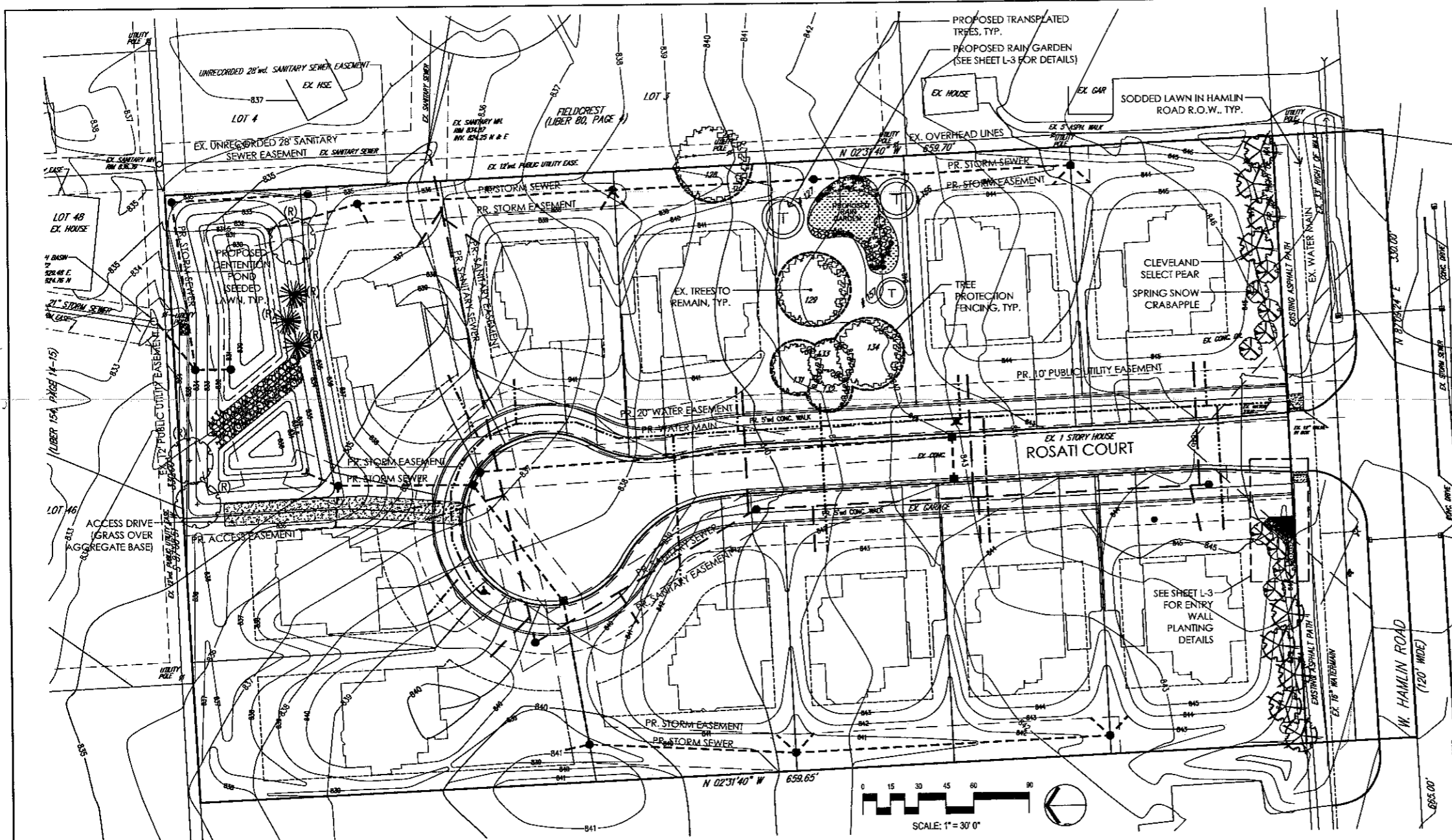
TREE SYMBOL LEGEND

- 6 TREES TO REMAIN (INCLUDES 1 TREE OFFSITE)
- 3 TREES TO BE TRANSPLANTED
- 24 TREES TO BE REMOVED (INCLUDES 12 REGULATED TREES)



THE LEGACY CONDO DEVELOPMENT 790 W. HAMLIN ROAD, ROCHESTER HILLS, MICHIGAN
 JAMES C. SCOTT & ASSOCIATES
 site planners
 landscape architects
 300 e. Long Lake Rd., Ste. 120, Bloomfield Hills, MI 48304
 (248) 646-6564 (P) 248-646-4838

REVISION	DATE	BY
9.5.06	10.25.05	
FINAL SPA	12.5.05	12.2.05
FINAL SPA	2.19.07	2.3.06
REVISION	10.18.12	3.7.06
REVISION	11.20.12	4.7.06
	BD DCS	5.31.06
DATE	8/25/06	
DRAWN	BMW	
CHECKED	JCS	
SCALE	1" = 30' 0"	
SHEET	L-1	
CITY FILE	# 05-031	



LOCATION MAP
NORTH
N.T.S.

TREE SYMBOL LEGEND

SEE COST ESTIMATE, SHEET L-5

- 3 SWAMP WHITE OAK
Quercus bicolor
3" cal., B&B, Even Habit, Spaced as Shown
 - 9 CLEVELAND SELECT PEAR
Pyrus calleryana 'Cleveland Select'
3" Cal., B&B, Even Habit, 18' o.c.
 - 3 WHITE PINE
Pinus strobus
10' Ht., B&B, Even Habit, Spaced as Shown
 - 9 SPRING SNOW CRABAPPLE
Malus 'Spring Snow'
2" Cal., B&B, Even Habit, 12' o.c.
 - 6 NANNYBERRY VIBURNUM
Viburnum lentago
4' Ht., B&B, Even Habit, 6' o.c.
 - 8 DWARF BLUE ARCTIC WILLOW
Salix purpurea 'Nana'
3' Ht., B&B, Even Habit, 4' o.c.
 - 7 RED TWIG DOGWOOD
Cornus sericea
3' Ht., B&B, Even Habit, 4' o.c.
 - 8 EVERLOW YEWE
Taxus x media 'Everlow'
24-30" Spr., B&B, Even Habit, 30" o.c.
 - 8 ENDLESS SUMMER HYDRANGEA
Hydrangea macrophylla 'Bailmer'
30" Ht., B&B, Even Habit, 3' o.c.
 - 6 GIANT FOUNTAIN JAPANESE SILVER GRASS
Miscanthus sinensis 'Grosse Fontaine'
3 Gal., 3' o.c.
 - 9 KARL FOERSTER REED GRASS
Calamagrostis x acutiflora 'Karl Foerster'
1 Gal., 3' o.c.
 - 12 BIG BLUESTEM GRASS
Andropogon gerardii
1 Gal., 30" o.c.
 - 34 AUTUMN JOY SEDUM
Sedum 'Autum Joy'
1 Gal., 18" o.c.
 - 56 HAPPY RETURNS DAYLILY
Hemerocallis 'Happy Returns'
1 gal. container, 18" o.c.
 - 50 sf ANNUAL COLOR
To Be Determined
- 1,000 sf BIOSWALE SEED MIX
See Rain Garden Notes, Sheet L-3

TREE PROTECTION NOTES

1. IF A TREE DESIGNATED FOR PRESERVATION IS DAMAGED DURING GRADING OR CONSTRUCTION OPERATIONS, A FINE OF \$122.00 PER CALIPER INCH OF TREE DAMAGED WILL BE ISSUED. PAYMENT OF THIS FINE IS DUE PRIOR TO ANY CERTIFICATE OF OCCUPANCY BEING ISSUED.
2. ANY OFFSITE TREES WITH THE POTENTIAL OF BEING DAMAGED BY THE DEVELOPMENT OF THIS PARCEL MUST ALSO BE PROTECTED WITH TREE PROTECTION FENCING
3. SILT FENCING IS TO BE LOCATED ON THE CONSTRUCTION SIDE OF THE TREE PROTECTION FENCING. SILT FENCING IS NOT TO BE LOCATED WITHIN THE DRIPLINE OF ANY TREE DESIGNATED FOR PRESERVATION.
4. ALL TREES TO BE TRANSPLANTED MUST BE PROTECTED WITH TREE PROTECTION FENCING DURING LAND CLEARING AND GRADING, PRIOR TO TRANSPLANTING, IMMEDIATELY AFTER TRANSPLANTING, AND THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD.
5. ALL TRANSPLANTED TREES SHALL BE GUARANTEED FOR A PERIOD NO LESS THAN 2 YEARS. ANY TRANSPLANTED TREE NOT SURVIVING 2 YEARS AFTER TRANSPLANTING SHALL BE REPLACED ON AN INCH FOR INCH BASIS.

ADDITIONAL NOTES

1. ALL LANDSCAPE BEDS TO BE IRRIGATED BY AN AUTOMATIC IRRIGATION SYSTEM. IRRIGATION SYSTEM SHALL BE INSTALLED AFTER COMPLETION OF ALL GRADING AND CONSTRUCTION, PRIOR TO CERTIFICATE OF OCCUPANCY.
2. ALL LANDSCAPE BEDS TO BE DRESSED WITH SHREDDED BARK MULCH TO A DEPTH OF 4 INCHES.
3. ALL LANDSCAPE BEDS TO BE EDGED WITH 1/2" x 4" ALUMINUM EDGING.
4. THE APPLICANT WILL BE REQUIRED TO PROVIDE FUNDS TO THE CITY (\$200 PER LOT) FOR A TREE PLANTING ESCROW ACCOUNT THAT FORESTRY WILL UTILIZE TO PLANT 1 TREE PER LOT AFTER THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
5. IT SHALL BE REQUIRED TO OBTAIN A SIGN PERMIT FOR ALL PROPOSED SIGNAGE PRIOR TO INSTALLATION.
6. NO TREE SHALL BE TRANSPLANTED WITHIN 25' OF A DETENTION AREA OR WITHIN 10' OF AN ACCESS EASEMENT.
7. ACCESS DRIVE SHALL BE SEEDED LAWN, WITH A COMPACTED 6" AGGREGATE BASE, AS APPROVED BY THE CITY OF ROCHESTER HILLS STAFF (SEE DETAIL, SHEET L-4).

TREE PRESERVATION CALCULATIONS

TOTAL NUMBER OF TREES (ORIGINALLY) SURVEYED:	38
MINUS 5 TREES REMOVED BY ROAD COMMISSION	-5
MINUS 12 DEAD OR DECLINING TREES:	-12
TOTAL NUMBER OF REGULATED TREES:	21
TOTAL REGULATED TREES TO REMAIN:	6
TOTAL REGULATED TREES TRANSPLANTED:	3
TOTAL REGULATED TREES REMOVED:	12
TOTAL TREES REQUIRED TO BE PRESERVED (37%):	8
TOTAL TREES PRESERVED:	9 (43%)

TREE REPLACEMENT DATA

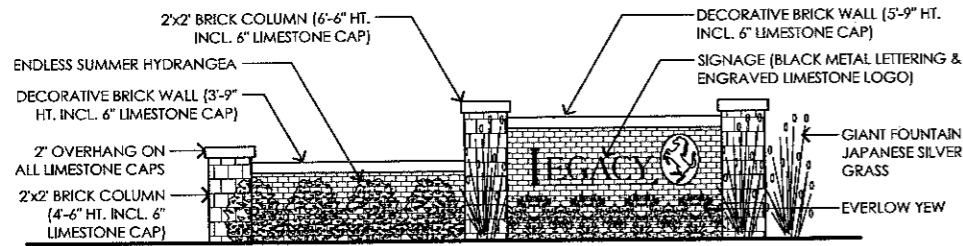
DECIDUOUS TREES (3" CAL., WORTH 2 CREDITS):	3 TREES x 2 = 6 CREDITS
EVERGREEN TREES (10' HT., WORTH 2 CREDITS):	3 TREES x 2 = 6 CREDITS
TOTAL CREDITS REQUIRED:	12 CREDITS

TREE TRANSPLANTING NOTE

TREES TO BE TRANSPLANTED SHALL NOT BE RELOCATED UNTIL GRADING OF THEIR FINAL LOCATIONS HAVE BEEN COMPLETED. IF NECESSARY, A TEMPORARY, ON-SITE STORAGE SHALL BE IDENTIFIED BY THE LANDSCAPE ARCHITECT AND APPROVED BY THE CITY. GRADING OF THE DESIGNATED STORAGE AREA SHALL NOT COMMENCE UNTIL AFTER THE TREES TO BE TRANSPLANTED HAVE BEEN RELOCATED TO THEIR FINAL LOCATIONS. THE TEMPORARY STORAGE AREA SHALL BE PROTECTED WITH TREE PROTECTION FENCING.

NOTE:
ALL QUANTITIES ARE LANDSCAPE ARCHITECT'S ESTIMATES. THESE QUANTITIES ARE NOT TO BE TAKEN AS DEFINING OR LIMITING THE AMOUNT OF WORK TO BE DONE UNDER THE CONTRACT. THE CONTRACTOR IS RESPONSIBLE FOR HIS OWN ESTIMATES. ALL DISCREPANCIES ARE TO BE REPORTED TO THE LANDSCAPE ARCHITECT'S OFFICE IMMEDIATELY.
ALL DESIGNS, CONCEPTS, DETAILS, ETC. ARE THE PROPERTY OF JAMES C. SCOTT & ASSOCIATES, INC. AND MAY NOT BE DUPLICATED, PHOTOGRAPHED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF JAMES C. SCOTT, OWNER. COPYRIGHT 2012

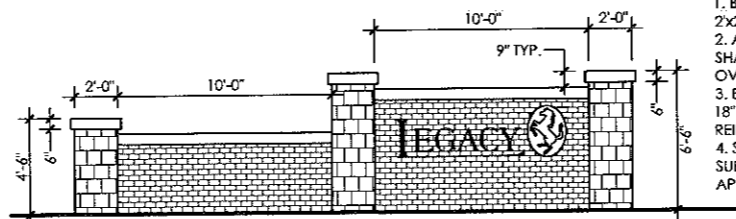
REVISION	DATE	BY
9.6.06	10.25.06	
FINAL SPA	12.5.06	
FINAL SPA	2.15.07	
REVISION	10.18.12	3.7.06
REVISION	11.20.12	4.7.06
	08.10.25	5.31.06
DATE	8/25/06	
BY	BMW	
CHECKED	JCS	
SCALE	1" = 30' 0"	



ENTRY WALL & SIGNAGE ELEVATION

NOT TO SCALE

NOTE: A MATCHING (MIRRORED) WALL AND ASSOCIATED PLANTINGS MAY BE ADDED TO THE EASTERN SIDE OF ROSATI COURT AT A LATER DATE.



ENTRY WALL & SIGNAGE LAYOUT DETAIL

NOT TO SCALE

NOTE: A MATCHING (MIRRORED) WALL AND ASSOCIATED PLANTINGS MAY BE ADDED TO THE EASTERN SIDE OF ROSATI COURT AT A LATER DATE.

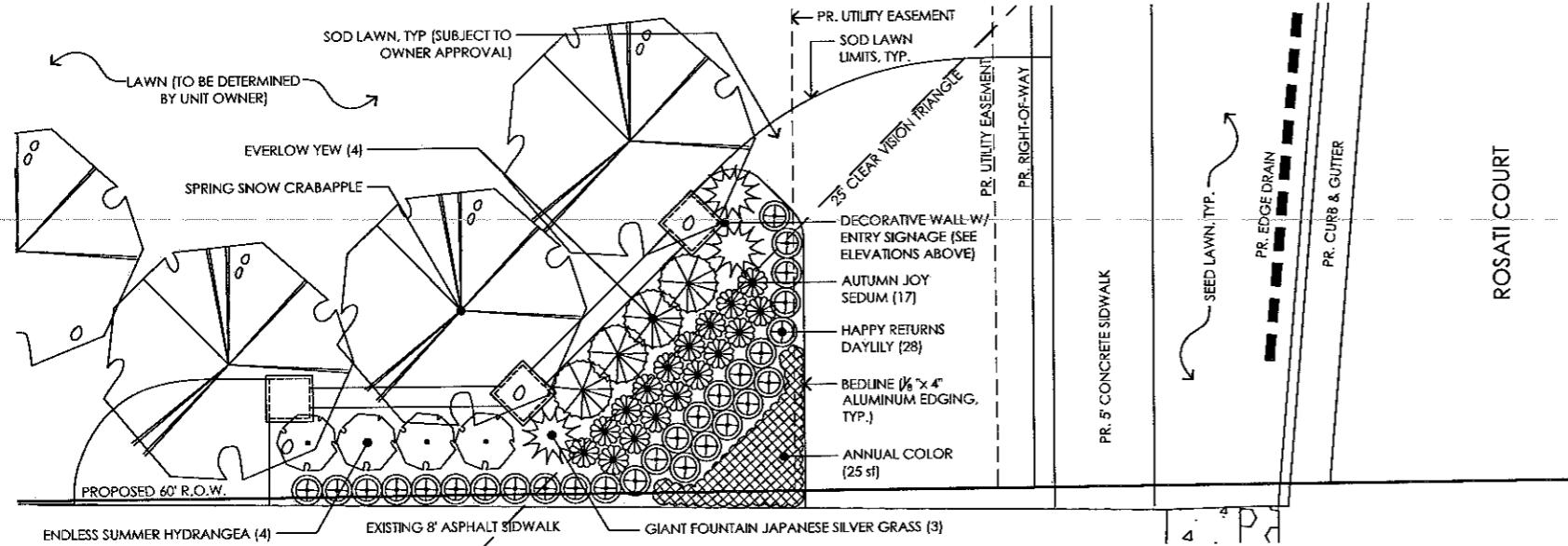
- LAYOUT NOTES**
1. BRICK COLUMN SHALL BE 2'X2' (HEIGHTS AS SHOWN)
 2. ALL LIMESTONE CAPS SHALL HAVE A 2" OVERHANG ON ALL EDGES.
 3. BRICK WALLS SHALL BE 18" THICK, MIN. AND REINFORCED AS REQUIRED.
 4. SIGNAGE AND LOGO SUBJECT TO OWNER APPROVAL

LANDSCAPE NOTES

1. PRIOR TO THE RELEASE OF ANY PERFORMANCE BOND, THE CITY OF ROCHESTER HILLS MUST INSPECT ALL LANDSCAPE PLANTINGS INCLUDING, BUT NOT LIMITED TO, EXISTING TREES, REPLACEMENT TREES, BUFFER PLANTINGS, AND PARKING LOT ISLANDS. THE RIGHT-OF-WAY WILL BE INSPECTED BY THE FORESTRY DIVISION TO IDENTIFY ANY PLANTINGS, NEW OR EXISTING, THAT POSE A HAZARD TO THE SAFE USE OF THE RIGHT-OF-WAY. FORESTRY MAY REQUIRE THE DEVELOPER TO REMOVE, AND POSSIBLY REPLACE, ANY SUCH TREES.
2. PRIOR TO THE RELEASE OF THE PERFORMANCE BOND, THE CITY OF ROCHESTER HILLS FORESTRY DIVISION NEEDS TO INSPECT ALL TREES, EXISTING OR PLANTED, TO IDENTIFY ANY THAT POSE A HAZARD TO THE SAFE USE OF THE PUBLIC RIGHT-OF-WAY. FORESTRY MAY REQUIRE THE DEVELOPER TO REMOVE, AND POSSIBLY REPLACE, ANY SUCH TREES.
3. ALL TREES AND SHRUBS MUST BE PLANTED AT LEAST 10' FROM THE EDGE OF A PUBLIC ROADWAY. SHADE TREES AND SHRUBS MUST BE PLANTED AT LEAST 5' FROM THE EDGE OF A PUBLIC WALKWAY. EVERGREEN AND ORNAMENTAL TREES MUST BE PLANTED AT LEAST 10' FROM THE EDGE OF A PUBLIC WALKWAY. ALL TREES AND SHRUBS MUST BE PLANTED AT LEAST 10' FROM ANY FIRE HYDRANT. SHADE AND EVERGREEN TREES MUST BE PLANTED AT LEAST 15' FROM THE NEAREST OVERHEAD WIRE AND AT LEAST 10' FROM THE NEAREST UNDERGROUND UTILITY.
4. NO TREE OR SHRUB MAY BE PLANTED WITHIN THE TRIANGULAR AREA FORMED AT THE INTERSECTION OF ANY STREET RIGHT-OF-WAY AT A DISTANCE OF 25' FROM THEIR POINT OF INTERSECTION. NO TREE OR SHRUB MAY BE PLANTED IN THE TRIANGULAR AREA FORMED AT THE INTERSECTION OF ANY DRIVEWAY WITH A PUBLIC SIDEWALK AT A DISTANCE ALONG EACH LINE OF 15' FROM THEIR POINT OF INTERSECTION.
5. PRIOR APPROVAL IS REQUIRED TO PLANT ANY TREE OR SHRUB IN THE PUBLIC RIGHT-OF-WAY.
6. NO SUBSTITUTIONS OR CHANGES OF LOCATION OR PLANT TYPES SHALL BE MADE WITHOUT THE APPROVAL OF THE DEVELOPER AND THE CITY OF ROCHESTER HILLS.
7. THE DEVELOPER AND/OR THE CITY OF ROCHESTER HILLS SHALL HAVE THE RIGHT, AT ANY STAGE OF THE INSTALLATION, TO REJECT ANY WORK OR MATERIAL THAT DOES NOT MEET THE REQUIREMENTS OF THE PLANS OR SPECIFICATIONS.
8. REPLACEMENT TREES MAY NOT BE PLANTED WITHIN THE DRIP LINE OF EXISTING TREES.
9. ALL LANDSCAPE BEDS ARE TO IRRIGATED BY AN AUTOMATIC IRRIGATION SYSTEM.
10. ALL LANDSCAPE BEDS ARE TO BE DRESSED WITH 4" OF SHREDDED BARK MULCH. MULCH IS TO BE FREE OF ANY ADDED COLORS OR CHEMICALS.
11. THE DETENTION POND SHALL BE SEEDED LAWN PER THE SPECIFICATIONS SET FORTH ON SHEET L-4 (SECTION 1.7). STRAW BLANKETS OR EQUAL SHALL BE USED, AS REQUIRED, TO PREVENT EROSION.

TREE PROTECTION NOTES

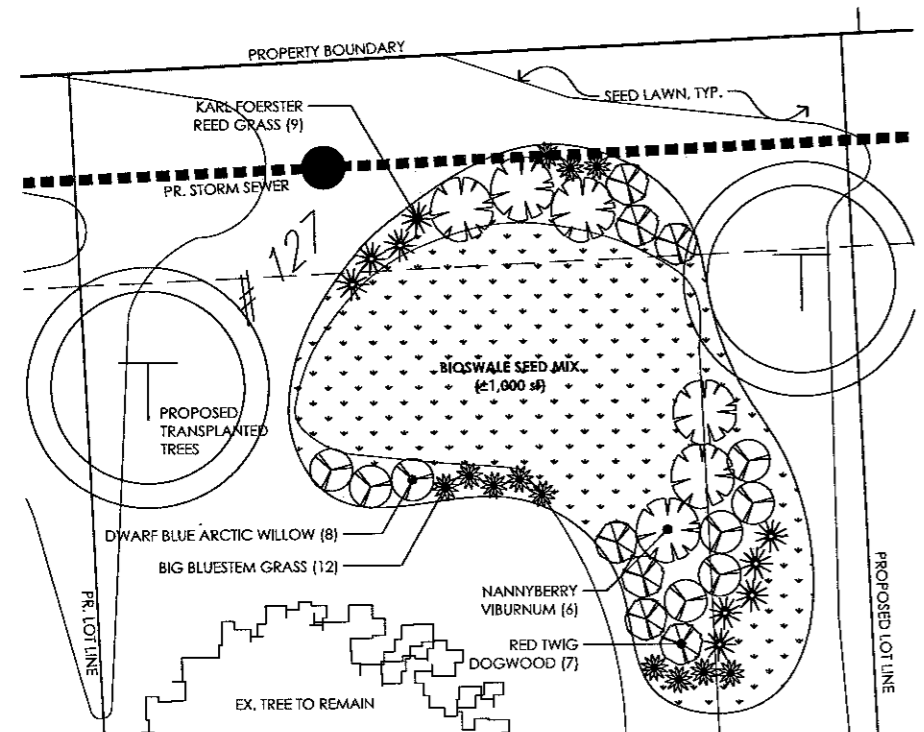
1. THE TREE PROTECTION FENCING (TPF) SHALL BE ERRECTED PER THE PLANS APPROVED BY THE CITY OF ROCHESTER HILLS PLANNING DEPARTMENT. THE TPF MUST BE IN PLACE AND BE INSPECTED BY THE CITY OF ROCHESTER HILLS PRIOR TO THE START OF ANY EARTHWORK OR CONSTRUCTION OPERATIONS. IT IS THE DEVELOPERS RESPONSIBILITY TO CONTACT THE CITY PLANNING DEPARTMENT (248.656.4660) TO SCHEDULE AN INSPECTION. THE TPF SHALL REMAIN IN PLACE THROUGHOUT THE ENTIRE CONSTRUCTION PROCESS OR UNTIL THE CITY AUTHORIZES THE REMOVAL OR ISSUES A FINAL CERTIFICATE OF OCCUPANCY, WHICHEVER OCCURS FIRST.
2. UPON COMPLETION OF GRADING AND THE INSTALLATION OF THE INFRASTRUCTURE, A SECOND INSPECTION OF THE TPF AND THE TREES DESIGNATED FOR PRESERVATION IS REQUIRED BY THE CITY OF ROCHESTER HILLS PRIOR TO THE START OF ANY ADDITIONAL CONSTRUCTION. IT IS THE DEVELOPERS RESPONSIBILITY TO CONTACT THE CITY PLANNING DEPARTMENT (248.656.4660) TO SCHEDULE THIS INSPECTION.
3. UPON COMPLETION OF ALL CONSTRUCTION AND PRIOR TO THE REMOVAL OF THE TPF, THE CITY OF ROCHESTER HILLS MUST INSPECT ALL TREES DESIGNATED TO BE PRESERVED. THE LANDSCAPE PERFORMANCE BOND WILL NOT BE RELEASED UNTIL THIS INSPECTION IS COMPLETE AND ALL RELATED ISSUES ARE RESOLVED. IT IS THE DEVELOPERS RESPONSIBILITY TO CONTACT THE CITY PLANNING DEPARTMENT (248.656.4660) TO SCHEDULE THIS INSPECTION.
4. FINAL INSPECTION BY THE CITY OF ROCHESTER HILLS IS REQUIRED AT THE END OF THE WARRANTY AND MAINTENANCE PERIOD. THE LANDSCAPE MAINTENANCE BOND WILL NOT BE RELEASED UNTIL THIS INSPECTION IS COMPLETE AND ALL RELATED ISSUES ARE RESOLVED. IT IS THE DEVELOPERS RESPONSIBILITY TO CONTACT THE CITY PLANNING DEPARTMENT (248.656.4660) TO SCHEDULE THIS INSPECTION.
5. THE TREE CONSERVATION ORDINANCE PROHIBITS ANY CONSTRUCTION OR DEVELOPMENT ACTIVITIES WITHIN THE DRIP LINE OF TREES DESIGNATED FOR PRESERVATION. THIS INCLUDES, BUT IS NOT LIMITED TO, LAND CLEARING, GRUBBING, TRENCHING, GRADING AND/OR FILLING. NO PERSON SHALL PLACE ANY SOLVENTS, BUILDING MATERIAL, CONSTRUCTION EQUIPMENT, SOIL DEPOSITS, OR HARMFUL MATERIALS WITHIN THE DRIP LINE OF TREES DESIGNATED FOR PRESERVATION.
6. PROPOSED GRADES ARE TO MATCH THE EXISTING ELEVATIONS OUTSIDE THE LIMITS OF THE TPF. NO GRADING, EITHER CUT OR FILL IS PERMITTED WITHIN THE DRIP LINE OF ANY TREE DESIGNATED FOR PRESERVATION.
7. DURING THE CONSTRUCTION PROCESS, NO PERSON SHALL ATTACH ANY DEVICE OR WIRE/CABLE/CORD/ROPE TO ANY EXISTING TREE DESIGNATED TO BE PRESERVED.
8. ALL UTILITY SERVICE REQUESTS MUST INCLUDE NOTIFICATION TO THE INSTALLER THAT PROTECTED TREES MUST BE AVOIDED. ALL TRENCHING SHALL OCCUR OUTSIDE THE TPF.
9. SWALES SHALL BE ROUTED TO AVOID THE AREA WITHIN THE DRIP LINE OF ANY TREE DESIGNATE FOR PRESERVATION. SWALES SHALL BE CONSTRUCTED SO AS NOT TO DIRECT ANY ADDITION FLOW INTO THE DRIP LINE OF A TREE DESIGNATED FOR PRESERVATION.
10. IF TREE PROTECTION CANNOT BE MAINTAINED FOR A TREE THROUGHOUT THE ENTIRE PERIOD REQUIRED, THEN TREE REPLACEMENT OF THAT TREE WILL BE REQUIRED ON AN INCH FOR INCH BASIS PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
11. REGULATED TREES LOCATED OFF-SITE ON ADJACENT PROPERTIES THAT MAY BE AFFECTED BY CONSTRUCTION OPERATIONS MUST BE PROTECTED AS DEFINED HEREIN.
12. THE TPF SHALL CONSIST OF 4' HIGH ORANGE SNOW FENCING TO BE INSTALLED AROUND THE DRIP LINE OF ALL TREES DESIGNATED FOR PRESERVATION. THIS FENCING SHALL BE SUPPORTED BY 6" METAL T-BAR POSTS 8' O.C. AND DRIVEN A MINIMUM OF 24" INTO THE GROUND. THE TPF FENCING SHALL REMAIN UPRIGHT AND SECURELY IN PLACE FOR THE REQUIRED TIME AS SPECIFIED ABOVE. SEE DETAIL, SHEET L-4.



ENTRY WALL PLANTING PLAN

NOTE: A MATCHING (MIRRORED) WALL AND ASSOCIATED PLANTINGS MAY BE ADDED TO THE EASTERN SIDE OF ROSATI COURT AT A LATER DATE.

SCALE: 1/4" = 1'-0"



RAIN GARDEN PLANTING PLAN

SCALE: 1/8" = 1'-0"

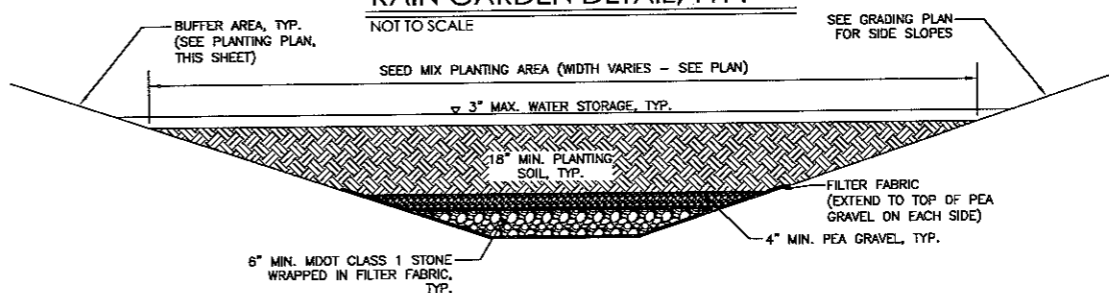
RAIN GARDEN NOTES

Common Name	Scientific Name	#/acre
Bioswale Mix		
This mix contain at least (14) of the flowers, (6) of the grasses and sedges.		
Temporary Grasses	50%	20.0
Seed Oats	<i>Avena sativa</i>	
American Slough Grass	<i>Beckmannia syzigachne</i>	
Annual Rye	<i>Lolium multiflorum</i>	
Native Grasses and Sedges	10%	4.0
Cosmos Sedge	<i>Carex comosa</i>	
Lurid Sedge	<i>Carex lurida</i>	
Fox Sedge	<i>Carex vulpoides</i>	
Canada Wild Rye	<i>Elymus canadensis</i>	
Riverbank Wild Rye	<i>Elymus riparius</i>	
Indian Grass	<i>Sorghastrum nutans</i>	
Prairie Cord Grass	<i>Spartina pectinata</i>	
Deertongue	<i>Panicum clandestinum</i>	
Native Wildflowers	30%	16.0
New England Aster	<i>Aster novae-angliae</i>	
Heath Aster	<i>Aster pilosus</i>	
Boneset	<i>Eupatorium perfoliatum</i>	
Dense Blazing Star	<i>Liatris spicata</i>	
Great Blue Lobelia	<i>Lobelia spicata</i>	
Sergamod (Beebalm)	<i>Monarda fistulosa</i>	
Smooth Parsimon	<i>Pentstemon digitalis</i>	
Mountain Mint	<i>Pycnanthemum virginianum</i>	
Yellow Coneflower	<i>Rudbeckia hirta</i>	
Black-eyed Susan	<i>Rudbeckia hirta</i>	
Lance-leaved Goldenrod	<i>Solidago graminifolia</i>	
Ohio Goldenrod	<i>Solidago ohioensis</i>	
Riddell's Goldenrod	<i>Solidago riddellii</i>	
Blaze Vervain	<i>Verbena hastata</i>	
Culver's Root	<i>Veronicastrum virginicum</i>	
Ironweed	<i>Vernonia gigantea</i>	
Golden Alexanders	<i>Zizia aurea</i>	
Total Pounds Per Acre		40 lbs.

Nativescape LLC
 Native Ecosystem Restoration
 10380 Clinton Rd., Manchester, MI 48158
 Phone: 517-456-9696
 Fax: 517-456-7245
 info@nativescape.net

1. UPON COMPLETION OF RAIN GARDEN GRADING, THE RAIN GARDEN AREA SHALL BE PREPARED PER THE RAIN GARDEN DETAIL (BELOW) OR AN APPROVED EQUAL.
2. RAIN GARDEN TO BE SEEDED WITH A BIOSWALE SEED MIX TO THE LIMITS DEPICTED ON THE PLAN. THIS MIX SHALL BE APPLIED AT A MINIMUM SOWING RATE OF 40 LBS/ ACRE AND SHALL MEET THE BREAKDOWN PRESENTED IN THE TABLE TO THE LEFT. THIS SOWING RATE INCLUDES A COVER CROP OF TEMPORARY GRASSES, AS SPECIFIED IN THE TABLE TO THE LEFT.
3. BIOSWALE SEED MIX SHALL MEET THE BREAKDOWN PRESENTED IN THE TABLE TO THE LEFT, AT A MINIMUM, AND BE PROVIDED BY NATIVESCAPE, LLC (MANCHESTER, MI, 517-456-9696). ANY SEED MIX SUBSTITUTIONS MUST BE APPROVED BY THE CITY OF ROCHESTER HILLS.
4. STRAW BLANKETS SHALL BE PROVIDED ON ALL SLOPES, AS REQUIRED.
5. PREVENTATIVE MOWING AND/OR MAINTENANCE OF THE BIO-RETENTION AREA MAY BE REQUIRED PERIODICALLY TO HELP CONTROL THE SPREAD OF UNWANTED SPECIES. HOWEVER, THE PURPOSE OF THIS AREA IS TO AID IN THE PURIFICATION OF WATER RUNOFF, SO IT IS ADVISED TO LET THE BIOSWALE SEED MIX GROW NATURALLY, AND ONLY MAINTAIN AS REQUIRED.

RAIN GARDEN DETAIL, TYP.



NOTE:
 ALL QUANTITIES ARE LANDSCAPE ARCHITECTS ESTIMATES. THESE QUANTITIES ARE NOT TO BE TAKEN AS DEFINING OR LIMITING THE AMOUNT OF WORK TO BE DONE UNDER THE CONTRACT. THE CONTRACTOR IS RESPONSIBLE FOR HIS OWN ESTIMATES. ALL DISCREPANCIES ARE TO BE REPORTED TO THE LANDSCAPE ARCHITECT'S OFFICE IMMEDIATELY. ALL DESIGNS, CONCEPTS, DETAILS, ETC. ARE THE PROPERTY OF JAMES C. SCOTT & ASSOCIATES, INC. AND MAY NOT BE DUPLICATED, PHOTOGRAPHED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF JAMES C. SCOTT, OWNER. COPYRIGHT 2012

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THE LEGACY CONDO DEVELOPMENT
 790 W. HAMLIN ROAD,
 ROCHESTER HILLS, MICHIGAN

JAMES C. SCOTT & ASSOCIATES

REVISION	DATE	BY	APP'D
FINAL SPA	9.5.06		
FINAL SPA	12.5.06		
FINAL SPA	2.19.07		
REVISION	10.18.12		
REVISION	11.20.12		

date: 8/25/05
 client: BMW
 checked: JCS
 scale: AS NOTED
 sheet: L-3
 CITY FILE # 05-031

TECHNICAL LANDSCAPE SPECIFICATIONS

1.1 CONTRACTOR QUALIFICATIONS

The Landscape Contractor will be duly licensed by the appropriate authorities to handle plant materials. He will be covered by Public Liability and Property Insurance and his employee's covered by Workmen's Compensation Insurance. He will, upon request, furnish a list of major projects your organization has completed in the last five (5) years. A list of major construction projects your organization has underway.

1.2 SITE PREPARATION

A. Trees, brush or shrubs will not be pruned or removed from the site except as directed by the Landscape Architect. Competent personnel shall do all pruning and removal. All tree wounds larger than one inch (1") shall be painted with approved tree paint. Debris resulting from pruning and removal shall promptly be removed from the site.

B. If the Contractor is responsible for furnishing fillsoil, the material will be clean and well draining, free of any organic matter, debris, trash and heavy clay. Fillsoil shall be spread and compacted in layers that are not to exceed twelve inches (12") in depth and will be properly compacted by the contractor.

C. If the Contractor is responsible for rough grading he will grade the subgrade to within a rough grading tolerance to two inches (2") and to be true to line and section. All rocks, stumps and building debris will be removed prior to the spreading of topsoil. Every effort will be made to eliminate depressions, tracks, and soft spots.

D. The Contractor will be responsible for making himself familiar with all underground utilities, pipes and structures. Contractor shall take sole responsibility for cost incurred due to damage and replacement of said utilities.

E. The Contractor will verify all rights of way, easements, property lines and limits of work, etc. prior to commencing work.

F. The Contractor will coordinate all site layouts with Landscape Architect. Report any dimensional discrepancies to Landscape Architect prior to construction.

G. Any erosion and sedimentation from work on this site shall be contained on the site and not allowed to collect on any off-site areas or waterways. Waterways include both natural and man-made open ditches, streams, storm drains, etc.

H. The Contractor is responsible for replacement of any existing materials that are damaged during construction.

1.3 FINISH GRADING

A. Over the accepted subgrade, topsoil shall be spread over all lawn areas a minimum of two inches (2") unless otherwise specified. All stones larger than one and one-half inch (1 1/2"), rubble, concrete, sticks, and other objectionable materials that are exposed during fine grading, must be properly disposed of off-site. The Landscape Architect shall make the final determination as to what constitutes objectionable material. The Contractor is required to meet finish grades.

1.4 TREE PROTECTION

A. Prior to the initiation of any construction activity, approved tree protection shall be erected and will remain in place until construction is complete.

B. The following activities may not occur within the drip line of all protected trees on the site: 1. Storage of solvents, building materials, soil deposits, equipment, both idle and running, and vehicular parking 2. Stripping of topsoil and any other sublayer material 3. Grade changes of any kind

C. During construction, no wires, lines, etc. may be fastened in any form to any protected tree.

D. Care should be taken to prevent damage to any regulated trees located on adjacent properties that could be affected during construction.

E. When contracting utility services, notification must be given of the protected trees and all trenching is to be performed outside of the drip lines.

1.5 PLANT MATERIAL

A. All plant material called for in the plant list as shown on the drawing will be of minimum size specified or larger. The height and spread will be measured according to the horticultural standards of the American Association of Nurserymen. Trees will not be accepted if the balls of earth are loosened or broken. All plants shall be healthy vigorous stock, free from disease and with well-developed root systems. They shall be nursery grown, inspected by the Department of Agriculture's Bureau of Plant Industry, and subject to approval by the Landscape Architect.

B. No substitutions or changes of location, or plant types shall be made without the approval of the Landscape Architect. The Landscape Architect shall be notified of any discrepancies between the plans and field conditions prior to installation.

C. The Landscape Architect will have the prerogative to request the source of supply for all plant material to be used, before delivery is started. When specimen material is indicated or when the best interest of the Owner may be served, the Landscape Architect or their designated representative will have the right to inspect the material prior to delivery.

D. Only materials conforming to the requirements of these specifications or specimens approved by the Landscape Architect or authorized agents shall be used in the work. Any material that, after approval, has for any reason become unfit for use will not be incorporated into the work.

E. The Bidder will not modify his bid because of his inability to find a source of supply of plant material specified. If the Landscape Contractor can show satisfactory evidence before the contract is awarded that a particular species is not available, a substitution will be negotiated on the following basis:

1. Determine from the current catalog of the Lake County Nursery Exchange, Inc. Perry, Ohio 44081 and/or Landscape Supply Co. Taylor, Michigan 48180 the price of one plant to be substituted.

2. The price to be paid the Landscape Contractor for furnishing, planting, and guaranteeing each substituted item will be the same proportion to the bid price as the catalog price determined above.

NOTE: A particular nursery catalog is stipulated only to set-up, before the opening of bids, a rigid procedure for negotiating unit prices on material substituted in place of the specified material.

F. Trees will be measured in trunk diameter six inches (6") above ground line if the trunk is four inches (4") or less in diameter. If over four inches (4") in diameter, it shall be measured twelve inches (12") above the normal ground line. All trees shall have a straight trunk, except those otherwise indicated, and be free of bruises and blemishes. The tree crown shall be well formed structurally having sufficient leafy growth to insure proper growth of the tree. All limbs shall radiate in a normal fashion from the trunk.

G. Small ornamental trees will be measured on an average from the ground line to the tops of previous year's growth on the vertical branches. All plants, unless otherwise specified, shall be heavy types and may be inspected on the site before Contractor installs the material.

H. Multi-stemmed trees and shrubs will be measured at the average distance across the body of the plant from tip to tip of branches in their natural position, and at the average height.

I. Plants will be handled properly and protected during transportation to insure satisfactory condition at destination point. The Landscape Architect reserves the right to reject any plants that do not meet the above specifications.

J. Bare root stock and balled & burlapped plants will be carefully protected with wet straw, mulch, or other materials so that the plants will be stored with their roots in a moist and healthy condition, and shall be governed by weather conditions and the length of time that the root ball must remain above ground.

K. Trunks and branches of all trees will be carefully protected from injury of any kind during all operations of digging, loading and transporting. Any plants that are injured may be rejected by the Landscape Architect.

L. All plants so specified, will be balled and burlapped previous to shipment. Such plants shall be lifted from the ground in such a manner as to retain a firm ball of earth. The size of the ball will conform to A.A.N. guidelines. Plants will not be accepted if the balls of earth are loosened or broken.

M. All plant material shall be planted promptly and at the correct depth, and shall be staked, guyed and wrapped, as soon or possible after planting. It will be at the discretion of the contractor to use the appropriate products and materials so the plants will remain straight, properly aligned, and at the proper elevation for the guarantee period. The Owner has the option of having the contractor remove all staking and guying material at the end of the guarantee period.

N. All pruning will be performed on the job site by a competent planter. All broken branches and roots will be removed in an approved manner providing a clean cut.

O. The Contractor will trim bare root plants by removing 1/3 of their branching. This will be done in an artful fashion so as not to destroy the natural character of the plant. Shearing will not be accepted except on hedges where all plants will be pruned to a uniform height and width.

1.6 SOIL PREPARATION AND PLANTING

A. The Contractor shall prepare such quantities of planting soil as may be required to install plants in accordance with the accepted practices of the American Association of Nurserymen and to the satisfaction of the Landscape Architect. Deciduous, and evergreen trees and shrubs, perennials, groundcover and eticaceous plants will be potted planted using a soil mixture of three (3) parts topsoil and one (1) part peat.

Note: The contractor will acidify the eticaceous soil with peric sulfate to arrive at pH of 4.5

B. A general guideline for excavation of the plant pits follows:

SIZE	PLANT	PIT SIZE - Each Side	Bottom**
3" cal. Or less	Deciduous Tree	8" 8"	8"
More than 3" cal.	Deciduous Tree	12" 12"	8"
8" N. or less	Evergreen Tree	8" 8"	8"
More than 8" N.	Evergreen Tree	12" 12"	8"
Mult. Stem	Tree/Lg. Shrub	6" 6"	6"
Small to medium	Deciduous Shrub	6" 6"	6"
Small to medium	Evergreen Shrub	6" 6"	6"
1 gal. Plus	Perennials	3" 3"	3"

Notes: * Soil conditions could modify these sizes. ** After excavation, backfill with existing soil so that root ball sits at proper grade

C. Metal and tar paper containers shall be removed from all container grown plant materials. Biodegradable paper mache' containers may be left in place, but additional holes shall be punched through the sides to provide adequate drainage. The upper corners of such containers should be removed so that they do not protrude above grade. The top one-half of burlap shall be removed from the top of the plant ball. All nylon cord or plastic type ropes shall be removed from the trunks to prevent future girdling.

D. The Contractor is responsible for the proper placement, alignment and setting of all plants. Care shall be taken to place all plants at their proper depth. In wet situations balled and burlapped plants may be planted slightly higher than their original grade.

1.7 SEEDING

A. Spread commercial fertilizer (15/30/15) evenly with a mechanical spreader at the rate of 150 lbs/acre and thoroughly incorporate into the topsoil to a depth of two inches (2"). Immediately before seeding, rework and moisten the surface.

B. Seed will be planted at the uniform rate of six (6) pounds per one thousand square feet (1,000 sq.ft.). Seed will be clean, new crop seed composed of the following mixture:

Kentucky Blend	33%
Crawling Red Fescue	33%
Fine Leaf Rye Grass	33%

(unless otherwise specified on the plan)

All seed shall have a 97% purity rating. Certification of the seed mix will be provided to the Landscape Architect prior to any seeding operation, if so requested.

C. Incorporate all seeding by use of a vibration seeder with roller to a minimum depth of one-half inch (1/2") or approved equal.

D. All seeded areas will be mulched with straw mulch or tydex mulch. This will be left to the discretion of the Contractor.

E. Any part of this area that fails to show a uniform germination shall be reseeded at no additional expense to the Owner and such reseeded shall continue until a dense lawn is established.

F. It is the intent of these specifications to obtain a finished lawn surface free of humps and depressions, and satisfactory for mowing with hand or mechanical mowers, and to establish an even dense, weed free turf of permanent grasses. Any part of the seeded area that fails to show a uniform growth shall be reseeded by the Contractor until a dense lawn is produced. Damage to the lawn areas resulting from erosion or Contractor's operations shall be repaired by the Contractor until the lawn is accepted.

1.8 SODDING

A. Seed mixture composition of the sod will be approved by the Landscape Architect prior to delivery on site. Sod will be laid over approved subgrade. Sod will have a uniform sodgrip thickness of 5/8" plus or minus 1/4". Sod shall be harvested, delivered and transplanted within 36 hours. Sod will be weed free and placed flush at the joints so that no gaps occur.

B. Any area or amount of sod that dies shall be replaced at no additional expense to the Owner.

C. It is the intent of these specifications to obtain a finished lawn surface free of humps and depressions, and satisfactory for mowing with hand or mechanical mowers, and to establish an even dense, weed free turf of permanent grasses. Any part of the area that fails to show a uniform growth shall be reseeded by the Contractor until a dense lawn is produced. Damage to the lawn areas resulting from erosion or Contractor's operations shall be repaired by the Contractor until the lawn is accepted.

D. Maintenance shall begin immediately after a portion of turf is installed and shall be the responsibility of the contractor for a period of 30 days. Also, one mowing of sodded lawn and two mowings of the seeded lawn will be required.

E. Maintenance shall also include, but not be limited to the watering, weeding, reseeding, rolling, trimming and other operations as necessary. The areas shall be kept watered with sprinklers or other approved methods during dry weather or when deemed necessary by the Landscape Contractor. The sod shall be thoroughly watered when initially laid. Note that a sprinkler irrigation system is typically planned, so the system should be operable at the time of sod installation.

F. Maintenance shall also include, but not be limited to the watering, weeding, reseeding, rolling, trimming and other operations as necessary. The areas shall be kept watered with sprinklers or other approved methods during dry weather or when deemed necessary by the Landscape Contractor. The sod shall be thoroughly watered when initially laid. Note that a sprinkler irrigation system is typically planned, so the system should be operable at the time of sod installation.

G. Small ornamental trees will be measured on an average from the ground line to the tops of previous year's growth on the vertical branches. All plants, unless otherwise specified, shall be heavy types and may be inspected on the site before Contractor installs the material.

H. Multi-stemmed trees and shrubs will be measured at the average distance across the body of the plant from tip to tip of branches in their natural position, and at the average height.

I. Plants will be handled properly and protected during transportation to insure satisfactory condition at destination point. The Landscape Architect reserves the right to reject any plants that do not meet the above specifications.

J. Bare root stock and balled & burlapped plants will be carefully protected with wet straw, mulch, or other materials so that the plants will be stored with their roots in a moist and healthy condition, and shall be governed by weather conditions and the length of time that the root ball must remain above ground.

1.10 FERTILIZING AND WATERING OF PLANT MATERIAL

A. Fertilizing is left to the discretion of the Contractor. In no case should dry type commercial fertilizers be placed in the root zone, unless they are the pelletized slow-release type, designed for this purpose.

B. All plants will be thoroughly watered in by the Contractor immediately after planting. Watering will be the Contractor's responsibility until the installation is accepted by the Owner. The Contractor will advise the Owner on the proper care of the new plantings and will be responsible for checking the condition of the plants as necessary and advise the Owner of any deficiency or excess of watering during the warranty period.

1.11 EDGING

A. Edging will be the type specified and installed where shown on the drawing.

B. All edging shall be installed uniform to the grade and in straight alignment.

C. Edging will be cut or perforated when installed in low areas, swales or any situation where drainage might be impeded.

D. Variation from the plan will not be allowed unless otherwise specified by the Landscape Architect.

1.12 STONE MULCH

A. All stone mulch specified on the plan will be of the type and size aggregate indicated and will be applied at the thickness specified on the plan.

B. The stone mulch material shall be consistent in size, shape, and color, will be of premium grade and washed clean prior to installation.

C. The stone mulch will be placed on top of Fabric Weed Barrier (Dupont Typar Style #3201 or equal) after the soil has been treated with an approved pre-emergent weed preventative. The pre-emergent weed preventative will be applied at a rate specified by the manufacturer.

1.13 SHREDDED BARK MULCH

A. All planting beds indicated on the plan shall contain a layer of Shredded Bark Mulch. Mulch shall be applied at the thickness specified on the plans. The finish grade shall conform to the surrounding grade.

B. The mulch material shall have a dark brown, fine shredded appearance with no large objectionable pieces. No wood chips will be allowed.

C. Approved pre-emergent weed preventative shall be applied to all mulched beds at a rate specified by the manufacturer.

D. All evergreen and deciduous trees in lawn areas will receive approximately ten (10) sq.ft. of Shredded Bark Mulch per tree at a four inch (4") minimum depth.

1.14 GUARANTEE

A. The Contractor will guarantee in writing all plant material to be true to name and in vigorous condition at time of planting. In addition, he will guarantee the life of all plant materials 100% for a period of two (2) years from the date of approval by the City of Rochester Hills Landscape Architect. Replacements shall be made during the next appropriate planting season.

B. All construction will be guaranteed in writing against faulty workmanship and materials for a period of two (2) years from the date of approval by the City of Rochester Hills Landscape Architect.

1.15 ACCEPTANCE & PAYMENT

A. The job will be accepted when completed to the satisfaction of the Landscape Architect and Owner. The Landscape Architect shall have the authority to reject any material that does not meet the specifications or is improperly placed or placed. All debris resulting from the Landscape job will be removed and the beds properly graded and raked prior to acceptance.

All mud, dirt, and debris tracked onto existing roads from the site due to his construction duties shall be removed by the contractor.

Any damage caused by the Landscape Contractor to existing plants, structures, walks and lawns must be repaired prior to final payment.

B. Partial payments shall be made as various stages of the job are completed and accepted:

1. Construction
2. Planting
3. Sodding

Ten percent (10%) of said payments shall be retained until the total contract is completed and accepted.

1.16 MISCELLANEOUS NOTES

A. Care should be taken by Contractor not to plant under or over utility lines, and easements, or in any location where existing utilities will interfere with the growth of plant material.

B. Contractor shall be responsible for checking plant and material quantities to ensure quantities on drawings and plant list (if provided) are the same. In the event of a discrepancy, the quantities on the plans shall prevail.

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1.9 SEEDING AND SODDING MAINTENANCE

A. Maintenance shall begin immediately after a portion of turf is installed and shall be the responsibility of the contractor for a period of 30 days. Also, one mowing of sodded lawn and two mowings of the seeded lawn will be required.

B. Maintenance shall also include, but not be limited to the watering, weeding, reseeding, rolling, trimming and other operations as necessary. The areas shall be kept watered with sprinklers or other approved methods during dry weather or when deemed necessary by the Landscape Contractor. The sod shall be thoroughly watered when initially laid. Note that a sprinkler irrigation system is typically planned, so the system should be operable at the time of sod installation.

C. It is the intent of these specifications to obtain a finished lawn surface free of humps and depressions, and satisfactory for mowing with hand or mechanical mowers, and to establish an even dense, weed free turf of permanent grasses. Any part of the area that fails to show a uniform growth shall be reseeded by the Contractor until a dense lawn is produced. Damage to the lawn areas resulting from erosion or Contractor's operations shall be repaired by the Contractor until the lawn is accepted.

D. Maintenance shall begin immediately after a portion of turf is installed and shall be the responsibility of the contractor for a period of 30 days. Also, one mowing of sodded lawn and two mowings of the seeded lawn will be required.

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G. Small ornamental trees will be measured on an average from the ground line to the tops of previous year's growth on the vertical branches. All plants, unless otherwise specified, shall be heavy types and may be inspected on the site before Contractor installs the material.

H. Multi-stemmed trees and shrubs will be measured at the average distance across the body of the plant from tip to tip of branches in their natural position, and at the average height.

I. Plants will be handled properly and protected during transportation to insure satisfactory condition at destination point. The Landscape Architect reserves the right to reject any plants that do not meet the above specifications.

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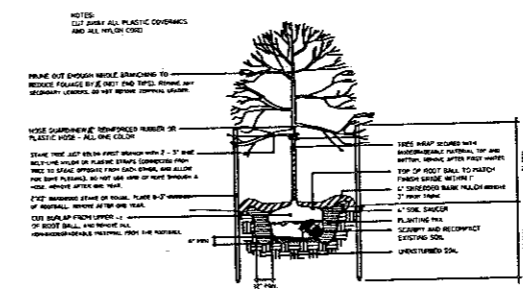
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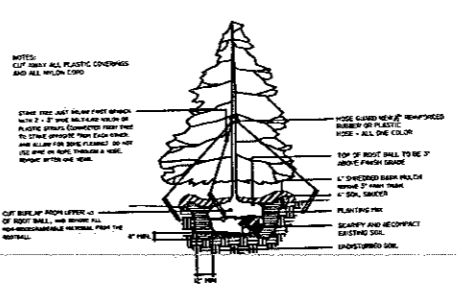
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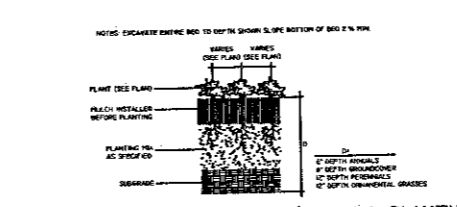
DECIDUOUS TREE PLANTING

NOT TO SCALE



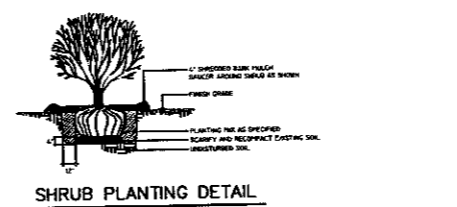
EVERGREEN TREE PLANTING

NOT TO SCALE



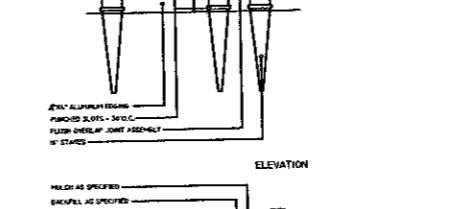
GROUNDCOVER / PERENNIAL / ANNUAL PLANTING

NOT TO SCALE



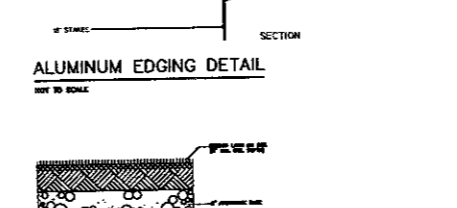
SHRUB PLANTING DETAIL

NOT TO SCALE



ALUMINUM EDGING DETAIL

NOT TO SCALE



ACCESS DRIVE DETAIL

NOT TO SCALE

PRELIMINARY COST ESTIMATE - SITE LANDSCAPING

QTY.	BOT. NAME/COMMON NAME	SIZE	CONDITION	SPACING	UNIT	TOTAL
DECIDUOUS SHADE TREES						
3	Quercus bicolor Swamp White Oak	3" CAL.	B+B	AS SHOWN	\$500	\$1,500
9	Pinus caryinata Cleveland Select	3" CAL.	B+B	18" O.C.	\$400	\$3,600
9	Malus 'Spring Snow' Spring Snow Crabapple	2" CAL.	B+B	12" O.C.	\$250	\$2,250
EVERGREEN TREES						
3	Pinus strobus White Pine	16" HT.	B+B	AS SHOWN	\$500	\$1,500
SHRUBS						
8	Viburnum lentago Nannyberry Viburnum	4" HT.	B+B	6" O.C.	\$50	\$400
8	Salix purpurea 'Nana' Dwarf Blue Arctic Willow	3" HT.	B+B	4" O.C.	\$50	\$400